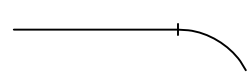


PLAN OF SUBDIVISION

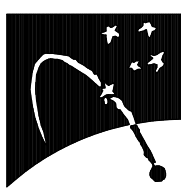
EDITION

PS 810989A

<p>LOCATION OF LAND</p> <p>PARISH: MICKLEHAM</p> <p>TOWNSHIP: —</p> <p>SECTION: —</p> <p>CROWN ALLOTMENT: —</p> <p>CROWN PORTION: 16 & 18 (PARTS)</p> <p>TITLE REFERENCE: VOL FOL</p> <p>LAST PLAN REFERENCE: LOT M ON PS810932G</p> <p>POSTAL ADDRESS: REALM VISTA (at time of subdivision) MICKLEHAM, 3064</p> <p>MGA 94 E 314 920 ZONE: 55 CO-ORDINATES: N 5 842 590 (approx. centre of land in plan)</p>	<p>Council Name: Hume City Council</p> <p>Council Reference Number: S008431 Planning Permit Reference: P18497 & P19705 SPEAR Reference Number: S112915J</p> <p>Certification</p> <p>This plan is certified under section 6 of the Subdivision Act 1988</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has not been satisfied</p> <p>Digitally signed by: Patrick Mora for Hume City Council on 06/03/2018</p>
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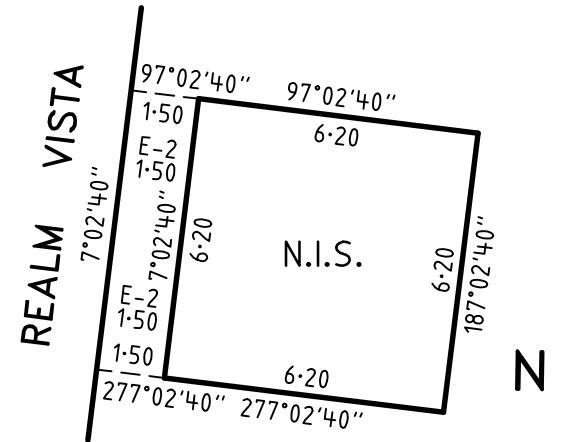
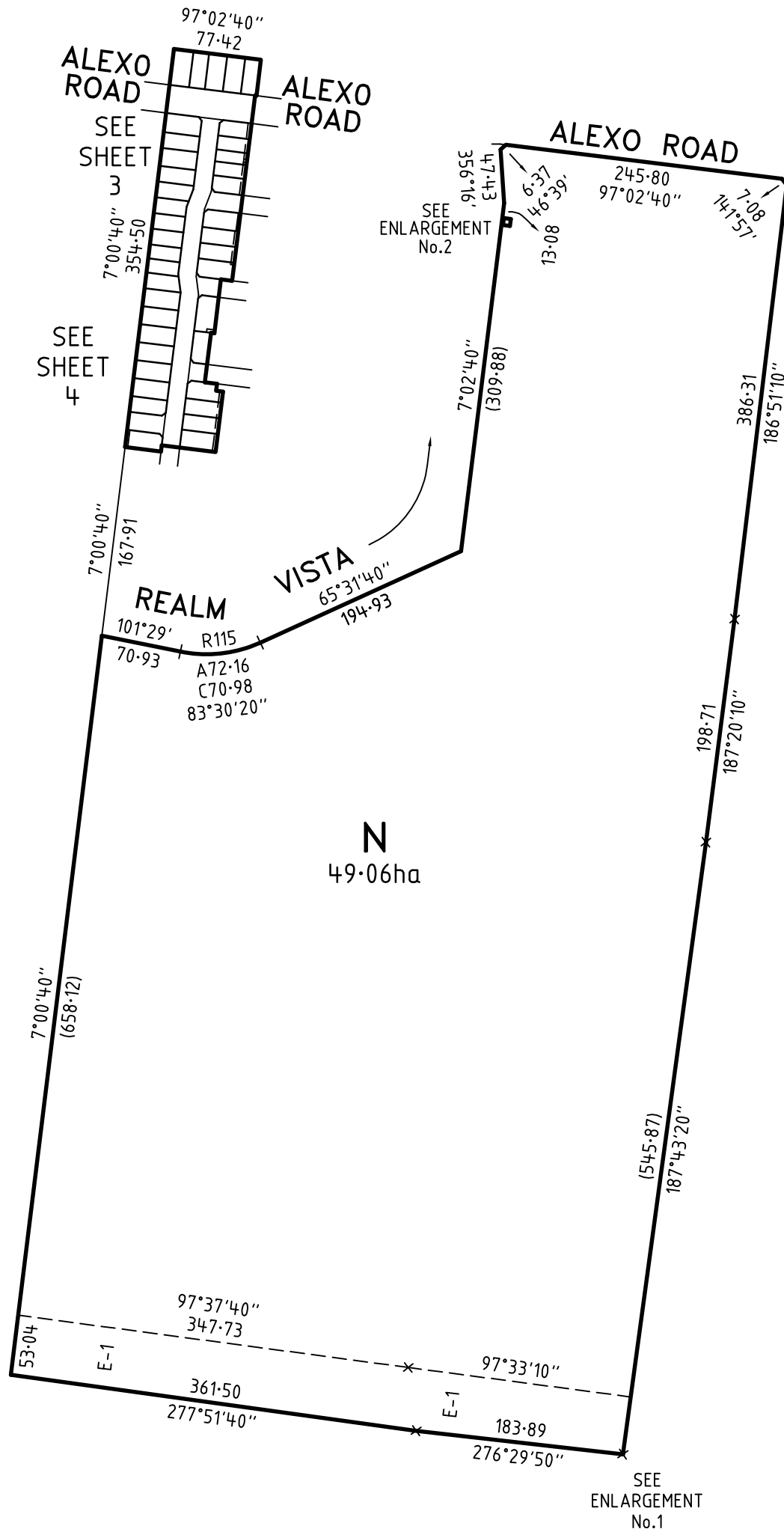
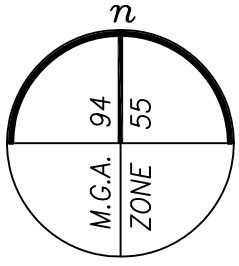
VESTING OF ROADS AND/OR RESERVES		NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON	STAGING	This is /is not a staged subdivision Planning Permit No. P18497 & P19705
ROAD R1	HUME CITY COUNCIL	DEPTH LIMITATION	DOES NOT APPLY
<p>OTHER PURPOSE OF PLAN: TO REMOVE THAT PART OF EASEMENT E-12 ON PS810932G NOW CONTAINED IN HALIFAX STREET, BRABOURNE STREET AND AMBERFIELD STREET ON THIS PLAN.</p> <p>GROUND FOR REMOVAL OF EASEMENT: AGREEMENT BY ALL INTERESTED PARTIES</p>		LOTS 1 TO 1000 AND A TO M (ALL INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.	
		EASEMENTS E-3 TO E-9 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.	
		LAND SUBDIVIDED (EXCLUDING LOT N) - 2.593ha	
		TANGENT POINTS ARE SHOWN THUS: 	

