



*The*  
**SURROUNDS**  
*by Villawood*

**Design Covenants | Version 2.5**



# INTRODUCTION

## *Purpose* OF THE COVENANTS

The DESIGN COVENANTS have been prepared to ensure desirable standards for both the dwellings and landscape of the HOMES, so as to ensure that THE SURROUNDS is a high quality, sustainable and environmentally sensitive community.

These covenants will be focused on form, style and detailing of all dwellings to ensure that sustainable, quality HOMES are constructed and maintained to a standard that enhances the neighbourhood and protects all BUYER'S/HOME OWNER'S investment into the future.

Adherence to a consistent covenant will ensure the HOME OWNER'S use, and enjoyment of their HOME is not interfered with as a consequence of other lot owner's building activities in THE SURROUNDS.

The implementation of these DESIGN COVENANTS will be monitored by The Surrounds Design Panel (TSDP). However, it is essential that future residents and/or potential purchasers are committed to adopting these standards to promote and protect the character of THE SURROUNDS community.

Plans, elevations, colours and materials selection will require approval by TSDP. The Council of the City of Gold Coast (COGC) will be the relevant authority for separate planning and building approvals.

Please ensure that you include the following in your online application ([villawoodproperties.com.au/user](http://villawoodproperties.com.au/user));

- Site plan, including; setback dimensions (refer to your Disclosure Plan), slope contours in AHD, extent of earthworks, dwelling ground/pad and floor level information, location of existing trees, retaining wall details, fencing details, driveway details, rainwater tank location, shed
- Landscape plan including; planting areas, drying area, nominated rubbish bin location, letterbox location
- Floor plans and a schedule of areas in m<sup>2</sup>
- Elevations and sections with natural surface level
- Roof plan
- Schedule of materials and colours

Failure to submit all of the required information may slow the approval assessment process and possibly require resubmission or result in rejection by the TSDP.

## BUILDING AND LANDSCAPE APPROVAL PROCESS

### *Step 1* Design Stage

If desirable, the architect/designer/builder can meet with a TSDP representative to discuss their proposed design and the DESIGN COVENANTS prior to or during the design process.

This communication will be helpful with regards to addressing planning issues such as driveways, building placement, setbacks, fencing, pools, SHEDS, ANCILLARY STRUCTURES etc prior to preparing detailed design plans to be submitted to TSDP/COGC.

### *Step 2* Approval Stage

The BUYER'S designer or builder will prepare the design and construction documentation and submit this via the Villawood Builder Portal at [villawoodproperties.com.au/builderportal/user](http://villawoodproperties.com.au/builderportal/user)

The TSDP will automatically be notified of the application and will advise its final approval of the working drawings within 10 working days of receipt thereof or require that the BUYER amend them to comply with the DESIGN COVENANTS. The TSDP will indicate its approval or otherwise within 10 working days after receiving any amendments.

### *Step 3* Local Authority Approval

Upon the BUYER receiving written final drawings approval from TSDP, the BUYER shall submit identical documents to the local authority, or private certifier, to obtain planning approval building certification.

### *Step 4* Build your home

Ensure that a copy of the DESIGN COVENANT approval issued by TSDP and a copy of 'Appendix 3 Builder Responsibility' is provided to the builder prior to construction commencing.

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# RESIDENTIAL CHARACTER

**“THE SURROUNDS**  
is a *rare and unique* opportunity  
combining natural parklands with  
excellent urban amenities all within an  
easy walk.”

The vision for THE SURROUNDS is to create a community that has the advantage of being well connected by public transport, adjacent to Helensvale Town Centre and nestled in natural parklands in a central Gold Coast location. THE SURROUNDS architecture aims to be climatically responsive and display the best of Australian contemporary architectural design. The HOME designs are to respond to the subtropical location and natural environment in a way that helps provide a distinctive community.

In your discussions with TSDP, you will be encouraged to incorporate simple architectural design principles with ARTICULATED elements such as terraces, balconies, verandahs and pergolas to promote interest and variety to the streetscape.

HOMES will be up-market using simple architectural design elements to create enjoyable and comfortable living environments. The HOMES will maximise the potential of the LOT but will not encroach on the privacy of neighbouring HOME OWNERS. HOMES will adopt a palette of colours and materials complementary to the setting. Roofs are to be a simple composition of shapes with the use of architectural elements to create interest in HOME elevations.



HOMES are to reflect an Australian contemporary architecture.  
\*image provided by Plantation Homes.



HOMES are to reflect an Australian contemporary architecture.  
\*image provided by Metricon.



HOMES are to provide interest and variety to the front facade and streetscape through the use of ARTICULATED elements such as terraces, balconies, verandahs and pergolas.  
\*image provided by Plantation Homes.



Roofs are to be a simple composition of shapes.  
\*image provided by Simonds.

# BUILDING ENVELOPE

## 1. BUILDING SITING

Each HOME should be designed to maximise the natural characteristics of its surroundings. Important characteristics to consider are:

- Site orientation and prevailing breezes.
- Solar access.
- Topographic characteristics and drainage lines.
- Points of access.
- Views and vistas.
- The relationship to the adjoining allotments and HOMES (existing or proposed).

All HOMES are to address streets and public open spaces (when applicable) in order to provide opportunities for passive surveillance. HOMES should have a width addressing the street appropriate for each LOT, to the satisfaction of TSDP.

TSDP strongly encourages the use of balconies, pergolas, verandahs and living areas with windows facing the PRIMARY STREET FRONTAGE, SECONDARY STREET FRONTAGE and public open spaces.

HOMES, GARAGES and any ANCILLARY STRUCTURES are required to comply with the minimum requirements as presented on Table 1 (page 6).

