

PLAN OF SUBDIVISION

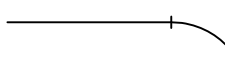
EDITION

PS 738882V

<p>LOCATION OF LAND</p> <p>PARISH: MICKLEHAM</p> <p>TOWNSHIP: -</p> <p>SECTION: -</p> <p>CROWN ALLOTMENT: -</p> <p>CROWN PORTION: 16 & 18 (PARTS)</p> <p>TITLE REFERENCE: VOL FOL</p> <p>LAST PLAN REFERENCE: LOT A ON PS738854B</p> <p>POSTAL ADDRESS: HARFIELD AVENUE (at time of subdivision) MICKLEHAM, 3064</p> <p>MGA 94 CO-ORDINATES: E 314 950 N 5 842 750 Zone: 55 (approx. centre of land in plan)</p>	<p>Council Name: Hume City Council</p> <p>Council Reference Number: S007737 Planning Permit Reference: P18497 SPEAR Reference Number: S077469E</p> <p>Certification</p> <p>This plan is certified under section 6 of the Subdivision Act 1988</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 Has been made and the requirement has not been satisfied at Certification</p> <p>Digitally signed by: Michelle Hutchings for Hume City Council on 24/06/2016</p>
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VESTING OF ROADS AND/OR RESERVES

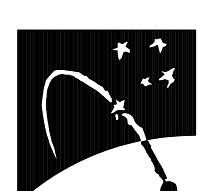
NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON	NOTATIONS
ROAD R1 RESERVE No.1 RESERVE No.2 RESERVE No.3	HUME CITY COUNCIL HUME CITY COUNCIL JEMENA ELECTRICITY NETWORKS (VIC) LTD HUME CITY COUNCIL	<p>STAGING This is/is not a staged subdivision Planning Permit No.</p> <p>DEPTH LIMITATION DOES NOT APPLY</p> <p>SURVEY This plan is/is not based on survey This survey has been connected to permanent marks no(s) In Proclaimed Survey Area No. 74</p> <p>└ LOTS 1 TO 200 (BOTH INCLUSIVE) AND A & B HAVE BEEN OMITTED FROM THIS PLAN</p> <p>LAND SUBDIVIDED (EXCLUDING LOTS C AND D) - 3.545ha</p> <p>TANGENT POINTS ARE SHOWN THUS: </p>

EASEMENT INFORMATION

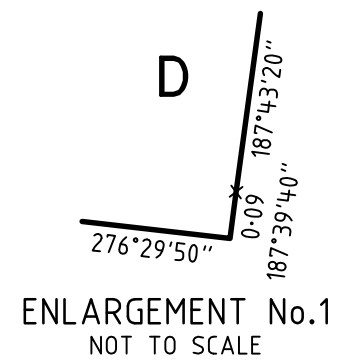
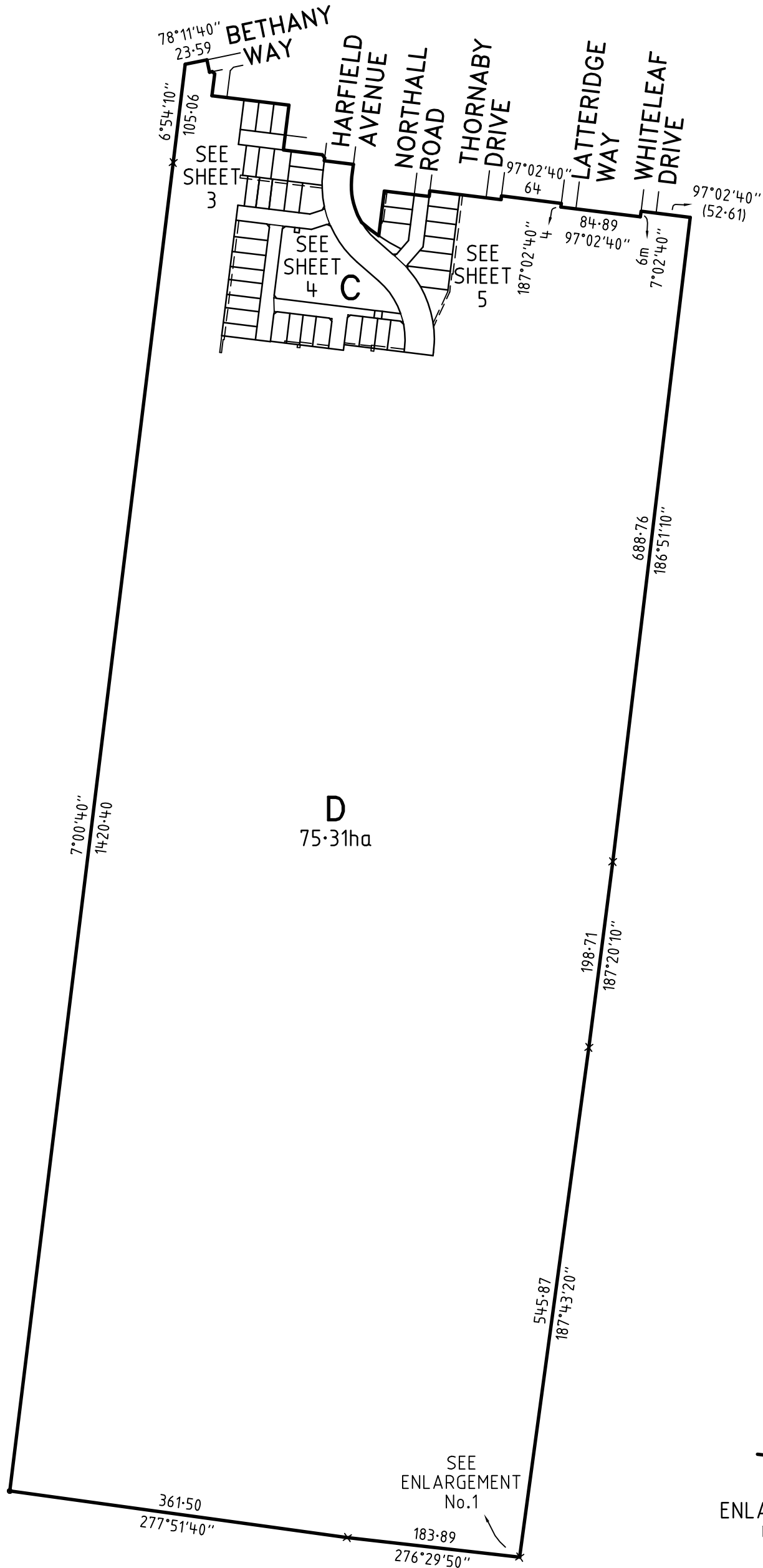
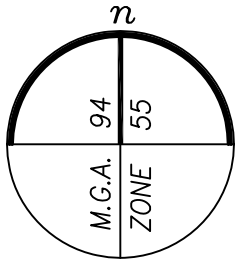
LEGEND: E - Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance A - Appurtenant Easement

SUBJECT LAND	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED/IN FAVOUR OF
E-1 E-1	DRAINAGE SEWERAGE	SEE DIAG. SEE DIAG.	PS738854B PS738854B	HUME CITY COUNCIL YARRA VALLEY WATER CORPORATION
E-2 E-2	DRAINAGE SEWERAGE	SEE DIAG. SEE DIAG.	THIS PLAN THIS PLAN	HUME CITY COUNCIL YARRA VALLEY WATER CORPORATION