EASEMENT INFORMATION				
LEGEND: E - Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance A - Appurtenant Easement				
SUBJECT LAND	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED/IN FAVOUR OF
E-1	TRANSMISSION OF ELECTRICITY	SEE DIAG.	D724903	STATE ELECTRICITY COMMISSION OF VICTORIA
E-2	POWERLINE	SEE DIAG.	PS805186V - SEC 88 ELECTRICITY INDUSTRY ACT 2000	JEMENA ELECTRICITY NETWORKS (VIC) LTD
E-10 E-10	DRAINAGE SEWERAGE	SEE DIAG. SEE DIAG.	PS746087Y PS746087Y	HUME CITY COUNCIL YARRA VALLEY WATER CORPORATION
E-11 E-11	DRAINAGE SEWERAGE	SEE DIAG. SEE DIAG.	PS810932G PS810932G	HUME CITY COUNCIL YARRA VALLEY WATER CORPORATION
E-12	SEWERAGE	SEE DIAG.	PS810932G	YARRA VALLEY WATER CORPORATION
E-13	DRAINAGE	SEE DIAG.	THIS PLAN	HUME CITY COUNCIL
E-14 E-14	DRAINAGE SEWERAGE	SEE DIAG. SEE DIAG.	THIS PLAN THIS PLAN	HUME CITY COUNCIL YARRA VALLEY WATER CORPORATION

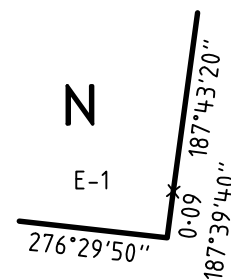
WARATAH - 10	LICENSED SURVEYOR GREGORY STUART WILLIAMS		
39 LOTS AND BALANCE LOT N	DATE 17/11/17	REFERENCE 30232103	ORIGINAL SHEET SIZE A3
<p>Bosco Jonson Pty Ltd A.B.N 15 169 138 827 P.O. Box 5075, South Melbourne, Vic 3205 16 Eastern Road South Melbourne Vic 3205 Australia Tel 03) 9699 1400 Fax 03) 9699 5992</p> 	VERSION B	DRAWING 3023210AB	SHEET 1 OF 12 SHEETS
	Digitally signed by: Gregory Stuart Williams (Bosco Jonson Pty Ltd), Surveyor's Plan Version (B), 17/11/2017, SPEAR Ref: S112915J		

PLAN OF SUBDIVISION

PS 810989A



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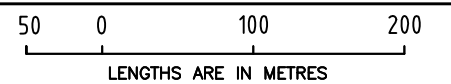


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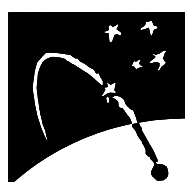
WARATAH - 10