## 2. ARTICULATION

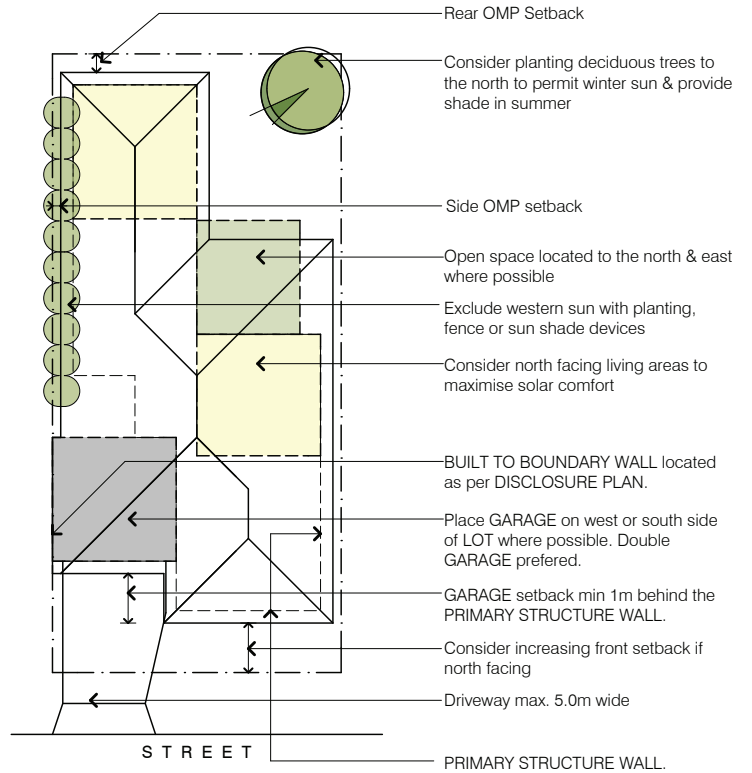
The design of HOMES are encouraged to incorporate a high level of ARTICULATION to provide an interesting streetscape. Walls on the second level and facing the secondary frontages/park frontages must be a maximum length of wall in one plane of 10.0m with a minimum step of 0.6m between planes.

Corner and park front LOTS are to address both street frontages by providing the following on SECONDARY STREET FRONTAGES and park frontages: windows from habitable rooms, decorative fencing, quality landscaping, and wall and roof alignment variation.

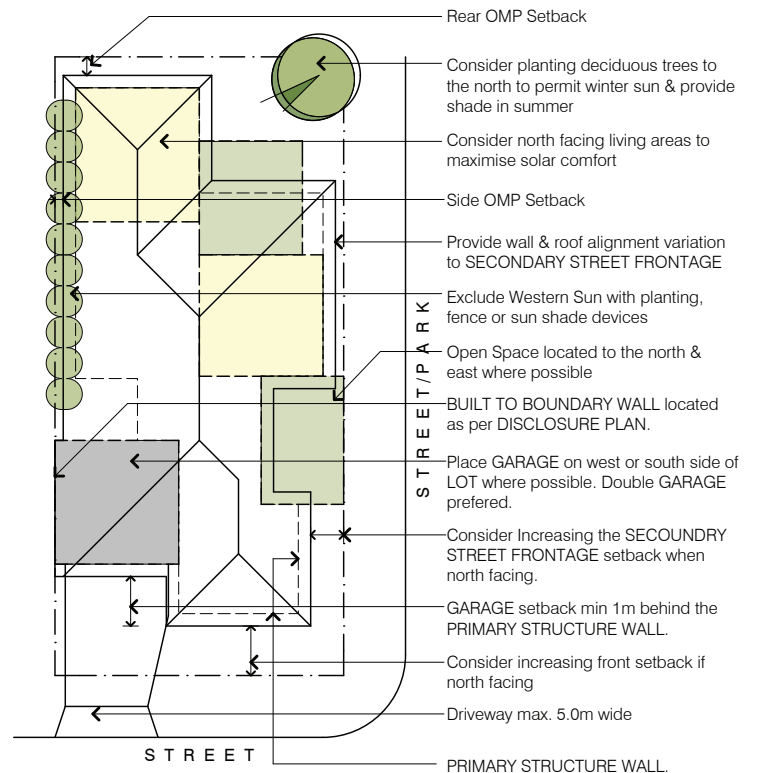


ARTICULATE upper floor walls.  
\*image provided by Metricon.

### BUILDING CONSTRAINTS & OPPORTUNITIES Standard Lot



### BUILDING CONSTRAINTS & OPPORTUNITIES Corner Lot



# BUILDING ENVELOPE

Table 1

## 3. RESIDENTIAL DESIGN & SITING GUIDELINES

ITEM	Rear Lane	10-11.9m	12-13.9m	14-15.9m	16-17.9m	18+
<b>SITE COVER</b>						
Including GARAGES, CARPORTS (an additional 10% of SITE COVER is allowed for porches, patios & covered outdoor areas)	60%	60%	55%	55%	50%	50%
<b>Minimum Floor Areas (m<sup>2</sup>)</b>						
Including GARAGES, CARPORTS & covered outdoor areas but excluding SHEDS	-	150	150	180	220	220
<b>Building Setbacks (m)</b>						
<b>PRIMARY STREET FRONT</b>						
Outer Most Projection (OMP)	2.0					
PRIMARY STRUCTURE WALL (PSW)	3.0					
<b>SECONDARY STREET FRONT</b>						
Outer Most Projection (OMP)	1.0	0.9	1.0			
PRIMARY STRUCTURE WALL (PSW)	2.0	1.5	2.0			
<b>GARAGE</b>						
PRIMARY and SECONDARY STREET FRONTAGE	5.4	4.0	5.4			
<b>SIDE (LEVEL 1)</b>						
Outer Most Projection (OMP)	0.45	0.45	0.45	0.45	0.45	0.9
PRIMARY STRUCTURE WALL (PSW)	1.0	0.9	1.0	1.0	1.0	1.5
<b>SIDE (LEVEL 2)</b>						
Outer Most Projection (OMP)	0.45	0.45	0.45	0.45	0.9	1.4
PRIMARY STRUCTURE WALL (PSW)	1.0	0.9	1.0	1.0	1.5	2.0
<b>REAR</b>						
Outer Most Projection (OMP)	0.9	0.9	0.9	0.9	0.9	0.9
PRIMARY STRUCTURE WALL (PSW)	1.5	1.5	1.5	1.5	1.5	1.5
Laneway	0	N/A				
<b>PARK</b>						
Side or rear setback to public open space (OS)	2					
Side or rear setback to public open space (POS)	3					
<b>BUILT TO BOUNDARY WALL</b>						
	To be located as indicated on the DISCLOSURE PLAN. Maximum 3.5m height Maximum length of 50% of the boundary length or 14m; whichever is the greater.					