<p>WARATAH - 2 38 LOTS AND BALANCE LOTS C & D</p> <p>Bosco Jonson Pty Ltd A.B.N 15 169 138 827 P.O. Box 5075, South Melbourne, Vic 3205 16 Eastern Road South Melbourne Vic 3205 Australia Tel 03) 9699 1400 Fax 03) 9699 5992</p> 	<p>LICENSED SURVEYOR ANDREW J. REAY</p> <p>DATE 21/06/16 REFERENCE 30232023 VERSION M DRAWING 3023202AM</p> <p>Digitally signed by: Andrew John Reay (Bosco Jonson Pty Ltd), Surveyor's Plan Version (M), 22/06/2016</p> <p>ORIGINAL SHEET SIZE A3 SHEET 1 OF 13 SHEETS</p>
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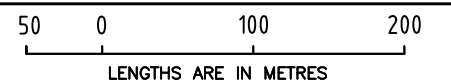
PS 738882V



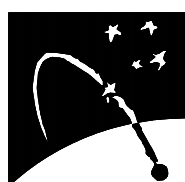
WARATAH - 2

LICENSED SURVEYOR ANDREW J. REAY

SCALE
1:5000



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ORIGINAL SHEET SIZE A3

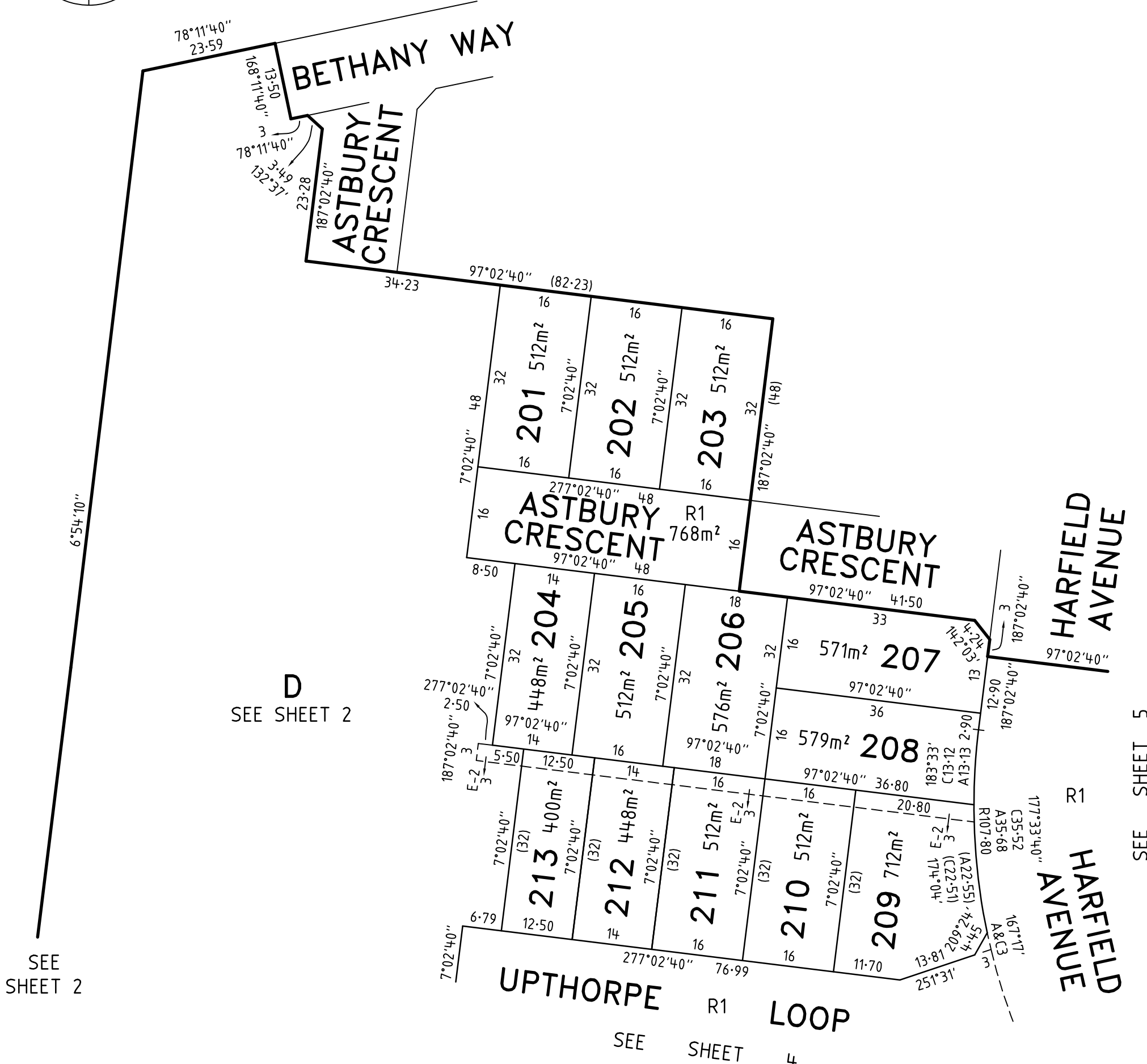
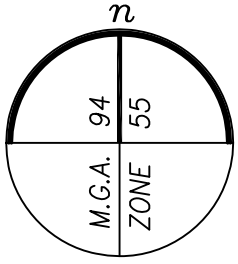
SHEET 2

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D
SEE SHEET 2

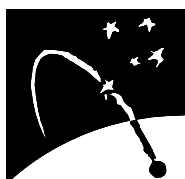
SEE SHEET 2

R1
SEE SHEET 4

R1
SEE SHEET 5

WARATAH - 2

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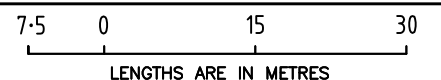
LICENSED SURVEYOR ANDREW J. REAY

DATE 21/06/16
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SCALE
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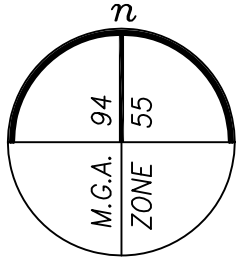


LENGTHS ARE IN METRES
ORIGINAL SHEET SIZE A3
SHEET 3

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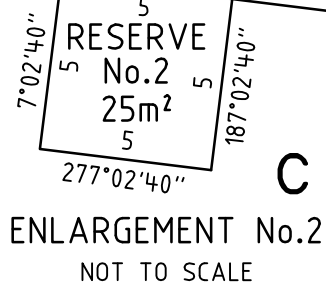
PLAN OF SUBDIVISION

