



Trillium[∞]

MICKLEHAM

Design Guidelines

Table of Contents

1. INTRODUCTION.....	3
1.1 PURPOSE & STATUS OF THE GUIDELINES.....	3
1.2 OBJECTIVES OF DESIGN	3
1.3 OPERATION	3
1.4 TIMING OF THE CONSTRUCTION OF YOUR HOME.....	4
2. SUBMISSION OF DOCUMENTS TO THE DAP	5
2.1 RE-SUBMISSION.....	5
2.2 APPROVAL.....	5
2.3 BUILDING PERMIT.....	5
2.4 CONSTRUCTION.....	6
3. SITING & ORIENTATION.....	6
3.1 CONSIDERATIONS.....	7
3.2 LAND USE	7
3.3 HOUSE ORIENTATION	7
3.4 DWELLING ARTICULATION	7
3.5 BUILDING ENVELOPES AND SETBACKS	8
3.6 BUILDING HEIGHT.....	9
3.6 SLOPE CONSIDERATIONS	10
3.7 SITE COVERAGE.....	10
4.1 ARCHITECTURAL STYLE.....	11
4.2 MATERIALS AND COLOURS.....	11
4.3 DWELLING SIZE.....	12
4.4 TERRACE DUPLEX SYLE DWELLINGS.....	12
4.5 TWO STOREY DWELLINGS	12
4.6 CORNER ALOTMENTS.....	13
4.7 ENERGY EFFICIENCY.....	13
4.8 ROOFS.....	13
4.9 GARAGES.....	13
4.10 OVERSHADOWING.....	15
4.11 PRIVACY AND OVERLOOKING.....	16
5. EXTERNAL CONSIDERATIONS	17
5.1 ACCESS AND DRIVEWAYS.....	17
5.2 FENCES.....	17
5.3 WATER SAVING INITIATIVES	18
5.4 LETTERBOXES	18
5.5 GENERAL	18
5.6 LANDSCAPING AND TREE PROTECTION	20
5.7 CONSTRUCTION MANAGEMENT.....	21
5.8 BROADBAND NETWORK	21
6. NOTES AND DEFINITIONS.....	23
7. BUILDING ENVELOPES.....	25
8. APPLICATION FORM & CHECK LIST	26

1. INTRODUCTION

The Trillium Design Guidelines have been established to protect your investment and ensure that all homes within the community are designed and constructed to a standard that respects the design theme and the neighbourhood.

1.1 PURPOSE & STATUS OF THE GUIDELINES

These Design guidelines form part of the Contract of Sale and are binding within the Creation of Restriction that forms part of your Certificate of Title. In all cases the requirements to comply with the Guidelines and Building Envelopes have an expiration date as noted on the creation of Restriction. After the expiry date, compliance reverts back to the statutory requirements at that time.

The Guidelines are subject to change by the developer at any time without notice. All decisions regarding the Guidelines are at the discretion of the Design Assessment Panel.

Preliminary designs and enquiries are welcomed to ensure compliance with the Guidelines. It is recommended that you provide a copy of the Guidelines to your builder at the earliest time possible.

1.2 OBJECTIVES OF DESIGN

Each individual house design should contribute to the surrounding environment and to the community in a positive way. Owners are encouraged to construct innovative and appropriate designs that address sustainability issues and present a cohesive residential image for the community.

Building Envelopes have been designed for all allotments to ensure homes are appropriately sited with generous setbacks and height controls to prevent overlooking and overshadowing.

The Guidelines are intended to enhance the development of your lot rather than cause a restriction.

The key components of the Guidelines that should be especially noted are

- Siting and Orientation
- Architectural style and built form including articulation of facades, corner allotments and two storey dwellings
- Use of different building materials
- Garaging
- Placement of ancillary equipment
- Maintenance of your property
- Landscaping and fencing

1.3 OPERATION

The Design Assessment Panel ('DAP') will comprise an architect and a representative of the developer. The makeup of the panel may be varied. However, the panel will always include at least one architect member.

All proposed building works including houses, garages, outbuildings and fencing shall be approved by the DAP in relation to the Guidelines prior to seeking a Building Permit.

In considering designs, the DAP may exercise a discretion to waive or relax a requirement.

1.4 TIMING OF THE CONSTRUCTION OF YOUR HOME

Incomplete building works must not be left for more than 3 months without work being carried out and all building works must be completed within twelve months of their commencement.

2. SUBMISSION OF DOCUMENTS TO THE DAP

After reviewing and understanding these Guidelines, including discussing the Guidelines with your Architect, Builder and or building designer, you will need to submit the following to the DAP.

Provide 2 copies in A3 format to the DAP for approval as follows:

- Site plan (1:200 scale) showing:
 - setbacks from all boundaries
 - Building Envelope
 - existing contours
 - proposed finished floor levels and site levels
 - external features including driveways, paths, fencing and outbuildings
 - Landscaping
- House floor plans (1:100 scale)
- Elevations from four sides (1:100 scale)
- Schedule of external materials and colours. Colour swatches must be provided.
- Completed Check List (refer Section 8 of Guidelines)
- Note: internal fit-out details such as kitchens etc. are not required.

Submit all hardcopy information to:

TRILLIUM DESIGN ASSESSMENT PANEL
c/- Stephan P. Kosa & Associates Pty Ltd
PO Box 356
Mont Albert, Vic 3127

Applications can also be emailed to DAP@kosaarchitects.com.au

2.1 RE-SUBMISSION

Plans that do not comply with the Guidelines will be returned with the areas of non-compliance highlighted. Amended plans need to be resubmitted for approval.

Any alterations made to the resubmission other than the initial non-compliance should also be highlighted on the plans or an accompanying letter.

2.2 APPROVAL

The DAP will promptly approve plans that comply with the requirements of these Guidelines. Allow approximately 10 working days for approval.