# BUILDING ENVELOPE

ITEM						
	Rear Lane	10-11.9m	12-13.9m	14-15.9m	16-17.9m	18+
<b>EAVES</b>						
Minimum overhang	450mm					600mm
<b>BUILDING HEIGHT</b>						
Number of storeys	2 storeys maximum All HOMES on a LOT with a width of 11.0m or less are to be 2 storey.					
Height from MEAN GROUND LEVEL	9.0m maximum to the upper most projection.					
<b>CAR ACCOMODATION</b>						
Minimum size of GARAGE	2 Car spaces per dwelling of which at least 1 is covered			2 cars per dwelling of which both are covered		
Maximum GARAGE internal width	GARAGES are to be a maximum width of 50% of the LOT width up to a maximum of 6m internal width.					
<b>DRIVEWAYS</b>						
Driveways	Minimum 3m wide, maximum 5m wide.					
<b>PRIVATE OPEN SPACE</b>						
Minimum private open space to be provided	HOMES with their main living area at ground level must have a minimum area of private open space of at least 25m <sup>2</sup> and a minimum dimension of 4m, preferably accessible from the main living area.					
	Dwellings with the main living areas located above ground level must have a minimum area of private open space in the form of a balcony, consisting of at least 16m <sup>2</sup> and a minimum dimension of 3m, preferably accessible from the main living area.					
	Patio's and covered outdoor living or recreation areas are included in the above private open space requirements.					

Setbacks are measured to the outer edge of the wall or balcony. EAVES, hoods, screens and projected architectural elements may extend a maximum of 1m into the setbacks or to a minimum of 450mm from the boundary, whichever is the lesser.



# BUILDING GUIDELINES

## 4. VARIATION OF HOUSING STYLE

Two HOMES with the same or similar elevations must not be established in close proximity. Close proximity is defined as being separated by five LOTS or less, whether on the same or opposite side of the street. A minimum of six differences from the following list must be provided to distinguish between similar elevations:

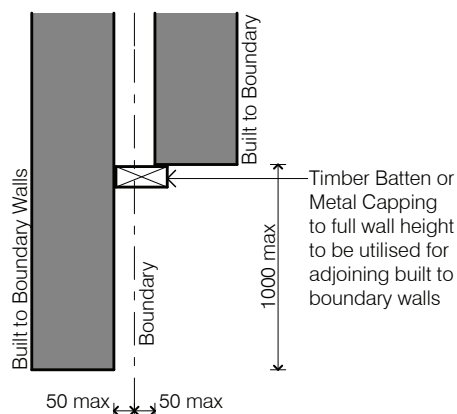
- Roof line / design
- Entry arrangement
- Fencing
- Window location and sizes
- Colours
- Gable treatment
- Cladding and materials
- Porch size and arrangement
- GARAGE door profile
- Front door design
- External fixed screens, hoods and awnings.

## 5. BUILT TO BOUNDARY WALLS

BUILT TO BOUNDARY WALLS are optional. The location of the BUILT TO BOUNDARY WALLS are to be located as indicated on the DISCLOSURE PLAN.

Where a BUILT TO BOUNDARY WALL could be built adjoining a BUILT TO BOUNDARY WALL on the neighbouring LOT, then the wall has to be setback a maximum of 50mm from the boundary. The maximum 100mm gap between the adjoining BUILT TO BOUNDARY WALLS is to be covered with a fence post, timber batten or capping.

There is to be a maximum of 1m difference between the setback from the street for 2 adjoining BUILT TO BOUNDARY WALLS.



## 6. BUILDING COLOURS & MATERIALS

HOMES are to be constructed to reflect contemporary Queensland architecture and have regard to the climatic conditions of the area. HOMES should incorporate a variety of materials to the façade so as to provide contrasting of lightweight and solid materials in order to provide ARTICULATION. No more than 60% (excluding roofs, windows and GARAGE doors) of the front facade is to be of any one material.

The exterior wall, roof, window and trim colour of the HOME must complement the natural environment. Earthy, natural, muted hues and tones are to be used in conjunction with complementary trim colours and materials or feature elements. Bold, bright colours or materials are not acceptable. This requirement is to ensure that any reflection or glare from any exterior surfaces to the surrounding houses is kept to a minimum. Raw and/or untreated materials will not be permitted for external building materials or fencing. This includes: unfinished and unpainted block work, fibre cement sheeting, polystyrene cladding or plain grey concrete. Face brick is not permitted except for feature elements and will only be approved at the discretion of TSDP. Face brick must be applied with coloured mortar, natural/grey is not permitted.

Three or more of the following materials are to be used on both the PRIMARY STREET FRONTAGE and the SECONDARY STREET FRONTAGE facades:

- Rendered masonry (bagged finish is acceptable)
- Stone
- Timber columns or cladding
- Feature tiles
- Custom feature glazing
- Textured fibre cement cladding
- Aluminium battens and louvers
- Weather boards
- Other materials approved by TSDP

"Crimsafe®", style security windows grills are permitted but diamond grills are not permitted.

The use of external materials and colours is subject to approval by TSDP and colour schedule must be submitted as part of the application.



Simple composition colours are required so as to create a harmonious streetscape and protect the values of the community.

\*image provided by Style Master.