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SEE SHEET 3

UPTHORPE R1 LOOP



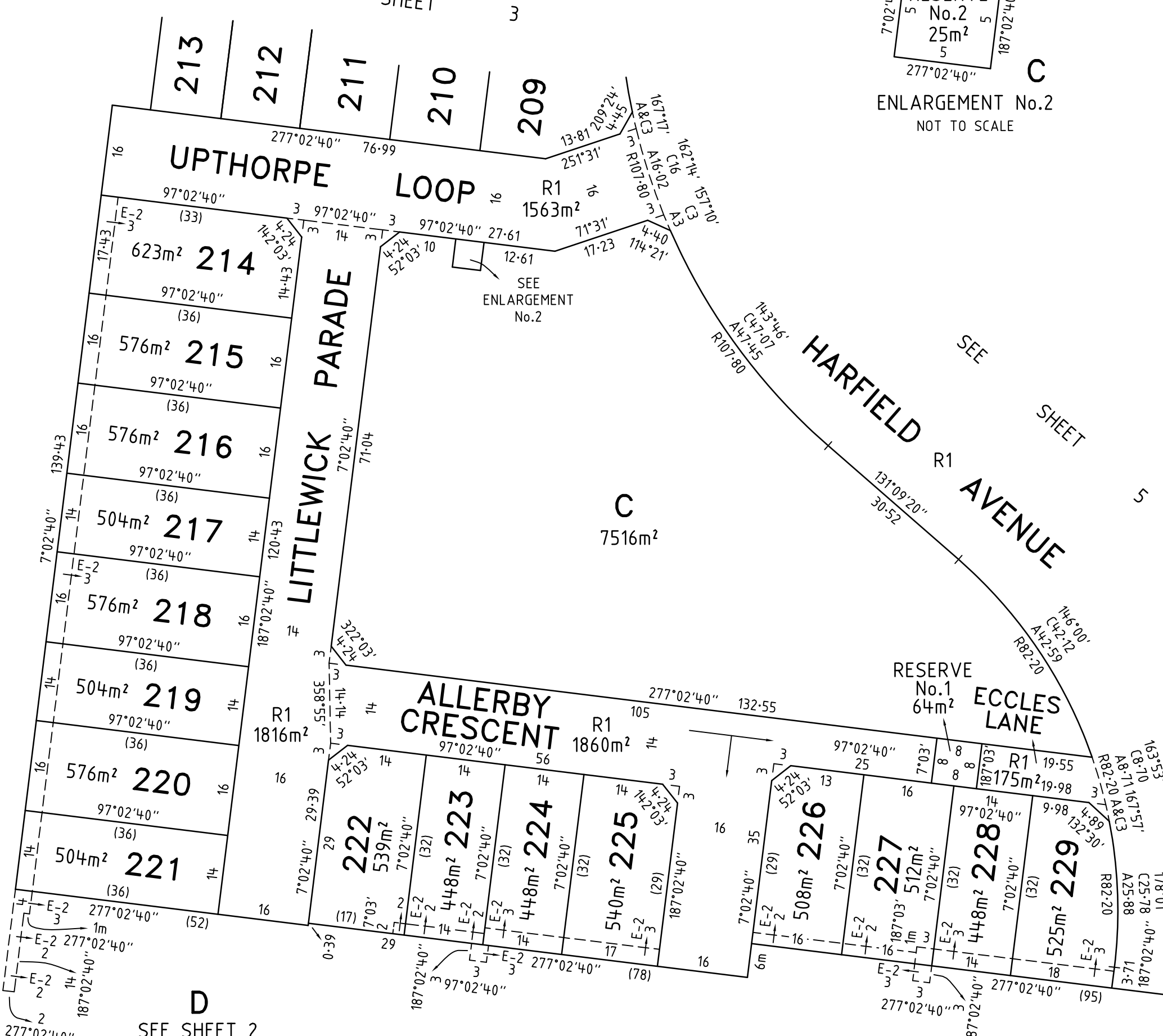
UPTHORPE LOOP R1 1563m²

LITTLEWICK PARADE

HARFIELD AVENUE R1

ALLERBY CRESCENT R1 1860m²

RESERVE No. 1 64m² ECCLES LANE

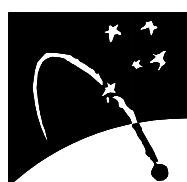


D SEE SHEET 2

SEE SHEET 5

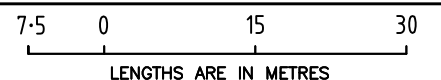
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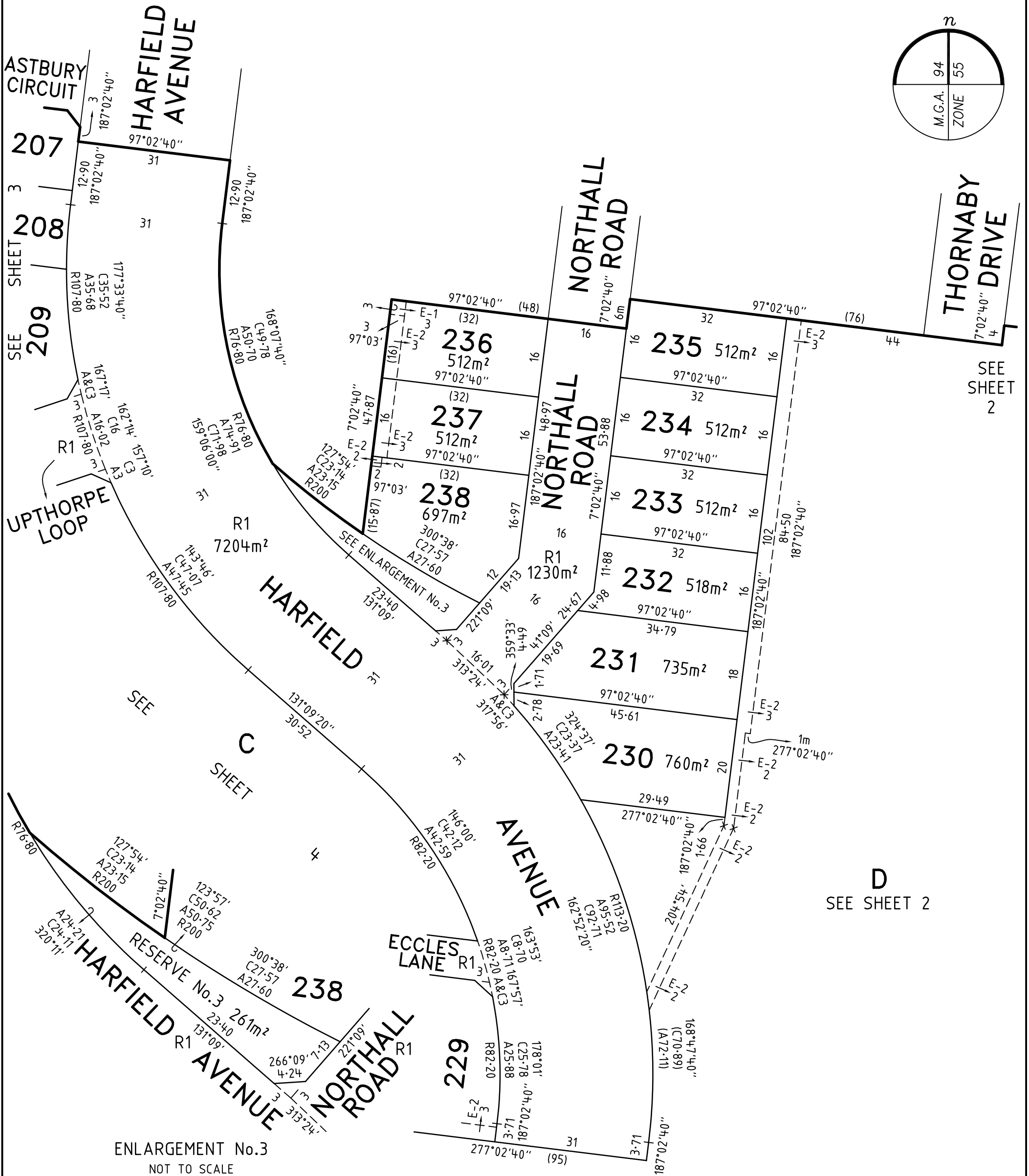
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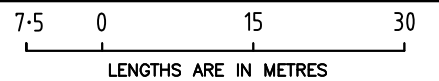


ENLARGEMENT No.3
NOT TO SCALE

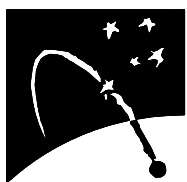
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LICENSED SURVEYOR ANDREW J. REAY

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SHEET 5

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PLAN OF SUBDIVISION

PS 738882V

CREATION OF RESTRICTION A

The following restriction is to be created upon registration of this plan.