LICENSED SURVEYOR GREGORY STUART WILLIAMS

SCALE
1:5000



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DRAWING 3023210AB

ORIGINAL SHEET SIZE A3

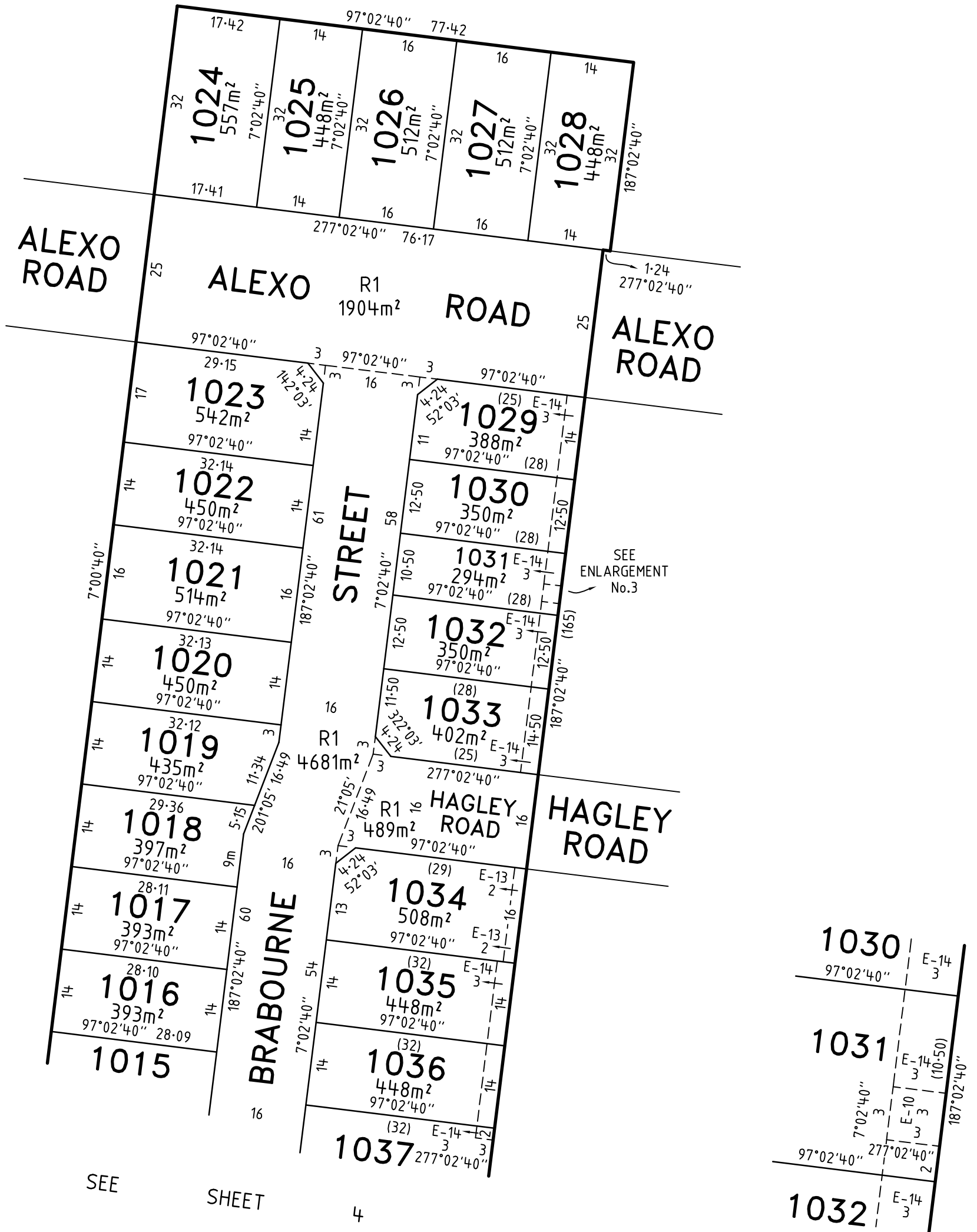
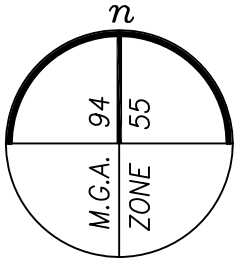
SHEET 2

Digitally signed by: Gregory Stuart Williams (Bosco Jonson Pty Ltd),
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17/11/2017, SPEAR Ref: S112915J

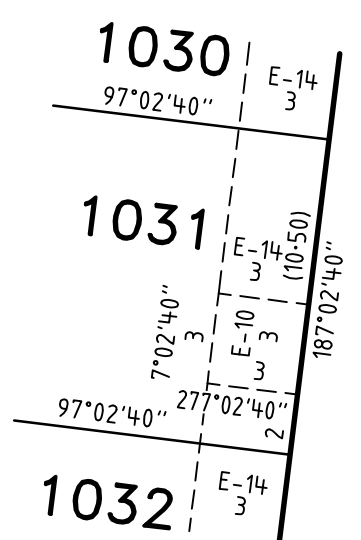
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PLAN OF SUBDIVISION

PS 810989A



SEE SHEET 4

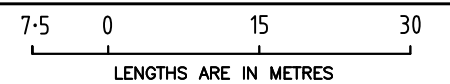


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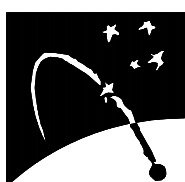
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LICENSED SURVEYOR GREGORY STUART WILLIAMS