# BUILDING GUIDELINES

## 7. STREETFRONT DESIGN

All HOMES must incorporate a highly visible and well defined front entry (this includes suitable features such as front facing entry doors, oversized entry doors, gatehouse, separate pedestrian entry, or feature walls defining the entrance to the HOME). HOMES are also to be designed so as to provide casual surveillance of the adjoining streets and open space to improve the safety of the community.

All HOMES must incorporate three of the following features to the street frontages of the HOME;

- Architectural fins extending minimum 300mm forward of the main building line.
- Wall alignment variation by at least 1m.
- Light and shadow recesses (e.g. window and door recesses) (minimum 200mm).
- Full height front windows or three quarter windows when incorporated with planter boxes or other architectural details.
- Full length front verandah to a minimum depth of 1.5m (excluding the GARAGE).
- A verandah or first floor projection built out over GARAGE for two storey HOMES.
- Window hoods that extend a minimum of 300mm for all habitable room windows (window hoods to be constructed of durable materials as part of the HOME, not canvas or retractable awnings).
- A vertical step in the EAVES line of minimum 400mm for part of the roof (commonly for the porch).

In addition:

- The HOME should include sufficient glazing (10% minimum recommended) to allow for passive surveillance of public areas.
- The primary entry is to incorporate a covered roof area. The entry roof must be at least 4m<sup>2</sup> with a minimum depth of 1.5m.
- HOMES should have a width addressing the street appropriate for each LOT, to the satisfaction of TSDP.
- It is suggested that the GARAGE is setback 1m behind the PRIMARY STRUCTURE WALL so that the GARAGE door does not dominate the front facade. This is subject to building private open space requirements.
- All HOMES on a LOT with a width of 11.0m or less are to be 2 storey.



Simple composition of colours and building elements.

\*image provided by Plantation Homes.



Limit face brick to smaller detail elements only.

\*image provided by Metricon.



Recess GARAGE 1m behind PRIMARY STRUCTURE WALL.

\*image provided by Simonds.

# BUILDING GUIDELINES

## 8. ROOF FORM & MATERIALS

Roofs are to be a simple composition of shapes with the use of architectural elements to create interest in the elevations. Roof materials are limited to Colorbond® profiled metal or flat shingle profile concrete tile roofing of a natural non-reflective colour that must be approved by TSDP. All other concrete roof tile profiles will not be permitted.

Overly bright colours will also not be permitted as they cause reflection and a lack of visual amenity to adjoining HOME OWNER'S and may interfere with a person's use and enjoyment of another HOME, by causing glare.

Roof pitches for the main building must be a minimum of 22.5 degrees for pitched roofs and a minimum of 10 degrees for SKILLION roofs. Other roof pitches may be considered and approved based upon architectural merit for secondary parts of the building such as verandahs, patios and secondary roof elements.

HOMES are to provide eaves with a minimum depth of 450mm (600mm for LOTS with 18m+ frontage) to the majority of the HOME. Parapets are acceptable and different pitches are acceptable if hidden from view from by a parapet. All gutter and down pipe treatments must complement the HOME design.



Provide wall and roof alignment variation.  
\*image provided by Porter Davis.



Provide a simple composition of roof forms.  
\*image provided by Metricon.



Flat Tile Profile.



Roofs can be hidden behind parapets as part of providing simple bold forms.  
\*image provided by Plantation Homes.



# BUILDING GUIDELINES

## 9. DRIVEWAYS

Only one driveway is permitted per HOME. The driveway must be constructed of either pavers, coloured concrete, textured concrete or exposed aggregate finishes. Gravel, grass, concrete track, timber sleeper, loose dirt and turf cell are unacceptable driveway finishes.

The driveway must be located 0.6m from the side boundary with landscaping between the driveway and the boundary.

## 10. ADDITIONS & EXTENSIONS

Any additions and extensions to occur within the LOT are subject to approval by TSDP and require compliance to the DESIGN COVENANTS in the same manner as the original HOME application. Additions and extensions include new verandahs, pergolas, outbuildings, SHEDS, swimming pools, retaining walls and garden structures.

## 11. ANCILLARY STRUCTURES, GARAGES, CARPORTS & SHEDS

All ANCILLARY STRUCTURES, GARAGES, CARPORTS and SHEDS are required to be complementary to the character of the HOME in colour, material and form. CARPORTS will only be permitted if architectural merit is demonstrated. All the LOTS should carefully address the criteria as described below:

- Rainwater tanks, hot water systems, pool filtration pumps, clotheslines, barbeques, rubbish bins and satellite dishes are to be screened from the street and public view. They must not be located on the PRIMARY STREET FRONTAGES and SECONDARY STREET FRONTAGES.
- Opticomm will be available throughout the community and as such no TV antennae and other aerials will be required or permitted.
- Solar panel installation must be integrated with the roof design and located to the back of the HOME/LOT where possible.
- Incinerators are not permitted within THE SURROUNDS.
- Air-conditioning outdoor units are to be located below EAVES-lines and concealed from public view.
- If a SHED is permitted it must be concealed from public view and a maximum of 10m<sup>2</sup> and maximum 2.5m high. Galvanised or highly reflective coloured material should not be used. The colour of the walling and roof should be complementary to the HOME itself.

## 12. RETAINING WALLS AND EARTHWORKS

When planning your HOME you should minimise the earthworks and retaining required. This will result in a number of benefits including reduced impact on neighbouring LOTS, existing structures and services, better LOT drainage and reduced visual amenity of the retaining wall to the street.

- No cut or fill of more than 1m is permitted and should result in equal cut and fill volumes.
- Proposed retaining walls are located wholly within the subject LOT and designed so as to not impact upon the neighbouring properties.
- Retaining walls are to be a maximum of 1.0m high. This excludes retaining walls within the building.
- Retaining walls are to be constructed of stone or masonry only.
- Retaining walls that are visible from the street are to have a minimum of 0.6m of landscaping between the proposed wall and the street to soften the appearance of the wall.
- Where retaining walls extend forward of the front building wall, they must be tapered to meet the finished ground level.
- All retaining walls are to be constructed in accordance with local government requirements and Australian Standards.
- Fencing must be located on the high side of the retaining wall where possible.
- Full details of heights, materials and location of all retaining walls and embankments are to be submitted for review by TSDP.