2.3 BUILDING PERMIT

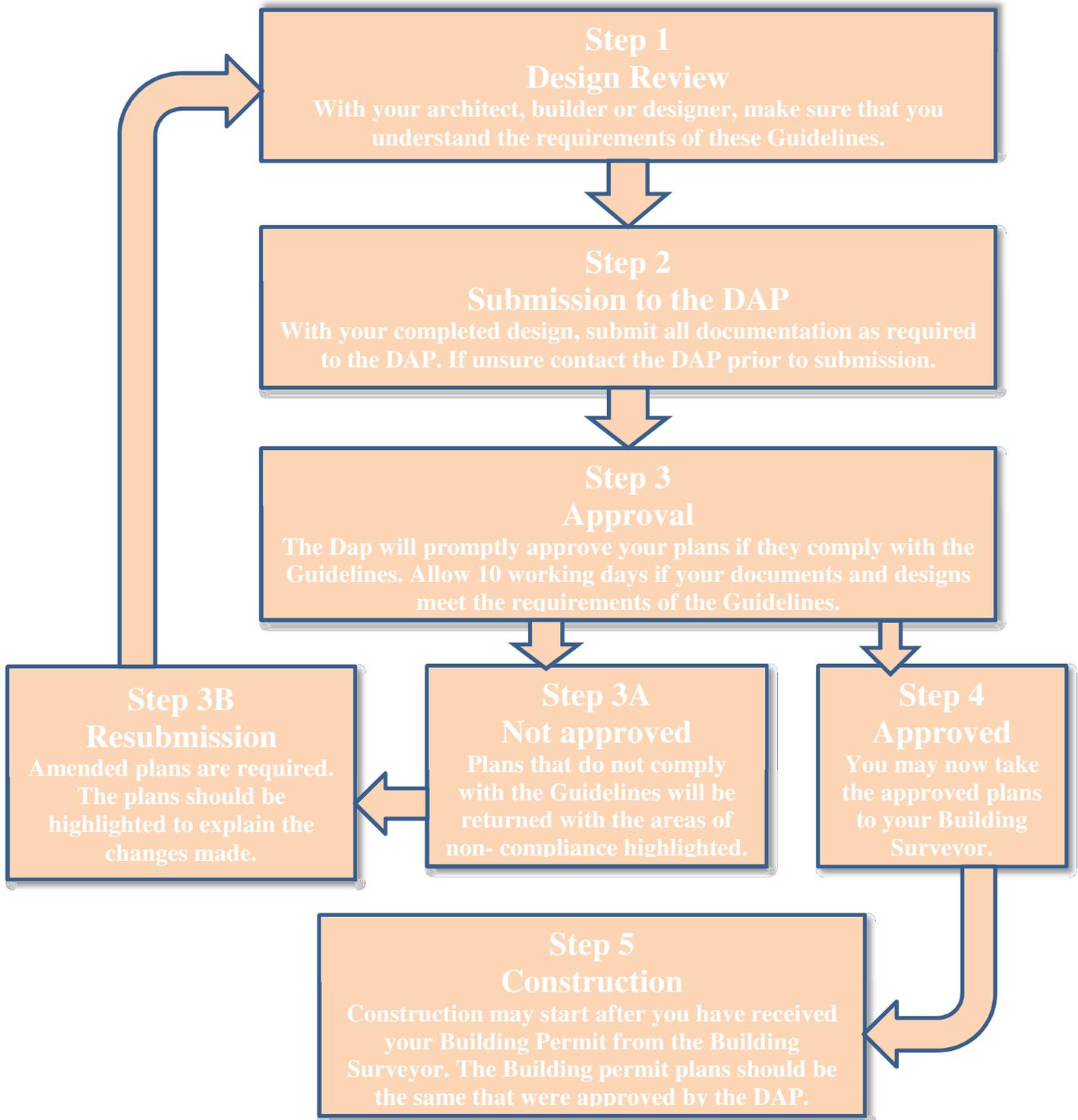
After approval from the DAP, you must then obtain a Building Permit from the Council or a Private Building Surveyor.

Note: Design approval from the DAP does not exempt the plans from any building or statutory regulations other than the exemptions obtained as part of the Planning Permit or any subsequent permit issued by Council. Approval by the DAP does not

infer compliance under the Building Code of Australia, Rescode and other Statutory regulations.

2.4 CONSTRUCTION

Once a Building Permit has been obtained, construction of your house may begin.



3. SITING & ORIENTATION

3.1 CONSIDERATIONS

The siting of your home will be integral in developing the neighbourhood theme within the community. Consideration must be given to:

- Ensuring best visual presentation from the street;
- Maximising the benefits of solar access;
- Promoting energy efficiency;
- Minimising overlooking; and
- Respecting the privacy and amenity of neighbours.

3.2 LAND USE

One dwelling only is permitted per allotment. This does not apply to allotments identified by the developer as medium density allotments, duplex or multi-unit dwellings

3.3 HOUSE ORIENTATION

Houses must face the main street frontage and present an identifiable entrance to the street. Where possible, houses should be sited so that habitable rooms and private open spaces face northwards to receive maximum solar efficiency.

3.4 DWELLING ARTICULATION

To ensure that dwellings constructed within the community are designed to a high quality contemporary standard, they should be designed so that front and secondary street frontage facades are well articulated. Broad flat surfaces extending greater than 6 metres shall not be permitted.

Articulation can be achieved through a variety of ways and must incorporate at least one of the following features;

- Use of different materials and textures
- Variable wall setbacks to the front and side street boundaries
- Introduction of verandahs, porticos and pergolas
- Feature gable roof
- Continuation of window style and



Acceptable articulation



No articulation

3.5 BUILDING ENVELOPES AND SETBACKS

Building Envelopes

Building Envelopes have been prepared for the lots in each stage at Trillium and are contained within the Guidelines. The construction of buildings or associated buildings, including garages, must be contained within the Building Envelope specified for that allotment in the Guidelines.