DESCRIPTION OF RESTRICTION:

Table of land burdened and land benefited:

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
201	202
202	201, 203
203	202
204	205, 213
205	204, 206, 212, 213
206	205, 207, 208, 211, 212
207	206, 208
208	206, 207, 209, 210
209	208, 210
210	208, 209, 211
211	206, 210, 212
212	205, 206, 211, 213
213	204, 205, 212
214	215
215	214, 216
216	215, 217
217	216, 218
218	217, 219
219	218, 220

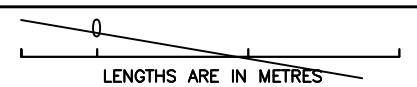
BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
220	219, 221
221	220
222	223
223	222, 224
224	223, 225
225	224
226	227
227	226, 228
228	227, 229
229	228
230	231
231	230, 232
232	231, 233
233	232, 234
234	233, 235
235	234
236	237
237	236, 238
238	237

CONTINUED

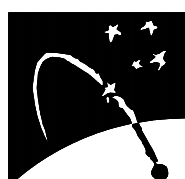
WARATAH - 2

LICENSED SURVEYOR ANDREW J. REAY

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 SHEET 6

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CREATION OF RESTRICTION A (CONTINUED)

The registered proprietor or proprietors for the time being of a lot on this Plan of Subdivision his, her, their or its heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof:

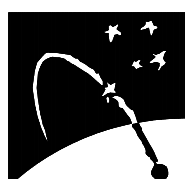
- (i) Build or cause to be built or allow to be built or allow to remain standing more than one private dwelling-house (which expression shall include a house, apartment, unit or flat);
- (ii) Build or cause to be built or allow to be built or allow to remain built a dwelling-house or any other improvements, or carry out, cause to be carried out or allow to be carried out any building or construction works on the lot prior to 1 January 2025 unless:
 - (A) copies of building plans, elevations, roof plan, site plan (incorporating set-back from all boundaries, building envelope, existing contours, proposed finished floor levels and site levels, all proposed driveways and paths, details of fences and outbuildings and landscaping) and schedule of external colours and materials ("plans") have been submitted to the Design Assessment Panel, at the address in the Design Guidelines (as amended from time to time); and
 - (B) the plans comply with the Design Guidelines and the Building Envelopes incorporated into the Building Envelope Schedule or as amended from time to time to the satisfaction of the Hume City Council, a copy of which can be obtained from the website at www.waratah.villawoodproperties.com.au; and
 - (C) the Design Assessment Panel or such other entity as may be nominated by the Design Assessment Panel from time to time has given its written approval to the plans prior to the commencement of works; and
 - (D) any building or construction works are carried out in accordance with the approved plans.
- (iii) Build or cause to be built or allow to be built or allow to remain a dwelling-house with a floor area of less than:
 - (A) 160 square metres in the case of a lot having an area of 500 square metres or greater; or
 - (B) 130 square metres in the case of a lot having an area of 400 square metres or greater but less than 500 square metres; or
 - (C) 100 square metres in the case of a lot having an area of 300 square metres or greater but less than 400 square metres; or
 - (D) 75 square metres in the case of a lot having an area of less than 300 square metres.

For the purposes of calculating the floor area of a dwelling-house the area of the garages, terraces, pergolas or verandahs shall be excluded.
- (iv) Build or cause to be built or allow to be built or allow to remain any fencing:
 - (A) Along a front street boundary; or
 - (B) Between the front street boundary and the building line; or
 - (C) Upon a side or rear boundary of a lot except a fence:
 - a. Which is constructed of timber palings with exposed posts capped across the top of the palings; and
 - b. Which does not exceed 1.8 metres in height excluding a screen erected to meet the requirements of Part 4 of the *Building Regulations 2006* in relation to overlooking.

The foregoing restriction shall not apply during any period that the lot is being used as a display home.
- (v) Subdivide or cause to subdivide or allow to be subdivided the lot.

WARATAH - 2

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LICENSED SURVEYOR ANDREW J. REAY

SCALE



DATE 21/06/16
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ORIGINAL SHEET SIZE A3
 SHEET 7

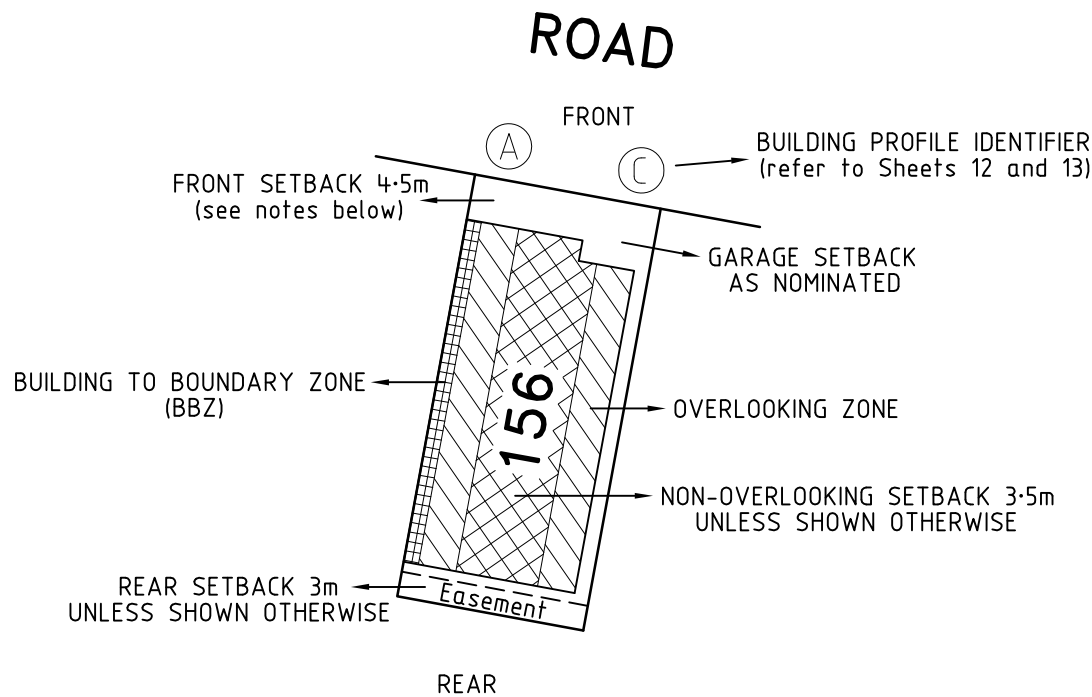
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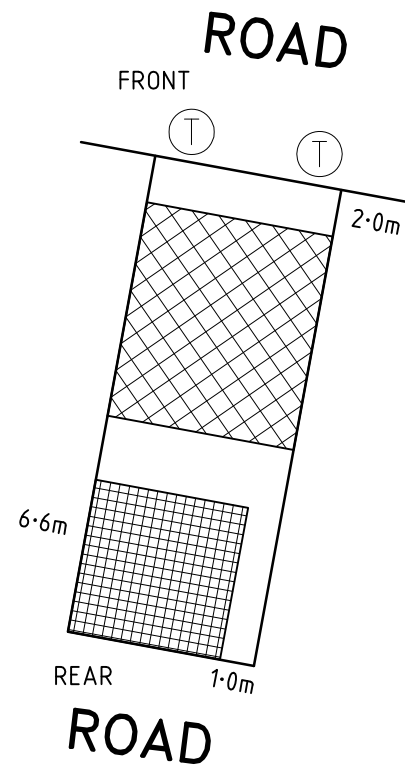
BUILDING ENVELOPE SCHEDULE
See Plan of Subdivision PS738882V

