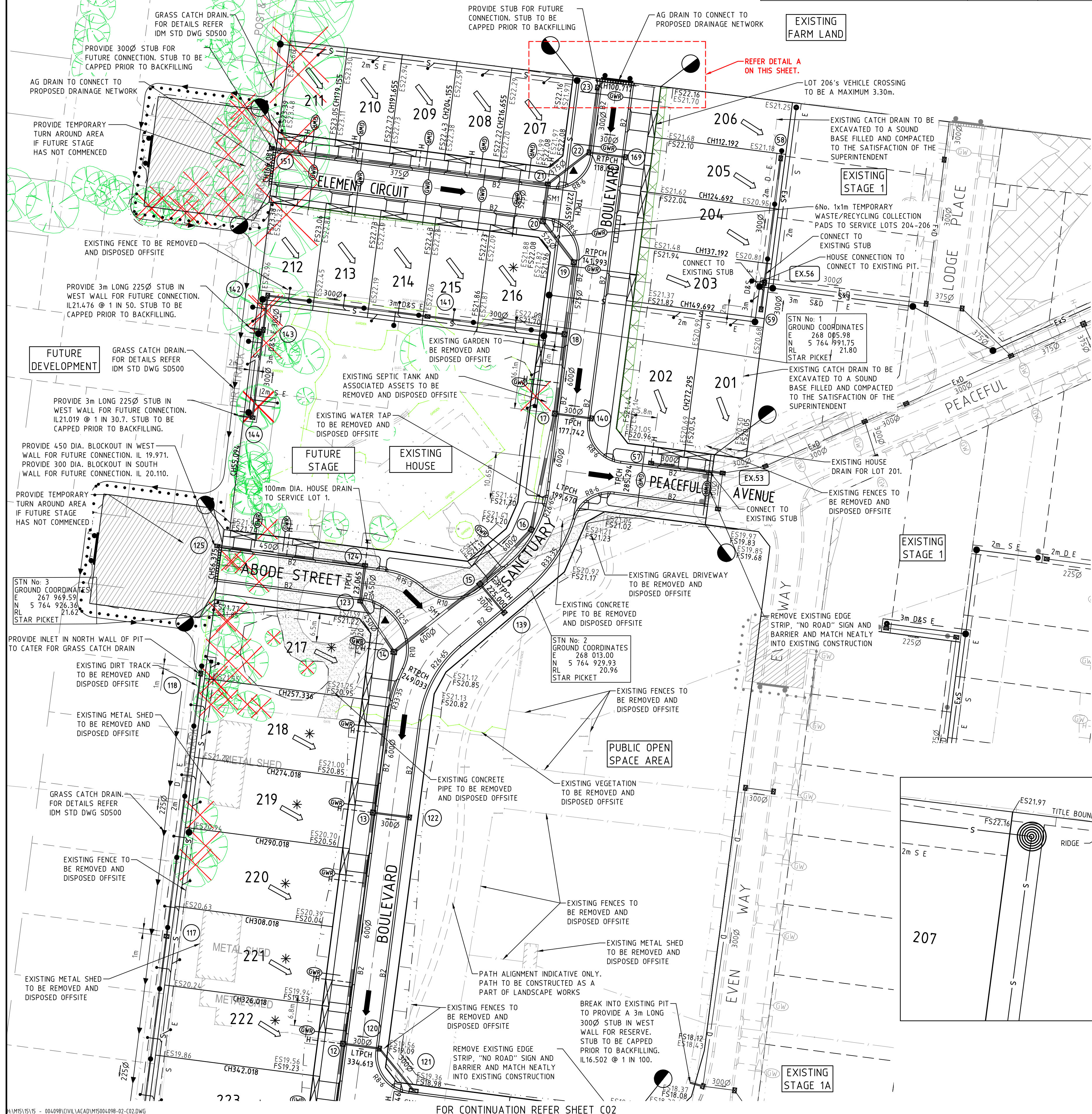


ROAD NAME	SERVICES OFFSET SCHEDULE									
	GAS		RECYCLED WATER		WATER		COMMUNICATION		ELECTRICITY	
	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)
SANCTUARY BOULEVARD	WEST	2.10	WEST	2.60	WEST	3.10	EAST	1.775	EAST	2.60
PEACEFUL AVENUE	SOUTH	2.10	SOUTH	2.60	SOUTH	3.10	NORTH	1.775	NORTH	2.60
ABODE STREET	NORTH	2.10	NORTH	2.60	NORTH	3.10	SOUTH	1.775	SOUTH	2.60
NATURE STREET	SOUTH	2.10	SOUTH	2.60	SOUTH	3.10	NORTH	0.30	NORTH	0.70
ELEMENT CIRCUIT	NORTH	2.10	NORTH	2.60	NORTH	3.10	SOUTH	1.775	SOUTH	2.60