Setbacks

The following setbacks for houses and garages must be met.

(i) The Front Street

The front street setback is designated on the specified Building Envelope for each allotment. All houses must be set back from the main street frontage by the minimum distance indicated.

Garages must be located or set back behind the front façade of the home.

(ii) Splayed and curved street frontages

Unless noted on the plan, the minimum front setback on a splayed or curved corner between two street frontages is on an arc connecting the front street setback line to the side street setback line commencing at the points that are perpendicular to the points where the street alignment commences to arc. Front entrances are to be easily accessible from the main street frontage.

(iii) The Side Boundaries

The side setback is designated on the specified Building Envelope for each allotment. A building must be setback from a side boundary not less than the distances specified in the Building Envelopes.

Walls may be built to the side boundary if provided for on the Building Envelope (see also 'Walls on boundaries' below). The measurements are taken from the natural surface levels to the top of the wall.

(iv) The Side Street Boundary

The side street setback is designated on the specified Building Envelope for each allotment.

(v) The Rear Boundary

Unless otherwise stated on the building envelope plan a rear wall of a building not exceeding 3.6 metres in height must be set back from the rear boundary a minimum of 3 metres, and a rear wall of a building exceeding 3.6 metres in height must be set back from the rear boundary a minimum of 5.5 metres for standard lots.

The maximum height of a building facing a rear boundary must not exceed the maximum building height allowed by the side envelope profile as shown in the relevant Building Envelope.

(vi) Walls on boundaries

Unless otherwise noted on the Building Envelopes, walls and associated parts of a building within 1.0 metres of a boundary are restricted to areas within a Building to Boundary Zone (BBZ). The BBZ spans the length of the side boundary between the front and rear setbacks permitted by this Building Envelope.

Within the BBZ, the following apply:

- Walls within the Building to Boundary Zone are allowed.
- Carports and verandahs are not permitted to be built to the boundary.
- Maximum height of a wall in the BBZ is restricted to 3.6 metres.
- Walls less than 1.0 metres from the boundary must be within 150 mm of the boundary.

(vii) Encroachments

Side, Side Street and Rear: The following may encroach into the specified setback distances by not more than 600 mm:

- Porches and verandahs.
- Masonry chimneys.
- Screens, but only to the extent needed to protect a neighbouring property from a direct view.
- Water tanks.
- Heating and cooling equipment and other services.

The following may encroach into the specified setback distances:

- Landings with an area of not more than 2 square metres and less than 0.8 metres high.
- Unroofed stairways and ramps.
- Pergolas.
- Shade sails.
- Eaves, fascia, gutters

Front: The following may encroach into the specified front street setback distances by no more than 1000 mm:

- Porches and verandahs to a maximum height of 4m for a single storey home and heights of up to 9m for a two-storey home.
- Decks and uncovered landings of not more than 2 square metres and less than 0.8 metres high from natural ground.
- Eaves.

(viii) Edge Boundary

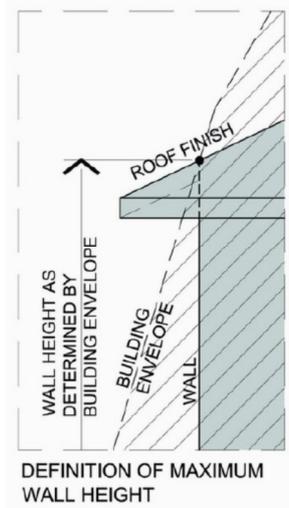
Exemptions relating to side setbacks and relating to siting matters do not apply to an Edge Boundary.

3.6 BUILDING HEIGHT

The maximum building height is 10.0 metres above the natural surface level of the ground directly below it.

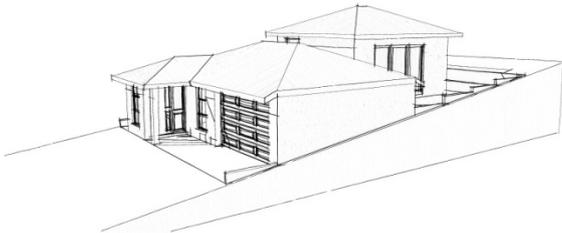
Natural ground/surface level is defined as the ground level after engineering works associated with the subdivision have been completed.

Sloping sites which may allow additional built area under the ground floor level will be considered and may be approved depending upon overall design and setback requirements. Large bulk excavations or high retaining walls are not permitted. For the purposes of these Guidelines retaining walls greater than 1.0 metre are considered excessive.

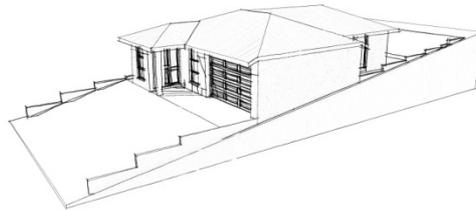


3.6 SLOPE CONSIDERATIONS

Houses and garages should be sited and designed to take advantage of the natural slope conditions at Trillium. Split level designs, for example, can be designed to follow the fall of the land and avoid unsightly and expensive earthworks that scar the natural landscape.



Correct level of excavation



Incorrect level of excavation

Unsightly cut or fill should be avoided and limited to 1.0m in depth. Landscaped terraces are preferred as per below with engineer-designed retaining walls.

3.7 SITE COVERAGE

Unless otherwise specified in the notations to the Building Envelopes as they apply to particular allotments, buildings must not occupy more than 60 per cent of the lot.