LEGEND

EXAMPLE OF TYPICAL BUILDING ENVELOPE SETBACKS



EXAMPLE OF REAR LOADED TERRACE LOT




Notations


- The front and side setbacks are measured to the outermost walls of the buildings.
- Garages must be setback a minimum of 5.0m from the front street boundary unless otherwise noted.
- Walls less than 1.0m from the boundary must be within 200mm of the boundary.
- The setback to a side street boundary for a corner lot is 2m unless noted otherwise.
- Where the minimum front setback is 3.0m or more, porches, balconies, eaves, gutters, verandahs, and architectural features can encroach into the front setback by up to 1.5m at heights of up to 4.5m for a single storey home and heights of up to 9m for a two-storey home.
- Where the minimum front setback is less than 3.0m, porches, balconies, eaves, gutters, verandahs, and architectural features can encroach into the front setback by up to 1.0m at heights of up to 4.5m for a single storey home and heights of up to 9m for a two-storey home.


Refer "Diagrams and Plans" in this document for further definitions

Single Storey Building Envelope hatch types

 Building to Boundary Zone

Double Storey Building Envelope hatch types

 Overlooking Zone - Habitable room windows or raised open spaces are a source of overlooking

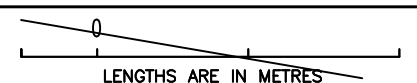
 Non Overlooking Zone - Habitable room windows or raised open spaces are not a source of overlooking

The registered proprietor or proprietors of the lot are required to build in accordance with the approved building envelopes shown hereon and in the "Profile Diagrams" in this document.

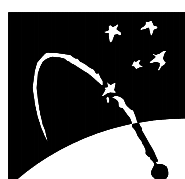
WARATAH - 2

LICENSED SURVEYOR ANDREW J. REAY

SCALE



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ORIGINAL SHEET SIZE A3

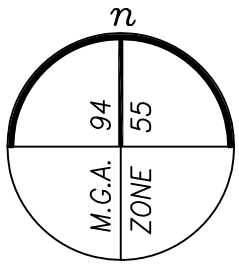
SHEET 8

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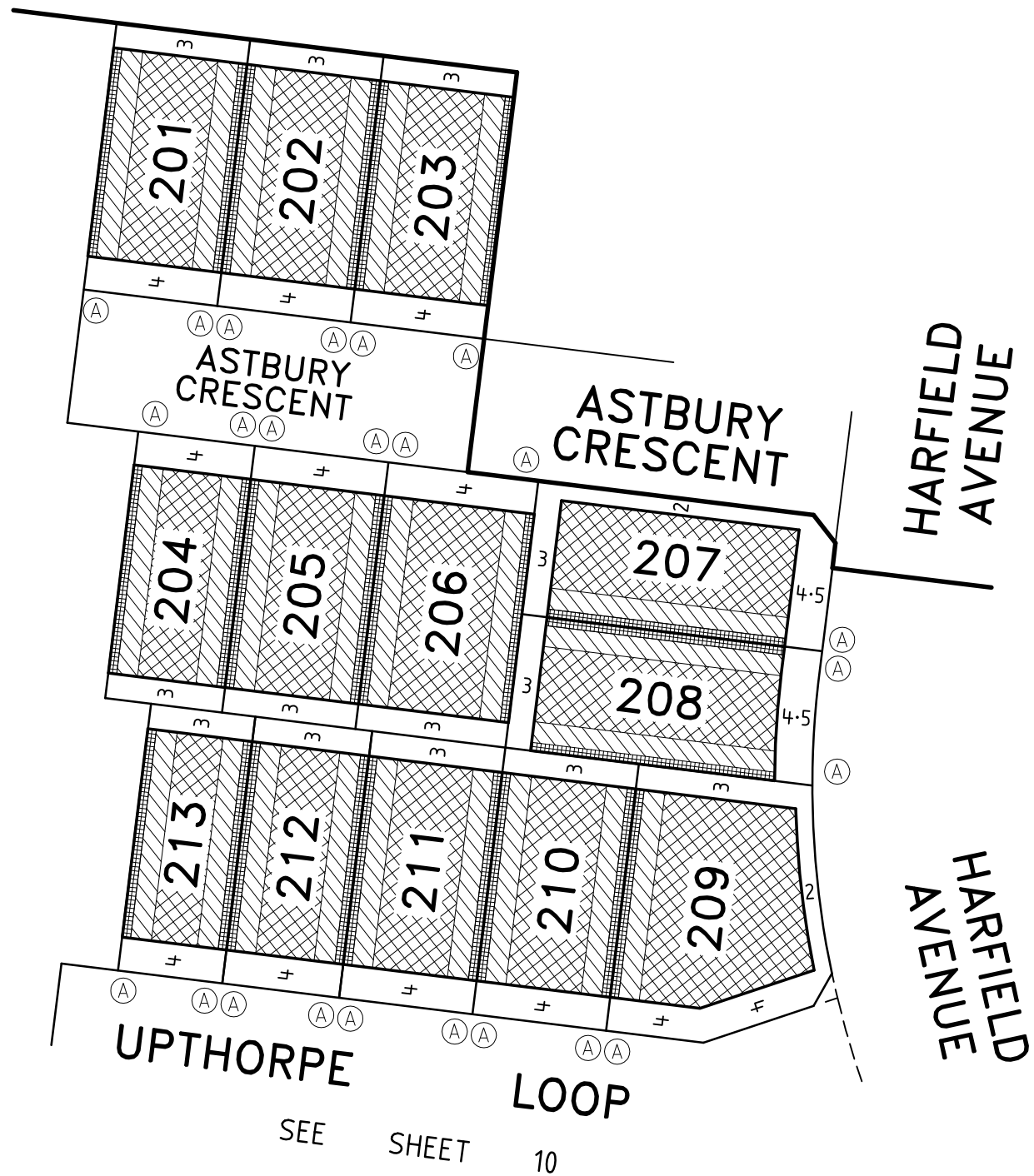
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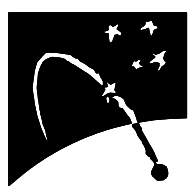