Retaining visible from the street are to be landscaped.

# BUILDING GUIDELINES

## 13. LANDSCAPING

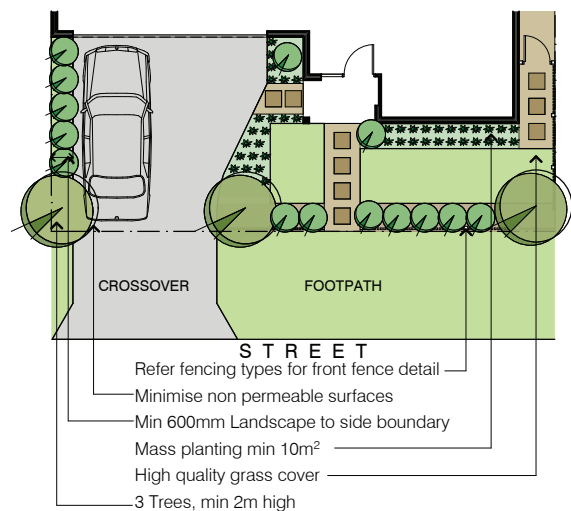
Landscaping is fundamental to the visual amenity and character of THE SURROUNDS. The landscape should be a dominant part of the streetscape improving both the appearance of your HOME and the streetscape environment.

A landscape plan must be submitted to TSDP for approval as part of the covenant approval, which shows the landscaping, in detail, for the entire lot.

Landscape to road frontages includes:

- High quality grass cover to all areas not mulched or paved.
- 10m<sup>2</sup> of mass planting areas that are mulched, edged to define boundary and maintained, free of weed and rubbish.
- SECONDARY STREET FRONTAGES are to be similarly landscaped to PRIMARY STREET FRONTAGE.
- At least three trees (minimum 2m high) is required to be included in the front yard.
- Non permeable surfaces are to be limited to driveways, patios and footpaths and cannot dominate the road frontage.

New plantings on the LOT will not include plant species prohibited by the local council. Fake turf is not permitted on street verges.



## 14. FENCING

TSDP will only approve fencing materials forms and colours as demonstrated in Appendix 2 'Fencing Types', unless otherwise approved by TSDP on architectural merit, but the fence height cannot be increased nor can the transparency of fencing be reduced.

Side boundary fencing is to return a minimum of one meter behind the front wall of the dwelling, and is not to extend forward of the side gate.

## 15. SIGNS

Site signage will not exceed two square meters in area and should be of a professional design. Only one "For Sale" sign and one "Builders" sign may be installed on the LOT.

## 16. LETTER BOXES

Letter boxes are to be a simple, rendered masonry pillar with a metal inset for the mail. Letter boxes must be of a colour to complement the dwelling and its surrounds. However, letter boxes of a unique design, specifically coordinated with the design of the HOME and fencing will be considered.



Examples of letter box design.



# BUILDING GUIDELINES

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## 17. SUSTAINABILITY

The HOME OWNER is encouraged to make efforts to reduce household impacts on the environment by limiting the overall energy and water consumption for the household. Consideration of the following principle of sustainable design is encouraged:

- Orientate HOME to take advantage of solar aspect and prevailing breezes.
- Maximise north facing glazing with considered sun shading.
- Minimise west facing glazing and insulate west facing walls.
- Incorporate EAVES in the HOME design
- Higher ceilings.
- Plan the HOME to facilitate cross ventilation.
- Higher energy rated fixtures and appliances.
- Higher water efficiency rated fixtures.

## 18. GENERAL

The HOMEOWNER acknowledges that:

- THE SURROUNDS is a quality residential community, and that the SELLER and other owners have invested a great deal of money in creating and maintaining THE SURROUNDS as such.
- They are bound by the sale contract by which they acquired their site in THE SURROUNDS to abide by these DESIGN COVENANTS and by the decisions of the TSDP.
- Under the sale contract by which the HOMEOWNER acquired their site in THE SURROUNDS, the SELLER is entitled to vary, exclude, elect not to enforce and to interpret these DESIGN COVENANTS in any way it determines in its discretion.
- The HOMEOWNER has limited rights to object to any variation or interpretation of these DESIGN COVENANTS by the SELLER.

LOTS cannot be subdivided. No duplex or secondary dwelling unless otherwise approved by TSDP.

HOMES may not be used as a DISPLAY HOME unless approved by TSDP.

Unless otherwise agreed to in writing by the SELLER, HOMES are not to be rented to tenants or otherwise used as investment properties for a period of 12 months after the HOME is completed. During that period, each HOME must be occupied only by a single family, being that of the HOMEOWNER.

If the HOMEOWNER uses the HOME as an investment property in breach of this DESIGN COVENANT, they will be liable to pay liquidated damages to the SELLER of \$20,000.00, on which interest will accrue at the rate specified in the sale contract for money due.

Relocated homes, manufactured homes defined by the Manufactured Homes (Residential Parks) Act 2003 (QLD) and recycled materials are not permitted unless otherwise approved by TSDP.

Driveways, fencing, landscaping and letterboxes must be completed prior to occupation of the HOME.

Construction must be completed and a Form 21 – Final Inspection Certificate issued within 24 months from the date of land settlement. Once commenced, construction must be continuous.

## 19. CARE & MAINTENANCE OF YOUR LOT

### NORMAL MAINTENANCE

The BUYER must:

- Maintain the LOT, free of excessive weeds, rubbish or garbage and keep all turfed garden areas presentable.
- Not store car bodies, mechanical equipment, machinery, tanks, construction materials (after construction completed), etc on the LOT.
- Bin storage will be screened from view from public areas. Location and detail to be provided on a Landscape Plan.