SCALE 1:750



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VERSION B

REFERENCE 30232103
DRAWING 3023210AB

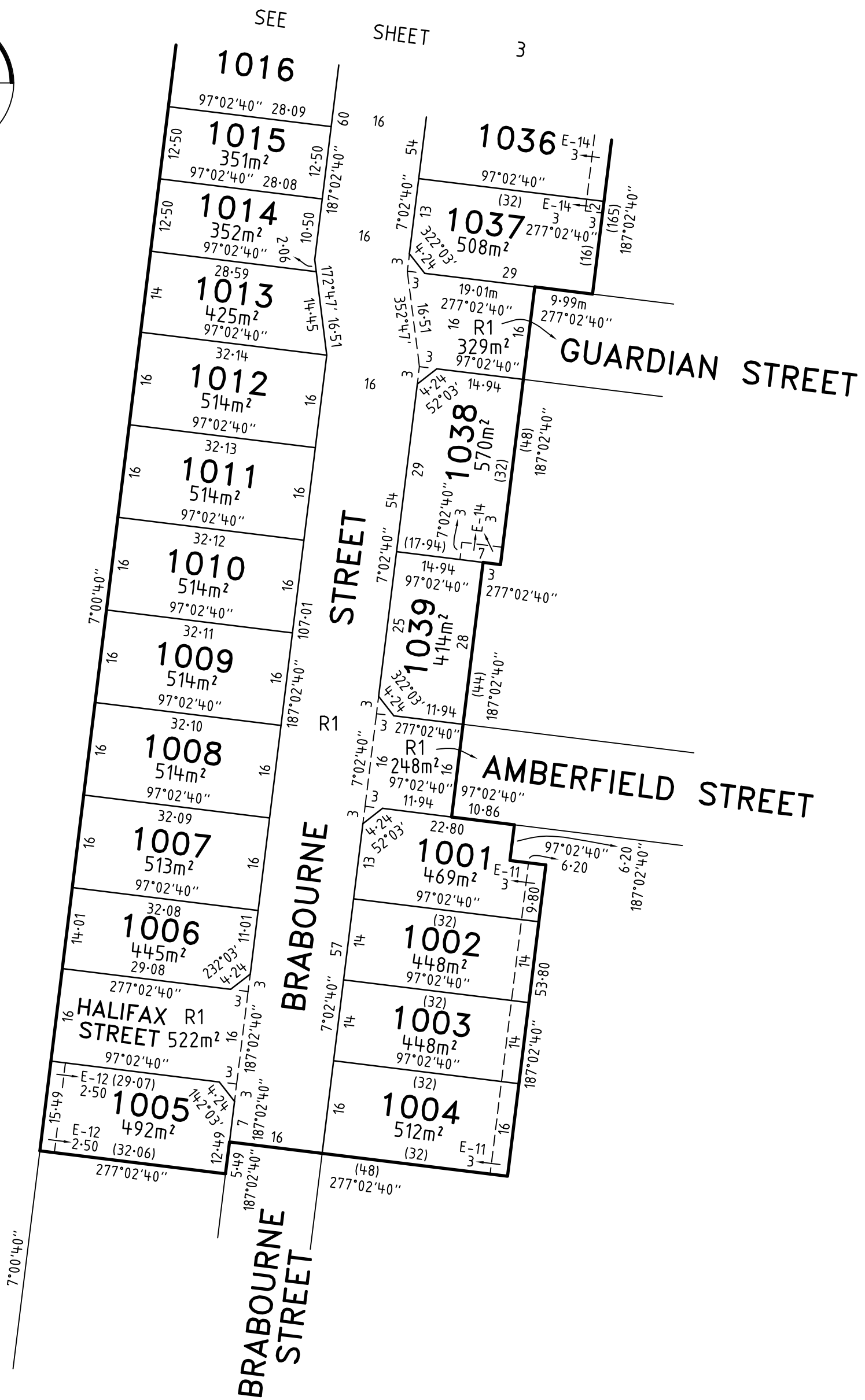
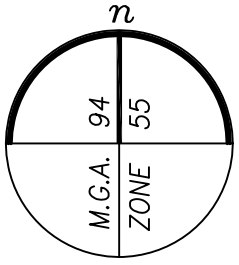
ORIGINAL SHEET SIZE A3
SHEET 3

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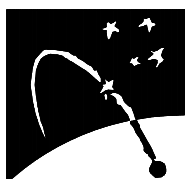
PLAN OF SUBDIVISION

PS 810989A



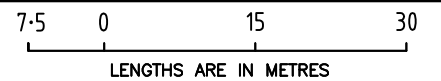
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SHEET 4

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 SPEAR Ref: S112915J

PLAN OF SUBDIVISION

PS 810989A

CREATION OF RESTRICTION A

The following restriction is to be created upon registration of this plan.

DESCRIPTION OF RESTRICTION:

Table of land burdened and land benefited:

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
1001	1002
1002	1001, 1003
1003	1002, 1004
1004	1003
1005	1004, 1006
1006	1007
1007	1006, 1008
1008	1007, 1009
1009	1008, 1010
1010	1009, 1011
1011	1010, 1012
1012	1011, 1013
1013	1012, 1014
1014	1013, 1015
1015	1014, 1016
1016	1015, 1017
1017	1016, 1018
1018	1017, 1019
1019	1018, 1020

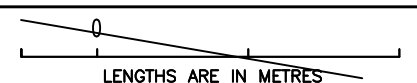
BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
1020	1019, 1021
1021	1020, 1022
1022	1021, 1023
1023	1022
1024	1025
1025	1024, 1026
1026	1025, 1027
1027	1026, 1028
1028	1027
1029	1030
1030	1029, 1031
1032	1031, 1033
1033	1032
1034	1035
1035	1034, 1036
1036	1035, 1037
1037	1036
1038	1039
1039	1038

CONTINUED

WARATAH – 10

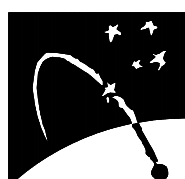
LICENSED SURVEYOR GREGORY STUART WILLIAMS

SCALE



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VERSION B

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ORIGINAL SHEET SIZE A3

SHEET 5

CREATION OF RESTRICTION A (CONTINUED)

The registered proprietor or proprietors for the time being of a lot on this Plan of Subdivision his, her, their or its heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof:


- (i) Build or cause to be built or allow to be built or allow to remain standing more than one private dwelling-house (which expression shall include a house, apartment, unit or flat) prior to 1 January 2037;
- (ii) Build or cause to be built or allow to be built or allow to remain built a dwelling-house or any other improvements, or carry out, cause to be carried out or allow to be carried out any building or construction works on the lot prior to 1 January 2027 unless:
 - (A) copies of building plans, elevations, roof plan, site plan (incorporating set-back from all boundaries, building envelope, existing contours, proposed finished floor levels and site levels, all proposed driveways and paths, details of fences and outbuildings and landscaping) and schedule of external colours and materials ("plans") have been submitted to the Design Assessment Panel, at the address in the Design Guidelines (as amended from time to time); and
 - (B) the plans comply with the Design Guidelines and Building Envelopes that deal with all siting and other matters that would otherwise be regulated by Part 4 of the Building Regulations 2006 (or any superceding regulation), a copy of which can be obtained from the website at www.waratah.villawoodproperties.com.au; and
 - (C) the Design Assessment Panel or such other entity as may be nominated by the Design Assessment Panel from time to time has given its written approval to the plans prior to the commencement of works;
- (iii) Build or cause to be built or allow to be built or allow to remain a dwelling-house with a floor area of less than:
 - (A) 160 square metres in the case of a lot having an area of 500 square metres or greater; or
 - (B) 130 square metres in the case of a lot having an area of 400 square metres or greater but less than 500 square metres; or
 - (C) 100 square metres in the case of a lot having an area of 300 square metres or greater but less than 400 square metres; or
 - (D) 75 square metres in the case of a lot having an area of less than 300 square metres.