SEE SHEET 11

SEE SHEET 10

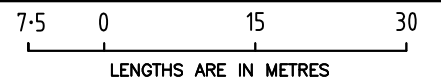
WARATAH - 2

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LICENSED SURVEYOR ANDREW J. REAY

SCALE
1:750



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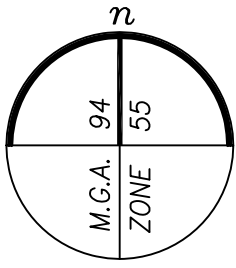
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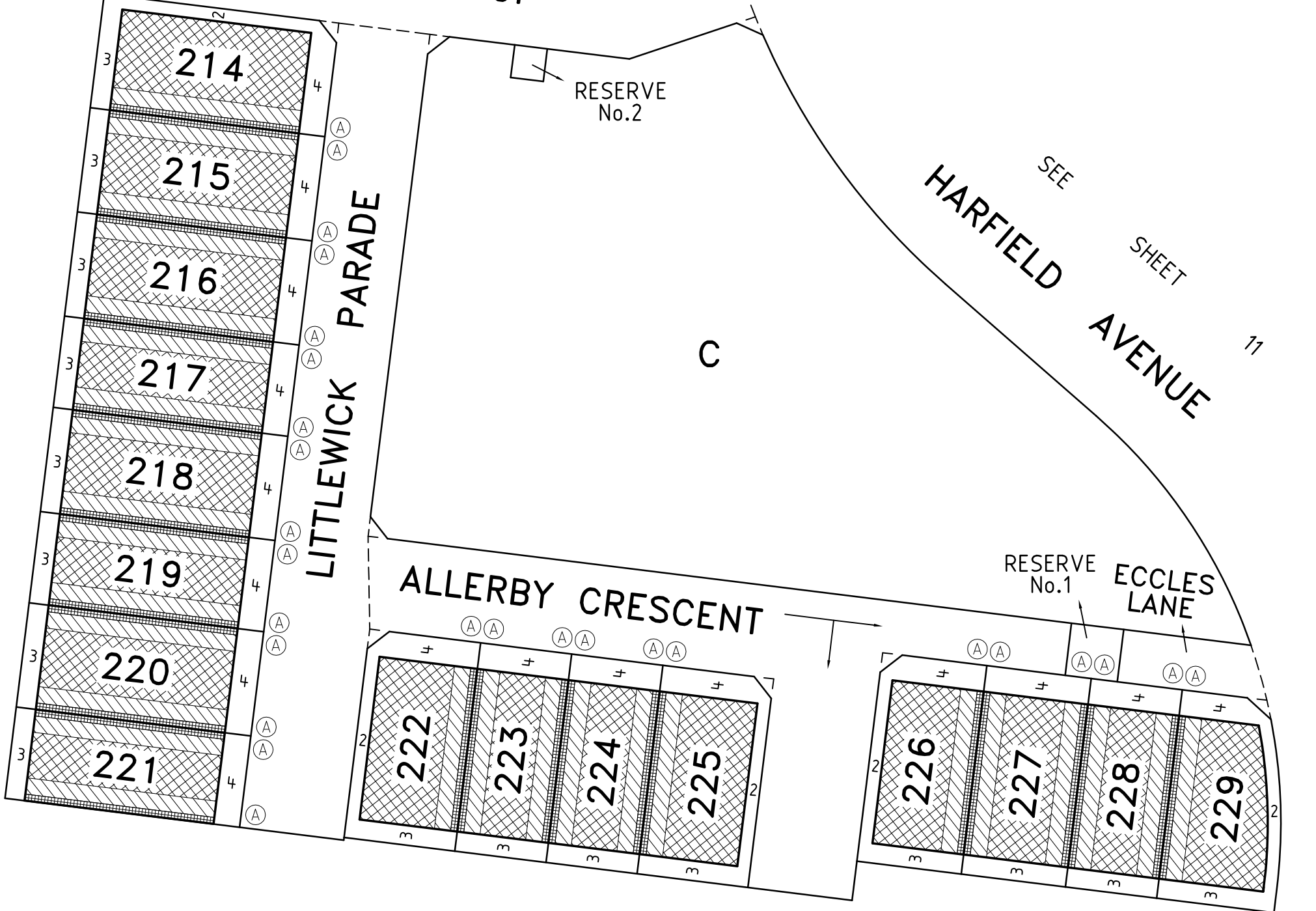


SEE SHEET 9

UPTHORPE LOOP

RESERVE No.2

SEE SHEET 11
HARFIELD AVENUE

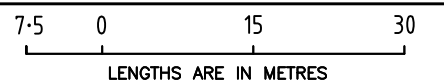


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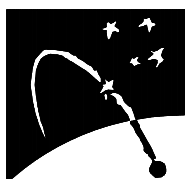
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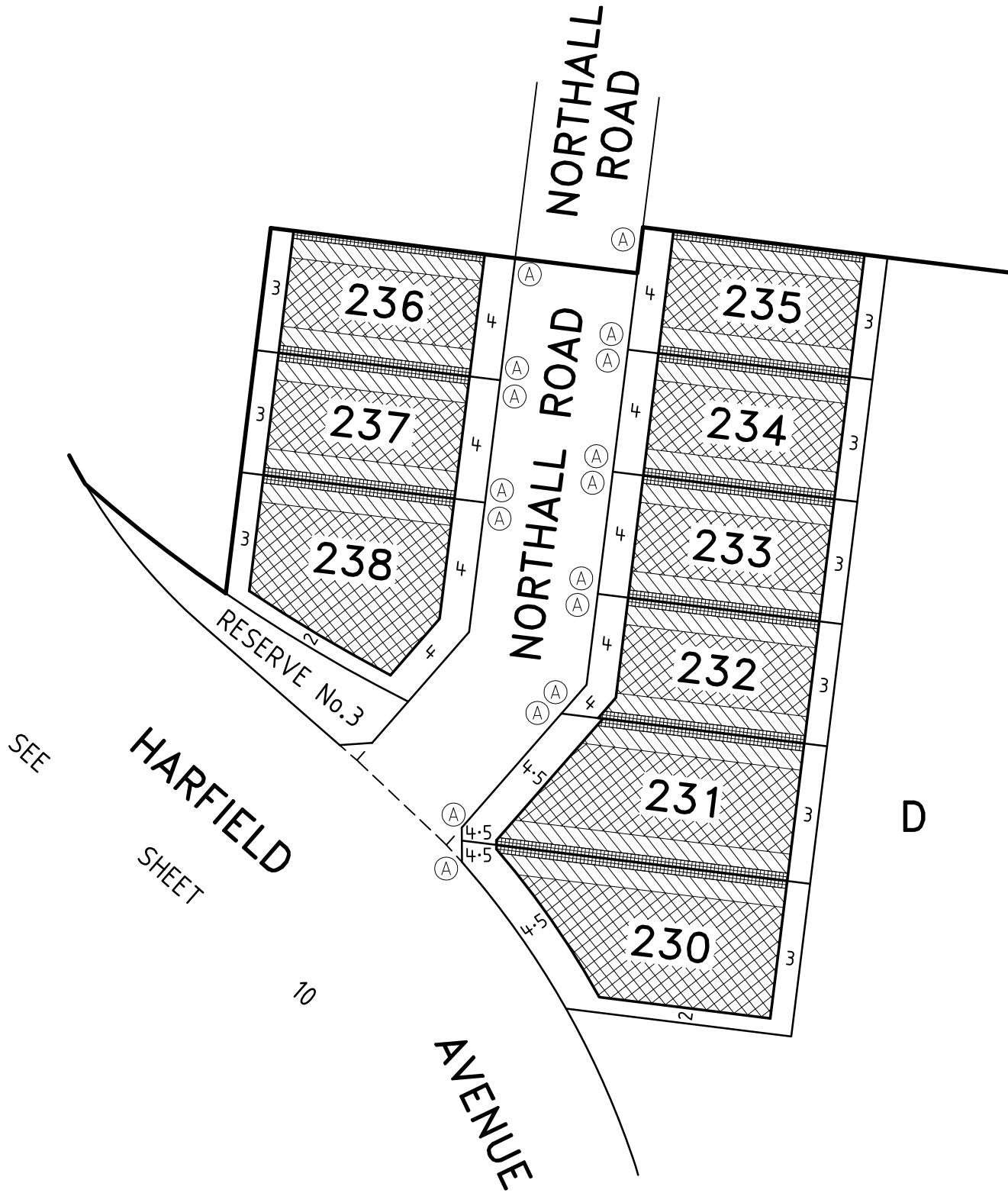
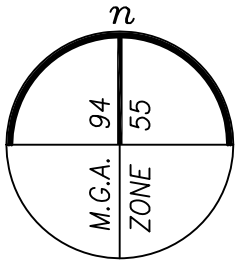
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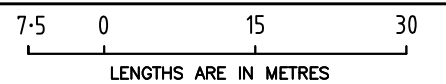
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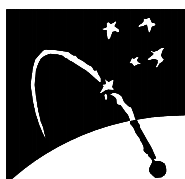
WARATAH - 2