### OBLIGATORY SLASHING, MAINTAINING AND CLEARING

Should TSDP or the SELLER notify the BUYER that mowing, maintaining or clearing of the LOT is necessary to maintain the tidy presentation of THE SURROUNDS; the BUYER must carry out the work within 14 days.

If the BUYER fails to comply with the request to mow, maintain or clean the LOT, TSDP or the SELLER may employ a contractor to carry out the request and the BUYER must to pay the SELLER the costs incurred by the SELLER.

### CARAVANS, CAMPERVANS, TRAILERS, COMMERCIAL VEHICLES AND BOATS

Caravans, campervans, trailers, commercial vehicles and boats may not be parked in the street, footpath or driveway. If stored on the LOT these vehicles are to be parked in the GARAGE or suitably screened to the satisfaction of TSDP. Unregistered cars must be garaged.

Provisions must be allowed for the proper screening and housing of watercraft.

### TEMPORARY STRUCTURES

No temporary or re-locatable structures are to be erected or located on the LOT, unless for use in conjunction with the construction of the HOME or ANCILLARY STRUCTURES and then must be removed immediately on completion of construction.

# APPENDIX

## Appendix 1

### DEFINITIONS

**ANCILLARY STRUCTURES** are structures that are not part or attached to the body of the HOME, i.e. SHEDS, pergolas, pools, tanks, pool pump, retaining walls, pool shelters, etc.

**ARTICULATION/ARTICULATED** as used in this document, refers to the distribution and variation of elements in a building facade to create visual interest and character. **ARTICULATION** may be achieved through stepping of walls, incorporating building elements such as balconies, verandahs, pergolas, varying setbacks, window shades, awnings and feature walls in combination with a variety of building finishes, textures, and materials.

The **BUYER** means the BUYER defined in the CONTRACT subject to these DESIGN COVENANTS and includes any successors and assignees.

A **CARPORT** is defined as a car accommodation space that is not fully enclosed on all sides.

**COGC** (City of Gold Coast) refers to the Council of the City of Gold Coast.

**CONTRACT** means the contract for the sale of the LOT by the SELLER to the BUYER.

**DESIGN COVENANTS** means these DESIGN COVENANTS and includes the ENFORCEMENT PROVISIONS.

**DISCLOSURE PLAN** means the DISCLOSURE PLAN given by the SELLER to the BUYER in or in conjunction with the CONTRACT, which may indicate any BUILT TO BOUNDARY WALL locations or “no GARAGE access” frontages relevant to your LOT.

**DISPLAY HOME** has the meaning given to that term in Domestic Building Contracts Act 2000 Qld’.

**EAVES** are the portion of a roof that overhangs the external wall of the HOME.

**ENFORCEMENT PROVISIONS** means the enforcement provisions for the DESIGN COVENANTS contained in the CONTRACT.

A **FASCIA** is a flat horizontal board used to conceal the end of roof rafters.

A **GARAGE** is defined as a roofed car accommodation space that is fully enclosed on all sides including the street front.

The **HOME** is the residential dwelling to be built on the LOT.

**HOME OWNERS** are the registered proprietor on the title of the LOT or mortgagee in possession of a LOT within THE SURROUNDS other than the BUYER.

A **LOT** is land that the BUYER/HOME OWNER owns in THE SURROUNDS.

**MEAN GROUND LEVEL** is the level of the ground when the BUYER completes the purchase of the LOT.

**OMP (Outer Most Projection)** is defined as the most outer point of a building or structure. In the case of a roof, this applies to the outside face of a FASCIA, but does not include retractable blinds, fixed screens, rainwater fittings or ornamental attachments.

The **PRIMARY STRUCTURE WALL** (PSW) is measured as the main wall of the HOME. It excludes EAVES, awnings, verandahs, balconies, entry or shade structures.

For corner allotments, the **PRIMARY STREET FRONTAGE** is the frontage with the shortest dimension and the **SECONDARY STREET FRONTAGE** is the frontage of the greater dimension or as otherwise indicated on the DISCLOSURE PLAN.

**THE SURROUNDS** means the residential land development known as “THE SURROUNDS”, situated at Country Club Drive, Helensvale Qld 4212.

**TSDP** is THE SURROUNDS Design Panel which is the responsibility of Helensvale Nominee Pty Ltd ACN 561 052 667 (or its successors and assigns) to manage.

**ROAD VERGE** is the strip of land forming part of the public road reserve from the road curb to the LOT boundaries.

A **SECONDARY DWELLING** is defined as a dwelling used in conjunction with, and subordinate to, a HOME on the same LOT.

**SELLER** is Helensvale Nominee Pty Ltd ACN 561 052 667 and includes successors and assigns.

A **SHED** is a simple enclosed structure that is separate to the HOME and is used primarily for storage purposes. These structures are to be hidden from view from the street.

**SITE COVER** is expressed as a percentage of the area of your LOT that the footprint of your HOME covers. The total area/footprint of your HOME includes enclosed spaces including the outside wall and unenclosed spaces where covered to a line 600mm in from the LOT perimeter of the covered space.

A **SKILLION** is a sloping roof without a ridge or a peak.

**BUILT TO BOUNDARY WALLS** are walls setback less than 0.9m to the boundary.

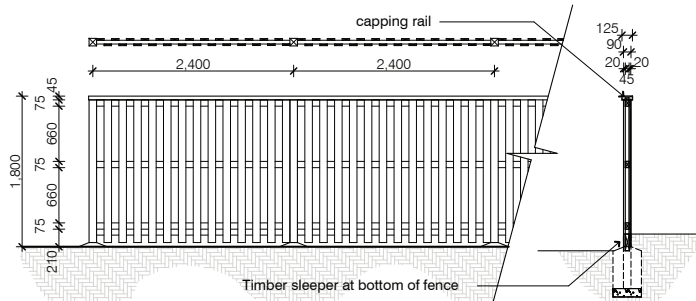
# APPENDIX

## Appendix 2 FENCING TYPES

### Good Neighbour Fence

1800mm height.  
100% solid, with capping rail at top and timber sleeper at base.