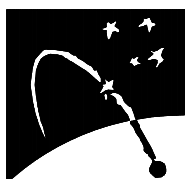
For the purposes of calculating the floor area of a dwelling-house the area of the garages, terraces, pergolas or verandahs shall be excluded.

- (iv) Build or cause to be built or allow to be built or allow to remain any fencing:
 - (A) Along a front street boundary; or
 - (B) Between the front street boundary and the building line; or
 - (C) Upon a side or rear boundary of a lot except a fence:
 - a. Which is constructed of timber palings with exposed posts capped across the top of the palings; and
 - b. Which does not exceed 1.8 metres in height excluding a screen erected to meet the requirements of Part 4 of the *Building Regulations 2006* in relation to overlooking.

The foregoing restriction shall not apply during any period that the lot is being used as a display home.

- (v) Subdivide or cause to subdivide or allow to be subdivided the lot.

WARATAH – 10 Bosco Jonson Pty Ltd A.B.N 15 169 138 827 P.O. Box 5075, South Melbourne, Vic 3205 16 Eastern Road South Melbourne Vic 3205 Australia Tel 03) 9699 1400 Fax 03) 9699 5992	LICENSED SURVEYOR GREGORY STUART WILLIAMS		SCALE 
	DATE 17/11/17 VERSION B	REFERENCE 30232103 DRAWING 3023210AB	ORIGINAL SHEET SIZE A3 SHEET 6
Digitally signed by: Gregory Stuart Williams (Bosco Jonson Pty Ltd), Surveyor's Plan Version (B), 17/11/2017, SPEAR Ref: S112915J		Digitally signed by: Hume City Council, 06/03/2018, SPEAR Ref: S112915J	



PLAN OF SUBDIVISION

PS 810989A

CREATION OF RESTRICTION B

The following restriction is to be created upon registration of this plan.

DESCRIPTION OF RESTRICTION:

Table of land burdened and land benefited:

BURDENED LOTS SUBJECT TO THE SMALL LOT HOUSING CODE	BENEFITING LOTS ON THIS PLAN
1031	1030, 1032

The registered proprietor or proprietors for the time being for any burdened lot on this plan in the table as a lot subject to the 'Small Lot Housing Code (Type A)' must not build or permit to be built or remain on the lot any building or structure that has not been constructed in accordance with the 'Small Lot Housing Code (Type A)' unless in accordance with a permit granted to construct a dwelling on the lot. This restriction shall cease to have effect after the issue of Certificate of Occupancy for the whole of the dwelling on the lot.

WARATAH – 10

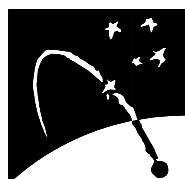
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SHEET 7

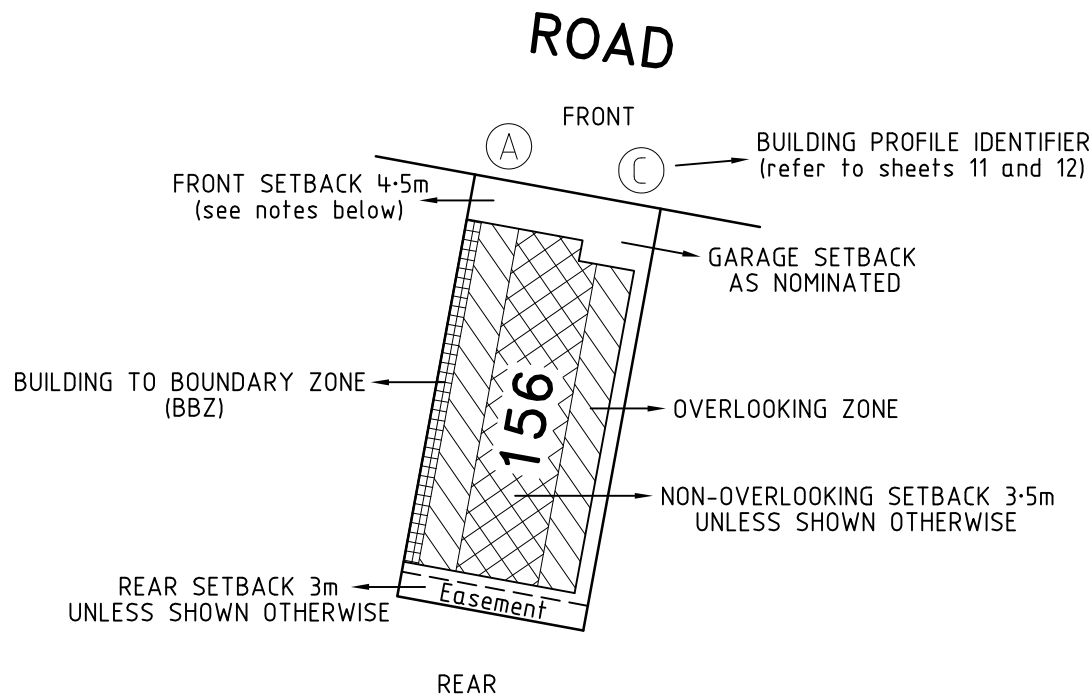
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17/11/2017, SPEAR Ref: S112915J