In calculating site coverage, eaves, fascia and gutters not exceeding 600 mm in total width, and unroofed swimming pools, terraces, patios, decks and pergolas should be disregarded. Roofed areas of terraces, patios, decks and pergolas are to be included in overall calculations.

Those lots noted accordingly in the Building Envelopes may have a maximum permitted site coverage of 70% but must have a private open space area that measures 25m² with a minimum dimension of 3 metres in width.

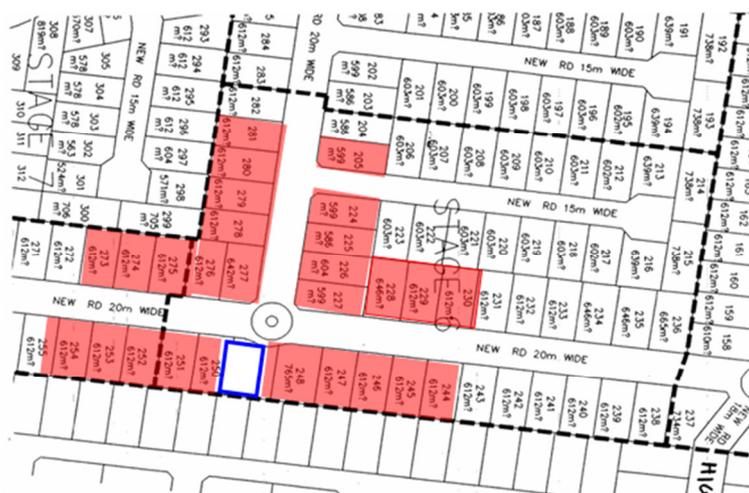
4. BUILT FORM

4.1 ARCHITECTURAL STYLE

At Trillium, high standards of house design will be required and a variety of styles are encouraged. Designs should be responsive to the individual attributes of the lot, having regard to any slope or vegetation. Designs that break the front of the dwelling into distinct visual elements will be supported.

The inclusion of projections integral to the design and style of the dwellings such as verandahs are encouraged. Further enhancement can be achieved through the use of detail and shade in the form of pergolas and extended eaves.

Houses with identical facades may not be constructed in close proximity and identical houses must be separated by a minimum of five houses in any direction. Exceptions to this rule may be approved at the discretion of the DAP. This will generally only be permitted where lots are less than 300sqm and are located next to each other, but do not share a common street frontage. The appearance of dwellings should provide a degree of richness and variety ensuring the creation of pleasant, interesting streetscapes.



Houses which have long uninterrupted expanses of wall should be avoided. Features, which may detract from the appearance of a house from the street, including small windows, obscure glass, window security shields, canvas and metal awnings, will be discouraged.

4.2 MATERIALS AND COLOURS

The materials and colours of the walls and roofs of houses will have a major impact on the visual quality of the Trillium. The use of a combination of finishes is encouraged for the purpose of achieving a degree of individuality and interest. Thoughtful selection of materials and colours will achieve a degree of visual harmony between houses and will avoid colours that are out of character with neighbouring houses. For these reasons, purchasers are requested to submit roof and wall materials and colours for approval.

External Walls

- The external walls (excluding windows) are to be constructed of brick, brick veneer, texture coated material, weatherboard or other material as approved by the DAP. Colours of trims should be selected to complement the main body of the house.

- Dwellings must have at least 25% render to the front facade or other texture coated material as approved by the DAP.

Roofs

- The roof is to be constructed of steel or masonry or as approved by the DAP. Grey, green and red (in muted tones) are recommended as roof colours as these colours reflect the natural tones of the environment at Trillium.

4.3 DWELLING SIZE

The minimum dwelling size is:

- 160 square metres in the case of a lot having an area of 500 square metres or greater; or
- 130 square metres in the case of a lot having an area of 400 square metres or greater but less than 500 square metres; or
- 100 square metres in the case of a lot having an area of 300 square metres or greater but less than 400 square metres; or
- 75 square metres in the case of a lot having an area of less than 300 square metres.

4.4 TERRACE DUPLEX STYLE DWELLINGS

Terrace style and duplex dwellings and dwellings on lots less than 10 metres wide must have a greater degree of articulation to the front facades. Stepping of the materials and the use of alternate materials must be incorporated to accentuate the articulation. Consideration of garage location and treatment must be considered so as not to dominate the streetscape.

4.5 TWO STOREY DWELLINGS

All two storey dwellings must be articulated to the front façade as a minimum, alternate materials are encouraged as a method of providing the visual break from a monotone and bleak façade. Treatments such as pergolas, verandahs etc. are recommended to break the line of sight. This recommendation also reflects to double storeys dwellings to corner allotments.

It is important to ensure that two-storey houses are designed and sited correctly to minimise overlooking and overshadowing. It is recommended that initial concepts for two-storey houses be discussed with the DAP.

The articulation of the front of the upper level of two-storey houses is encouraged to avoid dominating the streetscape.



Acceptable articulation



No articulation

4.6 CORNER ALOTMENTS

The home design must address both the primary and secondary street frontages and be of a consistent architectural design.

Design elements (such a verandahs, detailing, feature windows & materials) used on the primary frontage must continue on that part of the secondary frontage that is visible from the public realm.

4.7 ENERGY EFFICIENCY

An energy smart home takes advantage of the sun's free warmth and light and, with the inclusion of energy efficient appliance and systems, will save a great deal of energy.

Well-designed homes reduce the demand on heating and cooling. Any style of house can be energy efficient. Energy smart homes have a combination of features which work together to ensure you achieve the highest degree of comfort with minimum energy use.

Homes at Trillium must achieve a minimum of 6 Star Energy Rating in accordance with the Victoria Home Energy Rating System or greater if legislated by the building regulations. An energy rating certificate will not be required prior to DAP approval; however, a certificate will be required prior to obtaining a Building Permit.