LICENSED SURVEYOR ANDREW J. REAY

SCALE
1:750



Bosco Jonson Pty Ltd
A.B.N 15 169 138 827
P.O. Box 5075, South Melbourne, Vic 3205
16 Eastern Road South Melbourne
Vic 3205 Australia
Tel 03) 9699 1400 Fax 03) 9699 5992



DATE 21/06/16
VERSION M

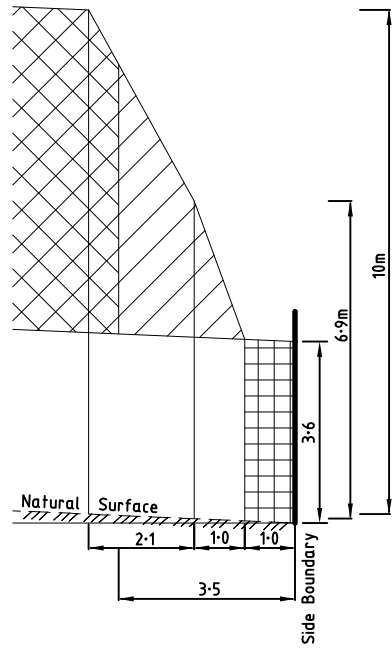
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DRAWING 3023202AM

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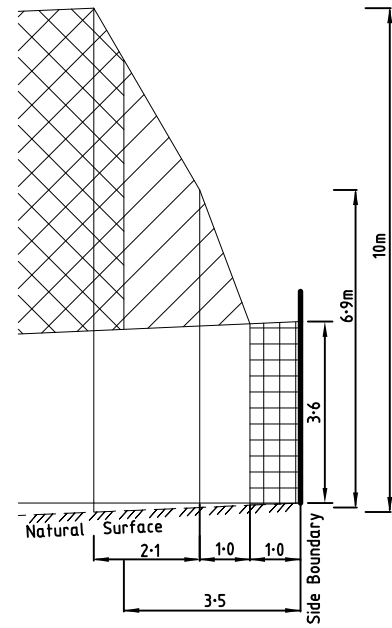
Digitally signed by: Andrew John Reay (Bosco Jonson Pty Ltd),
Surveyor's Plan Version (M),
22/06/2016

Digitally signed by:
Hume City Council,
24/06/2016,
SPEAR Ref: S077469E

(A) Profile

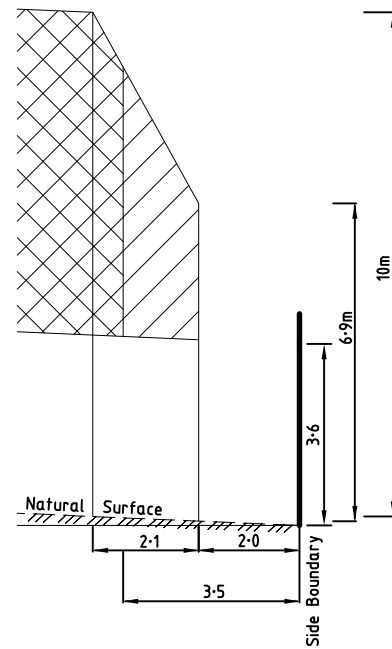


Natural surface rising from side boundary

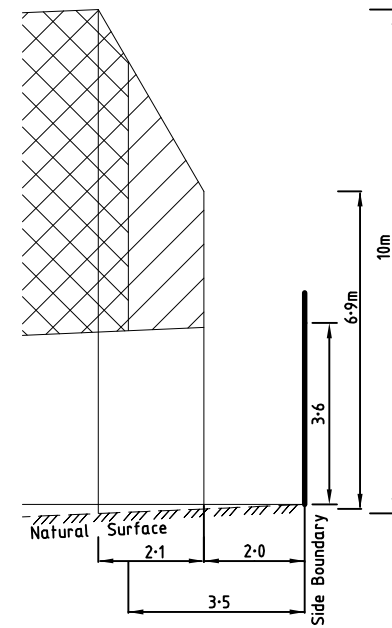


Natural surface falling from side boundary

(B) Profile



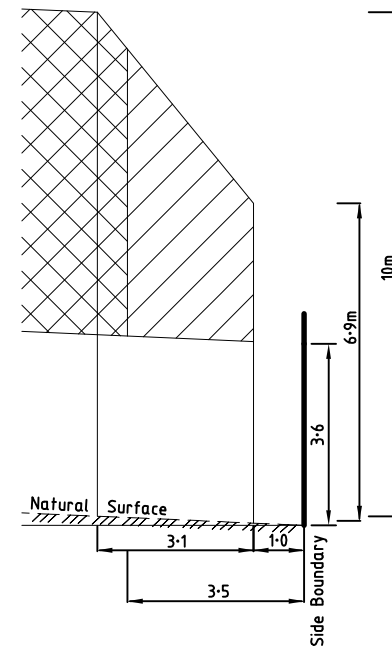
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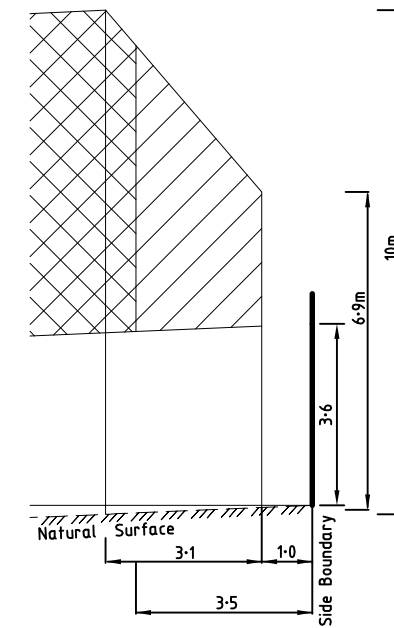
Natural surface falling from side boundary