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SPEAR Ref: S112915J

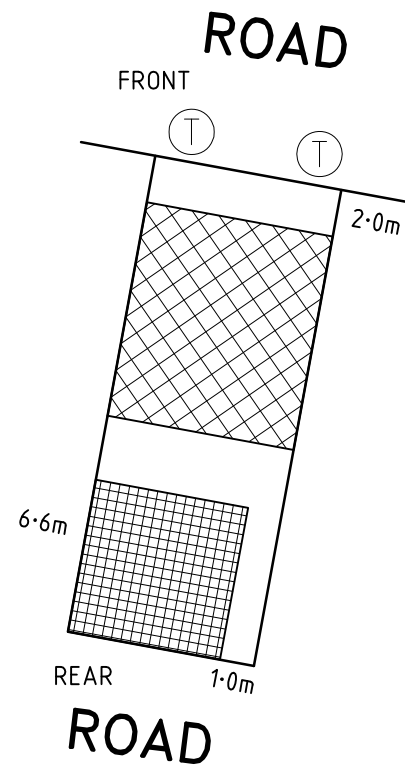
BUILDING ENVELOPE SCHEDULE
See Plan of Subdivision PS810989A

LEGEND

EXAMPLE OF TYPICAL BUILDING ENVELOPE SETBACKS



EXAMPLE OF REAR LOADED TERRACE LOT




Notations


- The front and side setbacks are measured to the outermost walls of the buildings.
- Garages must be setback a minimum of 5.0m from the front street boundary unless otherwise noted.
- Walls less than 1.0m from the boundary must be within 200mm of the boundary.
- The BBZ shall be applicable to one side boundary only, one side boundary must be kept clear of buildings. Terrace style lots are exempt from this requirement.
- The setback to a side street boundary for a corner lot is 2m unless noted otherwise.
- Where the minimum front setback is 3.0m or more, porches, verandahs and architectural features can encroach into the front setback by up to 1.5m.
- Where the minimum front setback is less than 3.0m, porches, verandahs and architectural features can encroach into the front setback by up to 1.0m.


Refer "Diagrams and Plans" in this document for further definitions

Single Storey Building Envelope hatch types

 Building to Boundary Zone

Double Storey Building Envelope hatch types

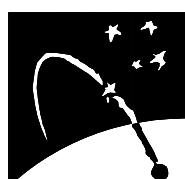
 Overlooking Zone - Habitable room windows or raised open spaces are a source of overlooking

 Non Overlooking Zone - Habitable room windows or raised open spaces are not a source of overlooking

The registered proprietor or proprietors of the lot are required to build in accordance with the approved building envelopes shown hereon and in the "Profile Diagrams" in this document.

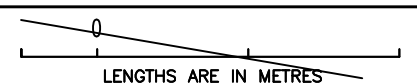
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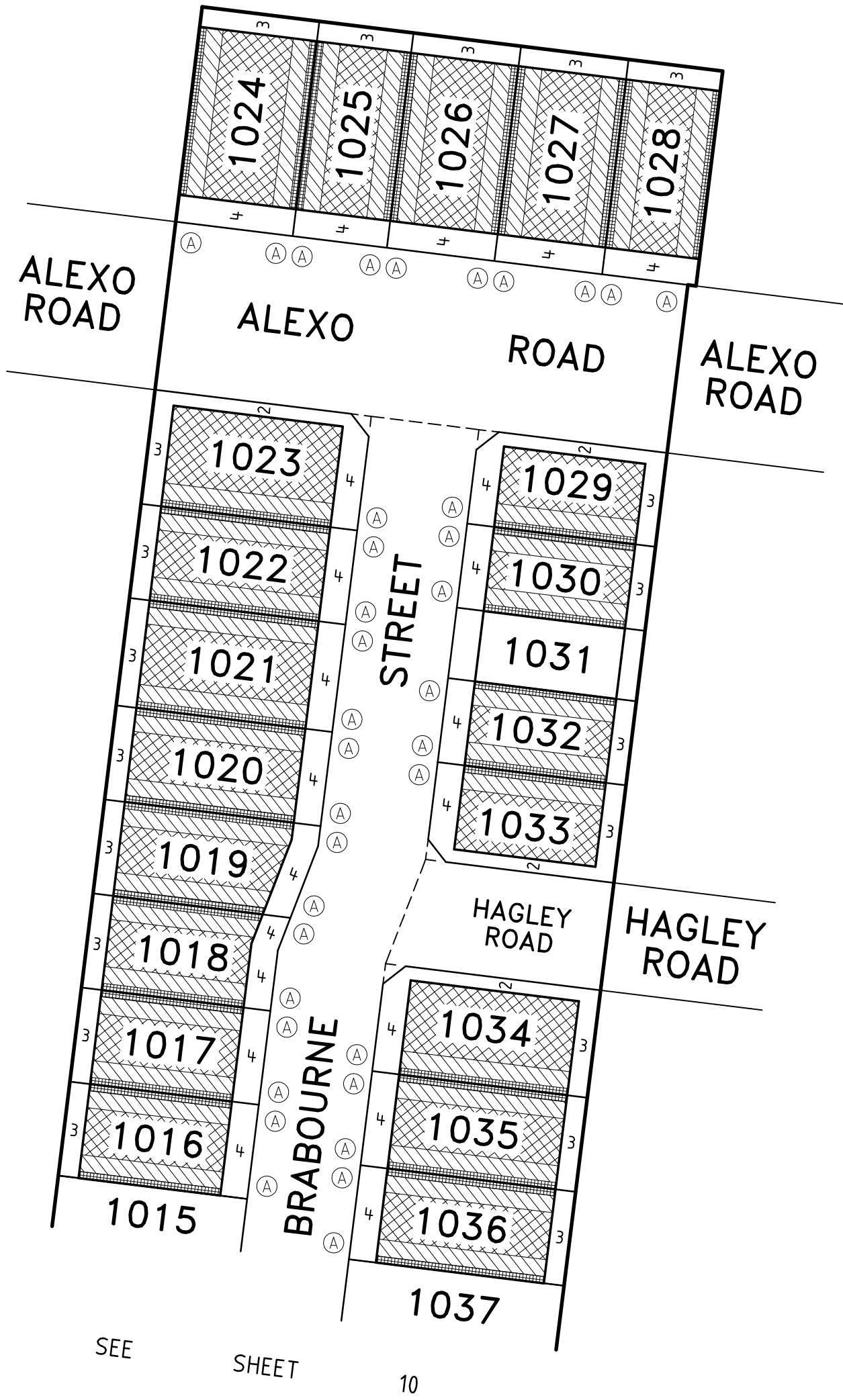
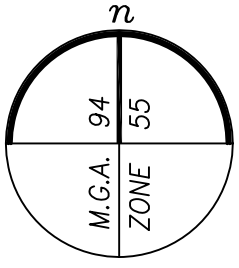
SHEET 8