4.8 ROOFS

Articulated roof shapes are preferred with hips and gable roof forms are encouraged, although each design will be considered on its merits by the DAP.

4.9 GARAGES

The garage and family car(s) have a significant impact on the streetscape. The design and location of garages should endeavour to make them an integral and unobtrusive part of the house. All homes must allow for an enclosed garage for car accommodation. All garages unless otherwise specified must be setback from the main street frontage.

Double garages must be provided on lots greater than 12.5 metres in width. Garages must be constructed within the Building Envelope and sited a minimum of 5.0 metres from the front street boundary unless otherwise noted. The garage setback also applies for entry to the garage from the side street boundary, unless otherwise noted

Terrace style lots may have garage access from the rear of the site, in the case that this occurs as nominated on the building envelope plan, then the siting of the garage must be located within the confines of the building envelope plan.

It is preferable for garages to be constructed under the main roof of the house. If garages are free standing and/or visible from the street, they should match the roof form and be constructed of the same materials as the house.



Unacceptable design

The garage may be constructed to the side boundary, depending on the location of adjacent buildings and garages relative to the side boundaries and whether permitted in the Building Envelope. Deep excavations on the boundary will not be permitted - this would cause detriment to adjoining properties.

Secondary garages are discouraged. The design for an additional garage would need to be discussed with the DAP and it must be disguised and out of view from the main street frontage.

Only one crossover is permitted and only one double garage door is permitted to be visible from the main frontage of the house.

When designing garages, consideration must be given to the screening of boats, caravans and trailers and for 'drive-through' access to the rear yard. The garage door is a major visual element of the streetscape and doors facing the street must be panelled and of a colour which complements the house. The inclusion of windows, recesses or projections in the garage door should be considered so as to present an interesting and integrated façade.



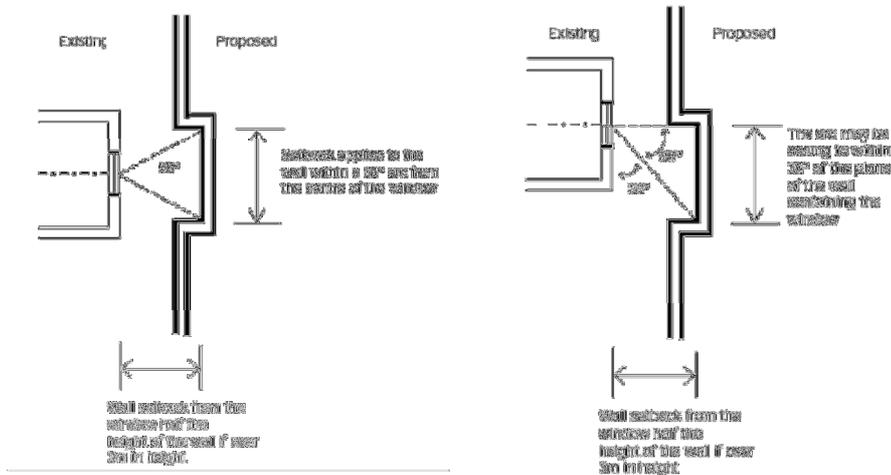
4.10 OVERSHADOWING

Daylight to existing habitable room windows

Unless otherwise provided for on the building envelopes, buildings must be setback from a habitable room window in an existing building on an adjoining lot to provide for a light court to the existing window that has a minimum area of 3 square metres and a minimum dimension of 1 metre clear to the sky.

The area of the light court may include land on the adjoining lot. A wall with an average height of more than 3.6 metres opposite a habitable room window in an existing dwelling on an adjoining lot must be setback from that window at least half the height of the wall if the wall is within a 55 degree angle in the horizontal plane about a vertical axis through the centre of the window. The angle may be swung to not less than 35 degrees from the plane of the wall containing the window.

This is illustrated in the two diagrams.



If the existing habitable room window is above ground floor level, the wall height is measured from the floor level of the room containing the window.

Solar access to north-facing habitable room windows

Any north facing habitable room windows shall be located within the Building Envelope and as described in the Profile Diagrams for the lot.

Building Regulation 417 is superseded by this Guideline.

Overshadowing of recreational private open space

Building on the lot must not cause shadowing of recreational private open space on the lot or any adjoining lot greater than the amounts stated in the Building Regulations.

Non-overshadowed recreational private open space is a part of the lot that:

- Is to the rear of the minimum front setback specified by the Building Envelope; and
- Receives sunlight for a minimum of 5 hours between 9 a.m. and 3 p.m. on 22 September.

4.11 PRIVACY AND OVERLOOKING

Overlooking from habitable room windows

If a habitable room window is in a part of the building within an overlooking zone, any part of the window that is more than 2.5 metres above natural ground level must not allow a direct view to an adjoining lot. This does not apply to windows in a rear wall, which comply with the specified rear setbacks.

Overlooking from raised open spaces

A raised open space within an overlooking zone and with a floor level of more than 0.8 metres above natural ground level must not allow a direct view to an adjoining lot.

A direct view is:

(i) **From a habitable room window**, any line of sight measured from a height of 1.7 metres above

(a) a vertical plane measured at an angle of 45 degrees from each side of the window, and

(b) the floor level of the habitable room, and

(c) the ground level below, and

(d) a horizontal distance of 9 metres from the window.

(ii) **From a raised open space**, any line of sight measured from a height of 1.7 metres above the floor level and along the perimeter of the raised open space to any point within a horizontal distance of 9 metres from the raised open space and extending 45 degrees beyond any point where the perimeter of the raised open space meets a wall of the building.