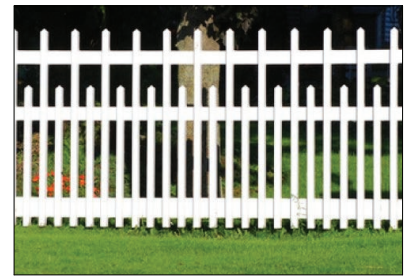
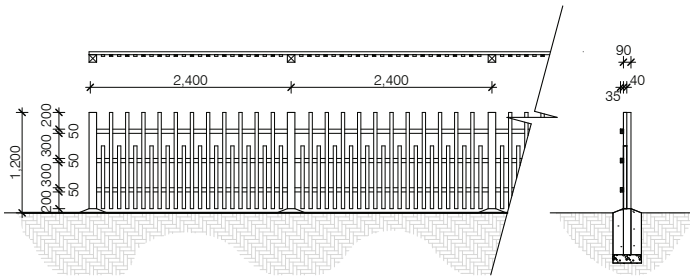
Timber Fence  
Colour: compliment HOME exterior colour.



### Front Fence - Option 1

1200mm modern white one up, one down picket fence.  
50% transparency.

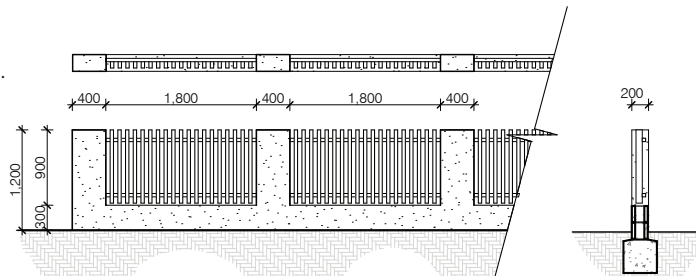
Timber Fence  
Colour: compliment HOME exterior colour.



### Front Fence - Option 2

1200mm masonry pier fence.  
50% transparency.

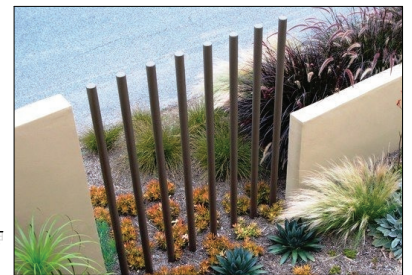
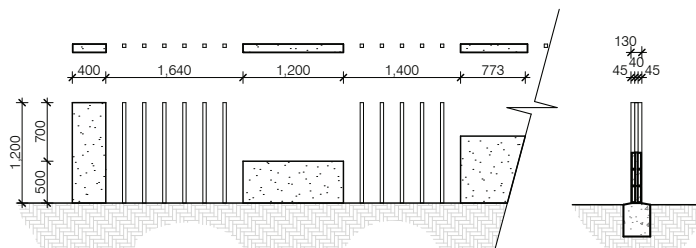
Rendered masonry with metal infill.  
Colour: compliment HOME exterior colour.



### Front Fence - Option 3

1200mm masonry architectural fence, combination of low height masonry ledge, masonry piers & aluminium sections.  
50% transparency.

Rendered masonry with metal infill.  
Colour: compliment HOME exterior colour.



Note: Fence height cannot be increased and the transparency of fencing cannot be reduced.

# APPENDIX

## Appendix 2

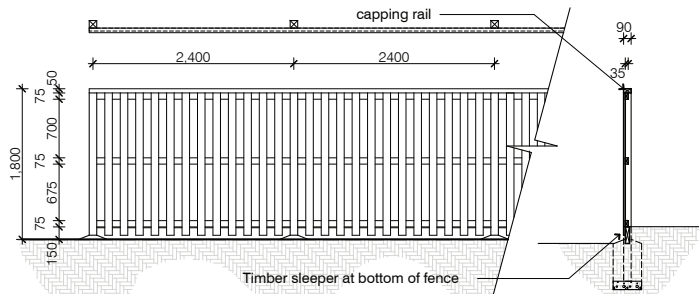
### FENCING TYPES - CONT.

#### Corner Lot Side Fence

##### - Option 1

1800mm height, hit and miss pailings, with capping rail at top and timber sleeper at base  
50% transparency.

Timber Fence  
Colour: compliment HOME exterior colour.

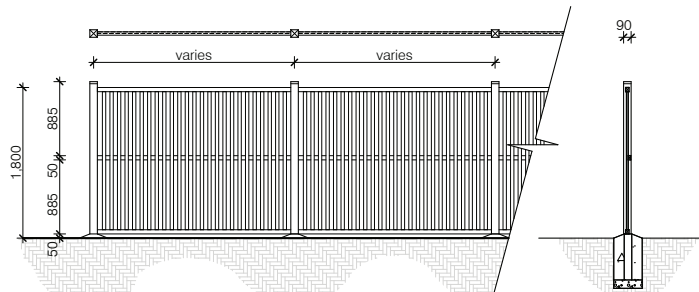


#### Corner Lot Side Fence

##### - Option 2

1800mm height, vertical aluminium battens.  
50% transparency.

Aluminium Fence  
Colour: compliment HOME exterior colour.

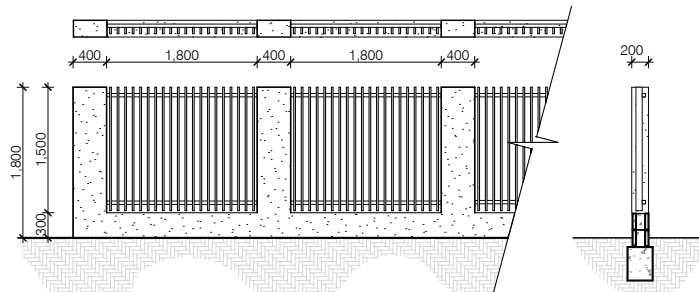


#### Corner Lot Side Fence

##### - Option 3

1800mm height masonry pier fence with aluminium batten infill.  
50% transparency.