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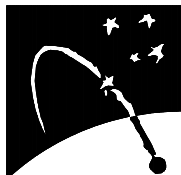
PLAN OF SUBDIVISION

PS 810989A



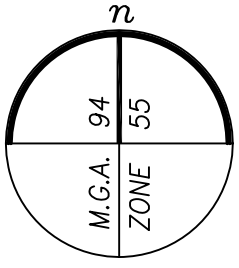
SEE SHEET 10

WARATAH - 10 Bosco Jonson Pty Ltd A.B.N 15 169 138 827 P.O. Box 5075, South Melbourne, Vic 3205 16 Eastern Road South Melbourne Vic 3205 Australia Tel 03) 9699 1400 Fax 03) 9699 5992	LICENSED SURVEYOR GREGORY STUART WILLIAMS		SCALE 1:750	7.5 0 15 30 LENGTHS ARE IN METRES
	DATE 17/11/17 VERSION B	REFERENCE 30232103 DRAWING 3023210AB	ORIGINAL SHEET SIZE A3 SHEET 9	
Digitally signed by: Gregory Stuart Williams (Bosco Jonson Pty Ltd), Surveyor's Plan Version (B), 17/11/2017, SPEAR Ref: S112915J		Digitally signed by: Hume City Council, 06/03/2018, SPEAR Ref: S112915J		