PROFILE DIAGRAMS

(C) Profile

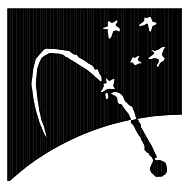


Natural surface rising from side boundary



Natural surface falling from side boundary

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WARATAH - 2

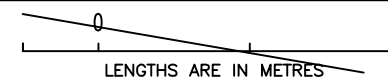
LICENSED SURVEYOR ANDREW J. REAY

DATE 21/06/16

VERSION M

REFERENCE 30232023

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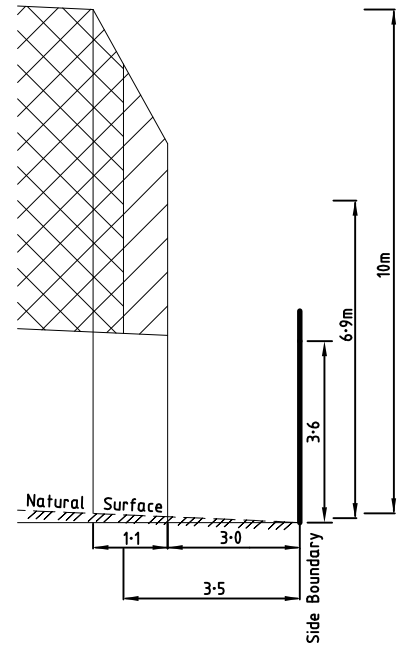
ORIGINAL SHEET SIZE A3

SHEET 12

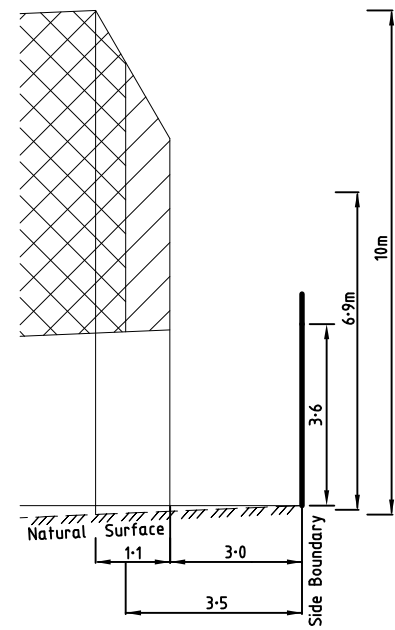
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 SPEAR Ref: S077469E

D Profile

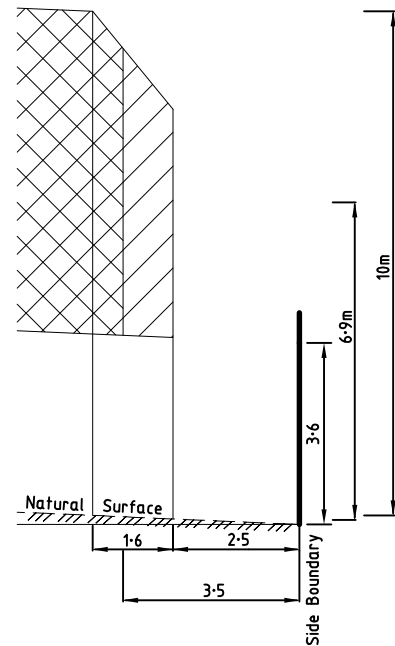


Natural surface rising from side boundary

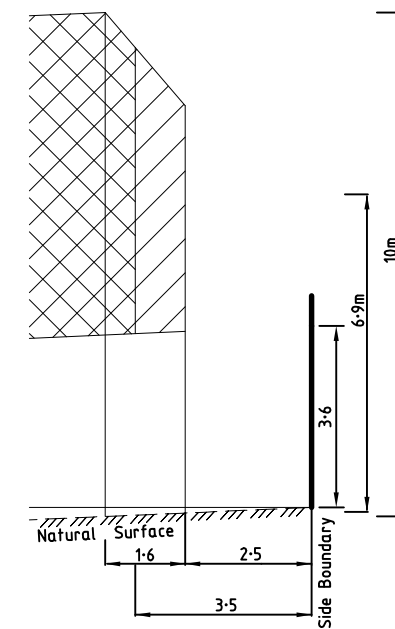


Natural surface falling from side boundary

E Profile



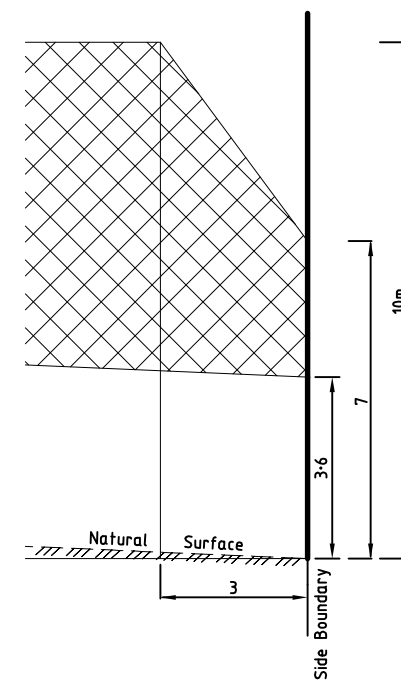
Natural surface rising from side boundary



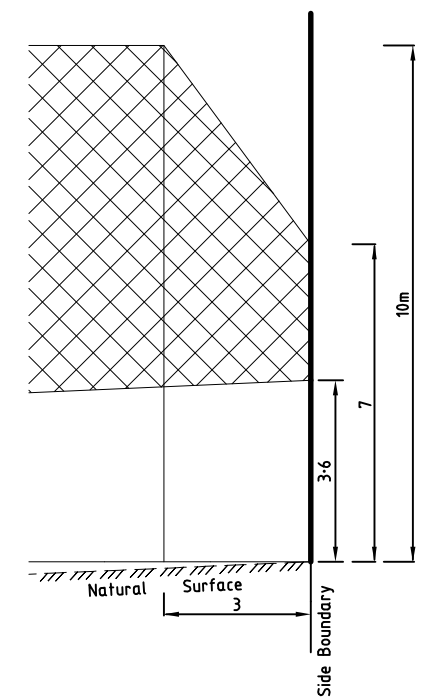
Natural surface falling from side boundary

PROFILE DIAGRAMS CONTINUED

T Profile

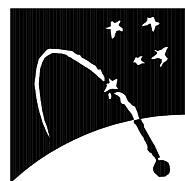


Natural surface rising from side boundary



Natural surface falling from side boundary

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WARATAH - 2

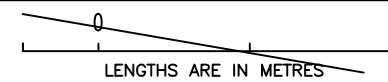
LICENSED SURVEYOR ANDREW J. REAY

DATE 21/06/16

VERSION M

REFERENCE 30232023

DRAWING 3023202AM



LENGTHS ARE IN METRES

SCALE

ORIGINAL SHEET SIZE A3

SHEET 13

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