Daylight to new habitable room windows

Walls containing habitable room windows must be set back from the boundaries of the lot to allow a horizontal distance of at least 1 metre clear to the sky from the boundary. Habitable room windows must face an outdoor space or light court with a minimum area of 3 square metres and minimum dimension 1 metre clear to the sky, not including land on an adjoining allotment, or a verandah on the lot if it is open for at least one-third of its perimeter. A side of a verandah is considered to be open if its roof covering adjacent to that side is not less than 500 mm from another building on the lot or the boundary of an adjoining lot.

5. EXTERNAL CONSIDERATIONS

5.1 ACCESS AND DRIVEWAYS

Driveways are a major visual element at Trillium and should be constructed using materials that blend with or complement the dwelling textures and colours. No plain concrete will be permitted. Only one driveway will be permitted for each lot.

Driveways must not be wider than 5 metres at the street boundary of a lot and planting between the driveway and property boundary is encouraged.

Recommended paving materials include stone, brick or coloured concrete.

All driveways must be completed within three months of the Occupancy Permit being issued.

5.2 FENCES

The objective of the DAP is to provide a degree of uniformity throughout the community and thereby avoid an untidy mix of various fence standards, colours and types. To enhance the park-like character of the community, no front fencing will be permitted.

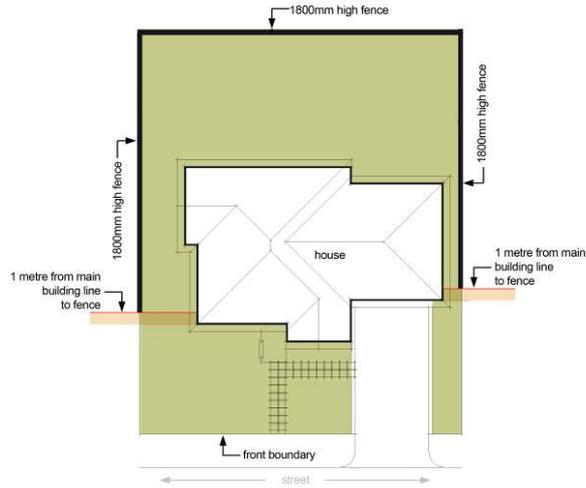
Fences may be stained with a clear finish but must not be painted with coloured stains or paint.

On side boundaries, no fencing is permitted forward of the building line.

All side and rear fences are to be constructed of timber palings with exposed posts and capped across the top to a maximum height of 1.8 metres (excluding a screen required for overlooking purposes). Fences must not be painted.

All fencing must be constructed in accordance with the Restrictive Covenant as detailed on the relevant Plan of Subdivision and as approved in writing by the DAP. For the purposes of these Guidelines, the prescribed fence height of 1.8 metres to the side street, side and rear boundaries will be exempt from the provisions of the Building Regulations.

Fences permitted by the Guidelines are not deemed to overshadow the recreational private open space on the allotment.



5.3 WATER SAVING INITIATIVES

Recycled water is intended to be piped to Trillium.

All homes must provide for a connection to the recycled water network for use in garden taps, toilet flushing, car washing and the like at the cost of the lot owner.

All residents are encouraged to consider other water saving initiatives in the home including:

- Grey water systems
- Rain water tanks
- Solar hot water systems
- Energy efficient tap ware and appliances

5.4 LETTERBOXES

Letterboxes and street numbering must be installed before occupation. Letterboxes must be designed to match the house using similar materials and colours.

The size and position of the letterbox must comply with Australia Post requirements. The street number must be clearly identifiable, suitably sized and located and must not interfere with the overall streetscape.



Unacceptable

Acceptable

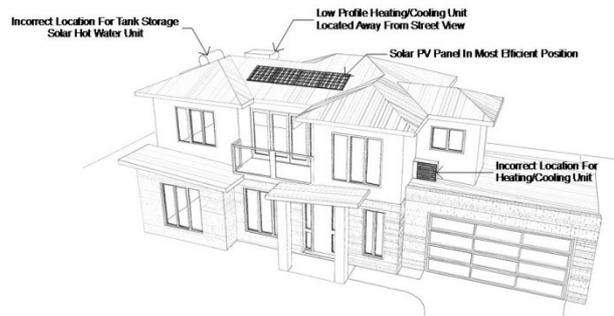
Acceptable

5.5 GENERAL

External fixtures must achieve the following objectives and the location must be noted on plans to be submitted to the DAP:

Clothes-lines, Garden Sheds, External Hot Water Services and Ducted Heating Units must not be visible from the street.

Solar Water Heaters are permitted and, where possible, are to be located out of view from the street frontage. The solar panels shall be located on the roof, not on a separate frame, and the storage tanks detached and concealed from public view, by locating them within the roof space or house.



Solar panels in general are permitted, provided that they are flat in profile and are clearly located and noted on the development plans submitted to the DAP.

Air-Conditioning Units

Evaporative air-conditioners must be positioned so that they are not visible from the main frontage of the dwelling. They must be painted to match the colour of the roof, be low profile units and installed as low as possible below the roof ridgeline towards the rear of the house. Wall mounted air-conditioners must be located below the eaves line, screened from public view and suitably baffled to reduce noise.

Television Antennae must be located within the roof of the house or below the roof ridgeline and not visible from public view.

Satellite Dishes will only be approved if located below the roofline of the house and must be screened from public view.

Rainwater Tanks must be not visible from the street frontage.

No external **Plumbing** to a dwelling shall be visible from a street or dwelling. All plumbing on double-storey houses, except downpipes, must be internal so as not to be visible from the street or neighbouring properties.

External lighting including spotlights, flood lights and any lights illuminating any outdoor area are to be approved by the DAP.

Rubbish Bins & Recycling Bins should be stored out of view from the street.

Commercial Vehicles with a carrying capacity of 1 tonne or more or any boat, caravan or trailer shall not be permitted to be parked on a lot or the nature strip so that it is visible from any street.