ROAD LAYOUT TABLE									
ROAD NAME	ROAD CLASSIFICATION	RESERVE WIDTH (m)	ROAD WIDTH (m)			KERB TYPE		VERGE WIDTH (m)	
			LIP to LIP	INV to INV	BACK to BACK	NTH/WEST	STH/EAST	NTH/WEST	STH/EAST
SANCTUARY BOULEVARD (IN OF PEACEFUL AVENUE)	ACCESS	20.00	6.70	7.30	7.60	B2	B2	6.20	6.20
SANCTUARY BOULEVARD (IN OF NATURE STREET & S OF PEACEFUL AVENUE)	ACCESS	16.00	6.70	7.30	7.60	B2	B2	6.20	2.20
SANCTUARY BOULEVARD (S OF NATURE STREET)	ACCESS	20.00	6.70	7.30	7.60	B2	B2	6.20	6.20
PEACEFUL AVENUE	ACCESS	16.00	6.70	7.30	7.60	B2	B2	4.20	4.20
ABODE STREET	ACCESS	16.00	6.70	7.30	7.60	B2	B2	4.20	4.20
NATURE STREET	ACCESS (L2)	13.50	6.70	7.30	7.60	B2	B2	1.70	4.20
ELEMENT CIRCUIT	ACCESS	16.00	6.70	7.30	7.60	B2	B2	4.20	4.20



WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES
 The locations of underground & overhead services are approximate only & their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works
DIAL 1100 BEFORE YOU DIG
 www.1100.com.au

- NOTES:**
- ALL VEHICLE AND PRAM CROSSING LAYBACKS TO BE MINIMUM OF 1.0m FROM PITS.
 - ALL PRAM CROSSINGS TO BE A MINIMUM 2.0m FROM VEHICLE CROSSINGS.
 - ALL PRAM CROSSINGS TO BE DDA COMPLIANT.
 - VEHICLE EXCLUSION MEASURES BETWEEN ROAD RESERVE AND RESERVE TO FORM PART OF LANDSCAPE WORKS.
 - SIDE ENTRY PITS SHOWN OFFSET BY 1m FROM TANGENT POINTS, TO ACCOMMODATE CHANNEL DEPTH TRANSITION. FOR DETAILS REFER TO IDM STANDARD DRAWING SD430
 - ALL COORDINATES SHOWN ARE TO AHD
 - THE USE OF DIRECTIONAL AND HAZARD TACTILE PAVERS MUST ACCORD WITH SECTION 2.2.3.1 OF AS/NZS 1428.4:2002
 - WHERE EASTING AND NORTHING PROVIDED FOR DRAINAGE SETOUT, COORDINATES RELATE TO CENTRE OF PIT BASE
 - CHANGES FOR PROPERTY INLET POINTS SERVICING FUTURE LOTS ARE MEASURED FROM DOWNSTREAM PIT
 - REFER ARBORIST REPORT FOR DETAILS OF EXISTING TREES TO BE REMOVED

LEGEND

- E Electricity (Underground)
- G Gas
- O Optic
- RW Recycled Water
- T Telstra
- W Water
- SD Stormwater Drain, Pit and Property Inlet
- SW Swale Drain
- S Sewer, Maintenance Structures and Property Connection
- H House Drain
- GW Gas & Water Conduits
- TP Tactile Paver - Directional
- TH Tactile Paver - Hazard
- Ex E Existing Electricity (Underground)
- Ex O/H E Existing Electricity (Overhead)
- Ex G Existing Gas
- Ex T Existing Telstra
- Ex W Existing Water
- Ex S Existing Stormwater Drain
- Ex S Existing Sewer
- Ex H Existing House Drain
- Existing Tree to Remain
- Existing Tree to be Removed
- Existing Swale Drain
- ES14.134 Existing Surface Level
- FS14.0.35 Finished Building Line Level
- FR157.40 Finished Ridge Line Level
- TV155.30 Top of Retaining Wall
- BW155.30 Bottom of Retaining Wall
- Retaining Wall
- Intersection Threshold Treatment
- Structural Fill > 200mm Deep
- Ex. Structural Fill > 200mm Deep
- Proposed Driveway
- Allotment to be graded evenly in direction of fall to levels indicated
- Direction of Fall
- Overland Flow
- Permanent Survey Mark
- Temporary Bench Mark
- Concrete Edge Strip with Subsoil Drain underneath "No Road" sign and Barrier
- Building Envelope
- Limit of Works