Aluminium masonry fence  
Colour: compliment HOME exterior colour.



Note: Park front fencing can only be 'Corner Lot Side Fence Options 1, 2 and 3'.

Note: Fence height cannot be increased and the transparency of fencing cannot be reduced.



# APPENDIX

## Appendix 3

### BUILDER RESPONSIBILITY

In order to successfully deliver a first class community we require cooperation by all parties involved throughout the development and construction process.

Listed below are “The Surrounds Home Owners & Builders’ Site Guidelines”. These guidelines have been created to benefit the aesthetic look and feel of THE SURROUNDS.

All HOME OWNERS/BUYERS must comply with, and procure that their builders comply with, the following:

- HOME OWNERS/BUYERS and their builders have an obligation to keep THE SURROUNDS tidy.
- Comply with plans, specifications and all legal requirements.
- Construction should be performed with reasonable diligence.
- It is the HOME OWNER’S/BUYER’S responsibility, prior to the commencement of construction of the HOME on the LOT, to ensure the builder complies with and is provided with a copy of the DESIGN COVENANTS.
- All HOME OWNERS/BUYERS and their builders must ensure that all overburden, building materials and fittings are stored wholly within the LOT at all times and that no building materials or overburden are stored on the nature strip of the LOT.
- HOME OWNERS/BUYERS and their builders must provide a bin on the LOT for the storage of all site refuse generated by works on the LOT and keep all such site refuse within such bin and ensure that it is emptied whenever full.
- The HOME OWNER’S/BUYER’S builder must erect and maintain at their own cost and keep in good condition a sign at least 600mm x 400mm and not >2m<sup>2</sup> on the LOT during the period of construction works on the LOT that is clearly visible and legible from the road. The sign must include the name and registration number of the builder, name and contact details of the site supervisor and the LOT number.
- TSDP will impose a non-littering requirement as a standard clause of any approval granted by TSDP in respect of building works. The builder will be required to be diligent in the control of all site litter and to protect adjoining LOTS and verges from use by on-site construction workers and sub-contractors.
- HOME OWNERS/BUYERS and their builders must, prior to commencing construction on the LOT, provide a working toilet and running water, until completion of the building works.
- HOME OWNERS/BUYERS and their builder, prior to the commencement of any building work, must ensure that a site fence is erected on each LOT.
- HOME OWNERS/BUYERS and their builders must ensure that access to and from the LOT for any purpose related to the construction works on the LOT is to be only at the allocated crossover point.
- HOME OWNERS/BUYERS and their builders must not access or park vehicles on adjoining LOTS, parkland and/or footpath for any purpose related to construction works on the LOT.
- HOME OWNERS/BUYERS and their builders must ensure a temporary vehicle crossing of crushed rock is placed where the crossover is to be located between the back of kerb and LOT boundary or footpath, prior to commencement of construction. Maintain the crossing during construction and ensure that all vehicles access to the building site occurs only over this temporary vehicle crossing. If footpaths have been constructed they must be protected by a temporary wooden vehicle crossing.
- HOME OWNERS/BUYERS and their builders must comply with any notice issued by or on behalf of the SELLER/TSDP specifying breaches of the “Builders’ Site Guidelines” and rectify such breaches, failing which the SELLER may take action, including under the ENFORCEMENT PROVISIONS.
- HOME OWNERS/BUYERS and their builders must ensure that all building works use best environmental practices to minimise dust and sedimentation runoff, to contain all hard rubbish and to prevent runoff into the stormwater drainage system of any hazardous substances and domestic chemicals and detergents.

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## BUILDING CONTRACT

### **Additional clause for building CONTRACT to bind builder to comply with this DESIGN COVENANTS.**

It is recommended that the BUYER include in the Special Conditions of the building CONTRACT entered into by the BUYER for the construction of a HOME, GARAGE, SHED, fence, swimming pool, or ANCILLARY STRUCTURE to any of the foregoing shall contain a clause which states:

The builder shall comply with the requirements of the DESIGN COVENANT for the LOT for the duration of works under this building CONTRACT and will not commence work on the site unless the builder has sighted or is in possession of a copy of the DESIGN COVENANTS approval issued by the TSDP and a copy of the "Builder Responsibility - Appendix 3."

An approval issued under these DESIGN COVENANTS is not an approval under the requirements of the Building Act 1975 (Qld), or any other legislation. The documents provided by the BUYER to TSDP have not been checked for compliance with any structural, health or planning requirements or for the suitability of the building for the use to which it may be put. Accordingly, TSDP or its representatives do not accept any responsibility for the suitability or soundness of construction of the completed structures or buildings or the associated development works.

## SALE BY BUYER

If the BUYER (or any successor in title of the BUYER) on-sells their LOT (or an interest in their LOT), they must obtain a deed of covenant from the subsequent BUYER to be bound by the DESIGN COVENANTS and the relevant CONTRACT provision prior to disposing of their interest in the LOT - refer to the special conditions in the CONTRACT.

These DESIGN COVENANTS are subject to change at any time by the SELLER.

**The SELLER reserves the right to vary, alter, remove, or disregard any of these DESIGN COVENANTS at any time in respect of the sale or development of any other LOT in THE SURROUNDS.**

**The BUYER and the HOME OWNER have no claim against the SELLER or any of the SELLER'S agents in respect of any changes made by the SELLER to the DESIGN COVENANTS.**

**The SELLER is not liable for any action resulting in the alteration of these DESIGN COVENANTS.**

**The SELLER is not required to enforce the DESIGN COVENANTS on any HOME OWNER/BUYER. These DESIGN COVENANTS are valid and enforceable until 12 months after the SELLER has sold all of the LOTS it owns in THE SURROUNDS.**

**Any void, voidable or illegal term of these DESIGN COVENANTS may be severed unless to do so will result in a change to the basic nature of these DESIGN COVENANTS.**

**If there is any contradiction between the terms of this document and the CONTRACT, the CONTRACT will supersede this document.**



Communities Designed for Living

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