Advertising Signage

Signage is not permitted on residential lots with the following exceptions:

- Only one advertising sign will be permitted to be erected on a lot that is being advertised for resale AND only after the developer has sold ALL lots in the development.
- Display home signage will be permitted but only with the written approval of the DAP and Hume City Council.

Builders or tradespersons identification required during construction of the dwelling to a maximum size of 600 mm x 600 mm. Such signs must be removed within 10 days of the issue of the Occupancy Permit.

Sheds

Sheds should be restricted in size and must be in harmony with the other buildings. Sheds are to have a maximum wall height of 2.4m, maximum ridge height of 3 metres and a maximum floor area of 9 square metres. It is the responsibility of the Purchaser to ensure that the requirements relating to location, size and height for all outbuildings adhere to governing authority requirements.

All sheds are to be erected with a muted/earthy tone colorbond material.

Carports

No carports are permitted to the front of the dwelling.

Window Furnishings

Internal window furnishings which can be viewed by the public must be fitted within three months of occupancy. Sheets, blankets or similar materials for which window furnishing is not their primary use will not be permitted.

5.6 LANDSCAPING AND TREE PROTECTION

General Guidelines

The garden design will require careful thought to ensure that the appropriate plants are selected for the particular lot conditions.

The objective is to achieve a cohesive blend of indigenous vegetation and other landscape elements, integrating street and parkland landscaping with private gardens so that the streetscape presents as a landscaped garden.

Landscape design and plant selection should minimise the need for garden watering. No tree or shrub with a mature height greater than 3 metres should be planted closer than 2 metres to the house. Purchasers should make their own enquiries with the Council for a list of local and indigenous plantings that would be suitable for the community.

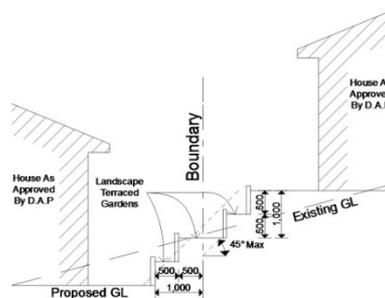
Front Gardens

All landscaped areas to the front of the house must be established within three months of the issuing of the Occupancy Permit to ensure that a good presentation is achieved for the local community. The front garden should include at least 20 plants/shrubs in 150mm pots and at least one advanced feature tree in a 75 litre pot.



Embankments

Embankments should not exceed a slope of 1 in 5. Retaining walls are preferred to steep embankments and should be kept to a maximum height of 1000 mm – a number of small terraces are preferred.



5.7 CONSTRUCTION MANAGEMENT

During the construction period the builder must install a temporary fence and ensure that rubbish and building waste is contained within the building site. Damage to nature strips, crossovers, footpaths and kerb and channel caused during the construction period is solely the responsibility of the landowner and their builder.

5.8 BROADBAND NETWORK

Trillium is an OptiComm Fibre Connected Community. This means that all homes in Trillium will have access to the OptiComm high speed broadband network. Some benefits of high speed broadband are:

- Distribution of analogue and digital free to air television
- Ultra-high speed internet - even in high usage times and not affected by distance from an exchange
- Pay TV - choice of providers
- External aerials and satellite dishes are not required

What you need to do to prepare for High Speed Broadband:

Step 1. Conduit (Pipe) Installation

You must make sure your builder has installed a 32mm white telecommunications conduit from the front boundary of your lot to the meter box location on the side of your house. Your builder can install this conduit, or you can arrange for OptiComm, who undertake all Optic Fibre Network Connections, to install this conduit for you. Typical costs for up to 10 metres of trenching and conduit would be \$440 (GST inclusive). The OptiComm Customer Connection Information Desk can be contacted on 1300 137 800. This conduit should be installed during construction of your home.

Step 2. Prepare your home to be able to distribute the Internet, Telephone, TV and other services throughout your rooms

Structured Cabling of your home is optional, but highly recommended, as it will enable you to take advantage of all features the Trillium Optical Fibre Network has to offer. It is recommended that you arrange a quote to cable your new home from your builder or OptiComm's contractors early in your construction phase or at contract negotiation as the wiring should be done at the frame stage of construction. Structured Cabling is an additional cost to the conduit and customer connection.

Step 3. Connection to the Optical Fibre Network

When you have received your Certificate of Occupancy or are about two (2) weeks before you move in, call OptiComm's Customer Connection Information Desk on 1300 137 800 to arrange the connection to the Optical Fibre Network.

The typical customer connection cost is \$550.00 incl. GST and includes the following services:

- Installation of Optical Network Terminal and the Power Supply Unit (back-up battery not included)
- Access to Free to Air Digital and Analogue (if available) TV signals
- Access to Foxtel Pay TV signals (resident to arrange for Foxtel connection at their cost)

Step 4. Contact a Retail Internet and Telephone Service Provider

Finally, the last step involves contacting a Retail Service Provider to arrange the connection of your Retail Internet and Telephone Services (see details over page). You will be contracting the Retail Service Provider to provide the Internet and Telephone Services over the OptiComm Wholesale Network.

Hints when discussing your requirements:

- Tell them you are in an OptiComm Fibre Community
- Make sure you tell them you are at Trillium, Mickleham
- Make sure you give them your full address
- Tell them whether you have moved in yet
- Advise them whether you have had OptiComm install the Optic Fibre and Hardware in the enclosure near your meter box - this will affect the time it takes to connect services
- If speaking with Foxtel make sure you tell them you are in an OptiComm Fibre Estate and the "ONT" (Optical Network Terminal) is installed

For further information please refer to:

<http://www.opticomm.net.au/>

6. NOTES AND DEFINITIONS

6.1 NOTES ON RESTRICTIONS

- Ground level after engineering works associated with the subdivision is to be regarded as natural ground level.
- In the case of a conflict between the Building Envelopes and these written notations, the Building Envelopes prevail.
- Buildings must not cover registered easements unless provided for by the easement.