DATE	ISSUED FOR CONSTRUCTION
04.07.17	ISSUED FOR CONSTRUCTION
DATE	REVISED EXTERNAL DRAINAGE ALIGNMENT
26.05.17	REVISED EXTERNAL DRAINAGE ALIGNMENT
DATE	COUNCIL COMMENTS DATED ON 19.05.17
22.05.17	COUNCIL COMMENTS DATED ON 19.05.17
DATE	DETAIL A ADDED
28.04.17	DETAIL A ADDED
DATE	REVISED EXTERNAL DRAINAGE ALIGNMENT
20.04.17	REVISED EXTERNAL DRAINAGE ALIGNMENT
DATE	COUNCIL COMMENTS DATED 16.03.17
28.03.17	COUNCIL COMMENTS DATED 16.03.17
DATE	ISSUED FOR APPROVAL
17.02.17	ISSUED FOR APPROVAL
DATE	ISSUED TO CLIENT
02.12.16	ISSUED TO CLIENT



**SANCTUARY ESTATE
 ARMSTRONG CREEK
 STAGE 2**



CALIBRE CONSULTING (MELB) PTY LTD
 Level 2, 55 Southbank Boulevard
 Southbank VIC 3006
 T 03 9203 9000

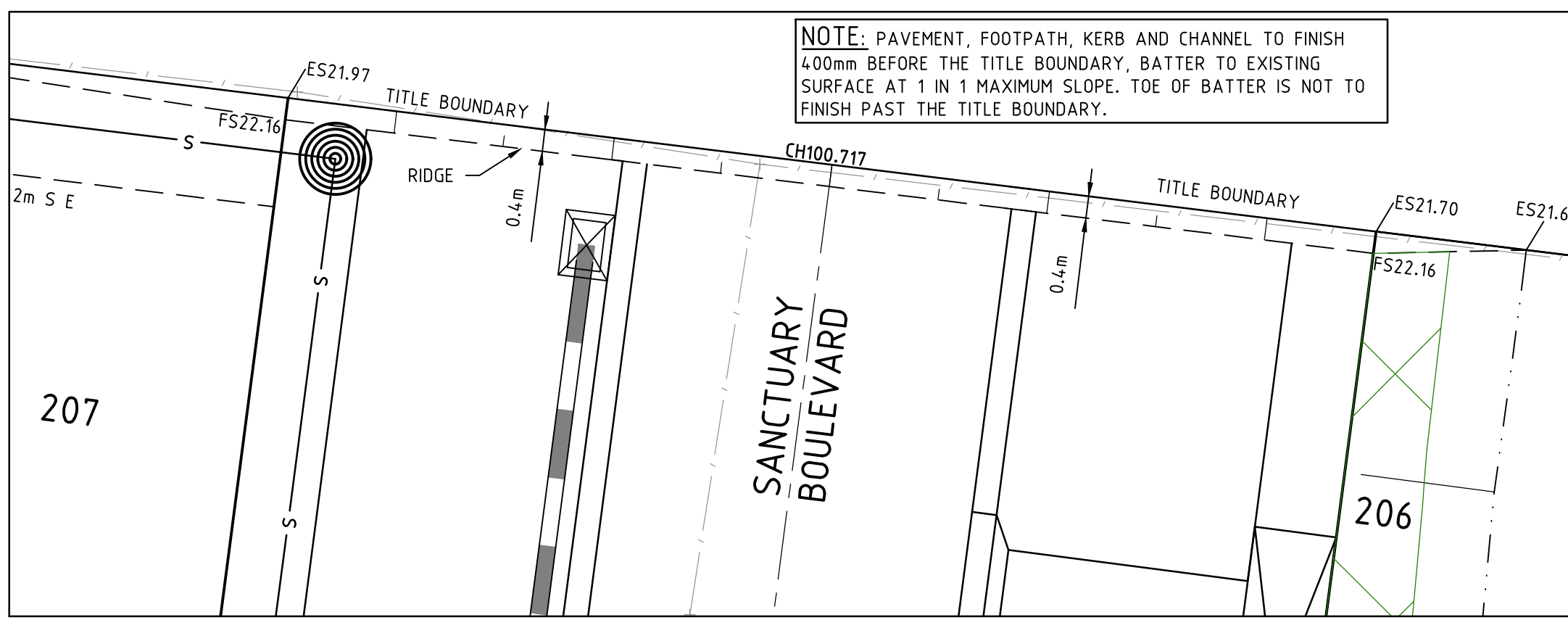
LAYOUT PLAN - 1

1:500 10 5 0 10 20 A1
 1:1000

SCALE @ A1
 1:500 DRAWN K.McKELVIE DESIGNED K.McKELVIE
 PROJECT ENGINEER T.MOTET PROJECT MANAGER A.KOUZOUIMIS DATE FIRST ISSUE FEBRUARY 2017

CONSTRUCTION

SIGNED _____ DATE _____
 DRAWING NUMBER **M15004098-02-C02** REVISION **0**



DETAIL A
 SCALE 1:100
 1:100 1 0 1 2 3 4 5 A1
 1:200 A3

FOR CONTINUATION REFER SHEET C02



A.C.N. 109 448 982