6.2 GENERAL DEFINITIONS

If not defined above, the words below shall have the meaning attributed to them in the document identified:

In the *Building Act 1993*:

- Building
- Lot

In Part 4 of *Building Regulations 2006*:

- Clear to the sky
- Height
- Private open space
- Recreational private open space
- Raised open space
- Setback
- Site coverage
- Window
- Single dwelling
- North (true north)

In the *Victoria Planning Provisions*, 31 October 2002:

- Frontage (Clause 72)
- Dwelling (Clause 74)
- Habitable room (Clause 72)
- Storey (Clause 72)

6.3 ADDITIONAL DEFINITIONS

Edge Boundary

Edge Boundary means the boundary or part of a boundary of a lot on the Plan of Subdivision that abuts a lot, which is not within Trillium.

Front street or Main Street frontage

Front Street means the street or road that forms the frontage to the lot concerned. Where there is more than one road which adjoins a lot or where it may be otherwise unclear will be as agreed in writing by the DAP.

Side boundary

A boundary of a lot that runs between and connects the street frontage of the lot to the rear boundary of the lot.

Street

For the purposes of determining street setbacks, street means any road other than a lane, footway, alley or right of way.

Standard lot

A single lot that accommodates a freestanding house detached from adjoining houses and of an individual style.

7. BUILDING ENVELOPES

Refer attached Building Envelopes (including Profiles)

To be read in conjunction with the Plan of Subdivision for relevant stage.

8. APPLICATION FORM & CHECK LIST

PLEASE COMPLETE THIS CHECK LIST AND SUBMIT TO THE DAP WITH YOUR PLANS FOR APPROVAL TO:

**TRILLIUM DESIGN ASSESSMENT PANEL
c/- Stephan P. Kosa & Associates Pty. Ltd.
PO Box 356, Mont Albert, Vic. 3127**

Allotment details

Lot Number.....Street.....

Owner details

Name.....

Mailing address.....

.....

Contact

Numbers.....Email.....

Builder details

Name
(contact).....

Company:.....

Mailing address.....

Contact number.....Email.....

Correspondence sent to Owner or Builder (please circle one)

Attachments

- Completed checklist
- Email copy
- Landscape plan

- Hard copies of drawings x 2
- Colour and materials incl swatches

Application received.....

Notice of re-submission (date).....

Areas of non compliance.....

Re-submission received.....

Approval date.....

This Checklist will assist in determining whether your house design complies with the Trillium Design Guidelines.

If your plans comply, you can expect your plans to be approved by the DAP within ten working days.

IS THE FOLLOWING INFORMATION INCLUDED IN YOUR APPLICATION?

	YES	NO
House floor plans at a scale of 1:100 (two copies)		
Elevations from four sides at a scale of 1:100 (two copies)		
Roof plan (two copies)		
Site plan at scale of 1:200 showing (two copies) <ul style="list-style-type: none"> - Setbacks from all boundaries - Building Envelope - Existing contours - Proposed finished floor levels and site levels - External features including driveways, paths, fencing and outbuildings - Landscaping 		
Schedule of external materials and colours incl. swatches		

DOES YOUR HOUSE DESIGN COMPLY WITH THE GUIDELINES?

	YES	NO
CONSTRUCTION OF YOUR HOME:		
On what date did you settle your lot?		
Will you commence construction within 12 months of settlement?		
SITING & ORIENTATION:		
Do you propose to build only one dwelling on the allotment?		
Does your house face the main street?		
Is your home and associated buildings, including the garage, contained within the Building Envelope?		
Are there any encroachments into the specified setbacks? Are they allowable encroachments?		
What profile types apply to your allotment (Refer Building Envelope Plan) - Profile Types		
Is your home and associated buildings designed within the profile?		

	YES	NO
Is the height related setback from the side boundaries achieved?		
Does your design meet the site coverage requirement of less than 60% of the lot?		
BUILT FORM:		
ROOF Material_____		
Colour_____		
WALLS Material_____		
Colour_____		
TRIM Material_____		
Colour_____		
Is your allotment greater than 500sqm? If so, does your home exceed the minimum size required of 160sqm excluding garage?		
Is your allotment size above 400 square metres but less than or equal to 500 square metres? If so, does your home exceed the minimum size required of 130 square metres excluding garage?		
Is your allotment size above 300 square metres but less than or equal to 400 square metres? If so, does your home exceed the minimum size required of 100 square metres excluding garage?		
Is your allotment size 300 square metres or less? If so, does your home exceed the minimum size required of 75 square metres excluding garage?		
Does your home achieve a 6 Star Energy Rating in accordance with the Victoria Home Energy Rating System?		
Are you proposing a second garage? If so, is only one double garage door visible from the main frontage of the house?		
Is your house two-storey? If so, is the upper level stepped back?		
Does your house overlook/overshadow your neighbour's private open space areas?		
Does your house allow you to look into your neighbour's habitable rooms?		

	YES	NO
EXTERNAL CONSIDERATIONS:		
Does your design allow for only one driveway?		
Do you accord with the No Front Fence restriction?		
Is there fencing between the front lot boundary and the building line?		
Does your side and rear fencing comply with the fencing guideline?		
Have you placed external fixtures such as clothes-line, solar water heaters etc in positions that are not visible from the street?		
Have you made provision for locating any antenna within the roof of the house?		
If you are proposing an air-conditioner, is it located below the eaves line at the rear of the house?		
If you are proposing an evaporative air cooler, can it be seen from the front of the street? What colour is it? _____		
Does the house have internal plumbing?		
Will the landscaping of your front garden be complete within three months of you occupying your house?		
Have you arranged for the installation of an Optical Fibre lead-in conduit that is in accordance OptiComm requirements?		