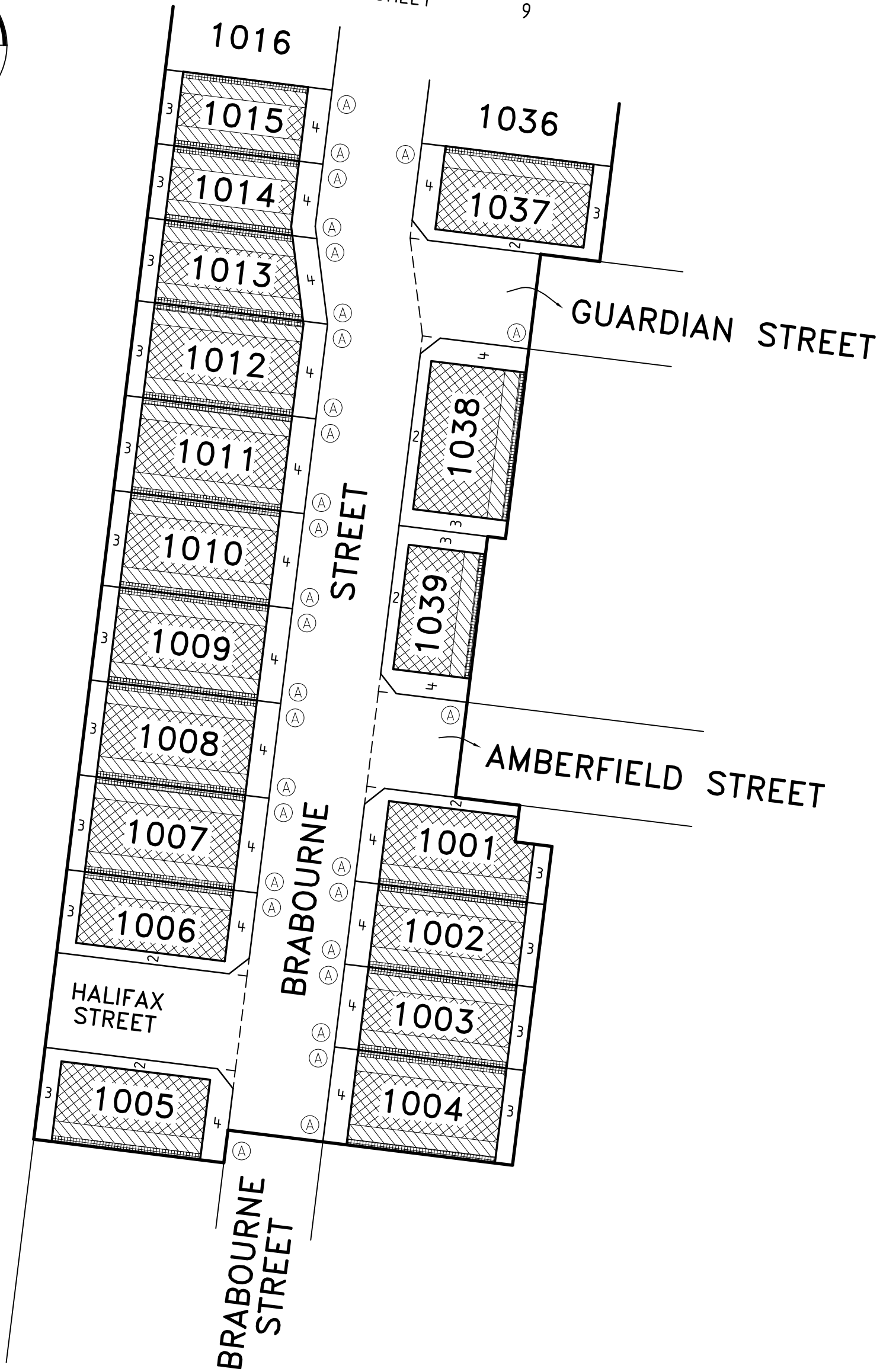


PLAN OF SUBDIVISION

PS 810989A

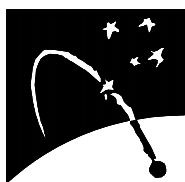


SEE SHEET 9



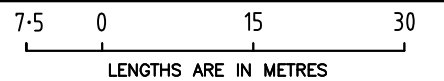
WARATAH - 10

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 Vic 3205 Australia
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SCALE
1:750



DATE 17/11/17

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VERSION B

DRAWING 3023210AB

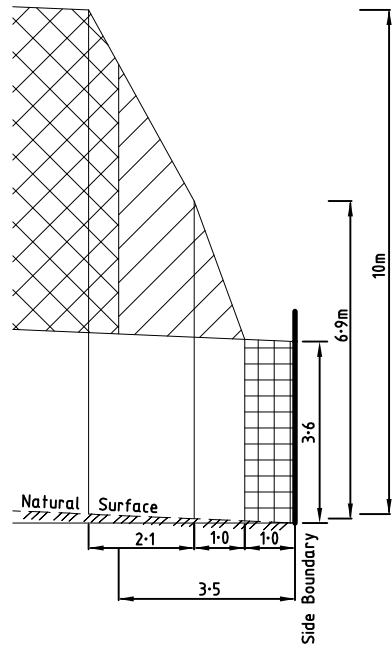
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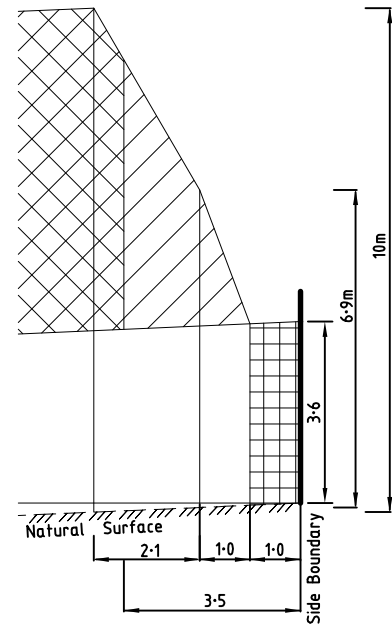
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 Hume City Council,
 06/03/2018,
 SPEAR Ref: S112915J

(A) Profile

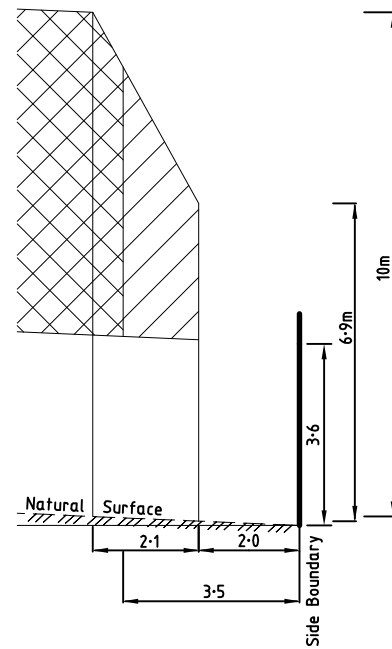


Natural surface rising from side boundary

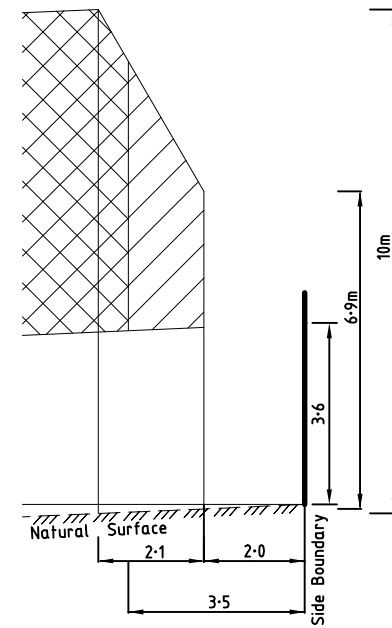


Natural surface falling from side boundary

(B) Profile



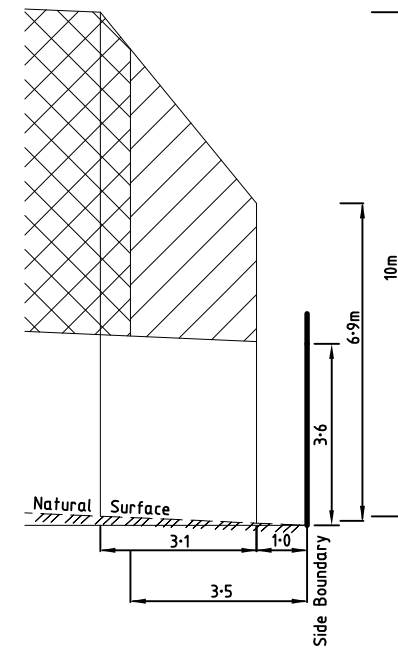
Natural surface rising from side boundary



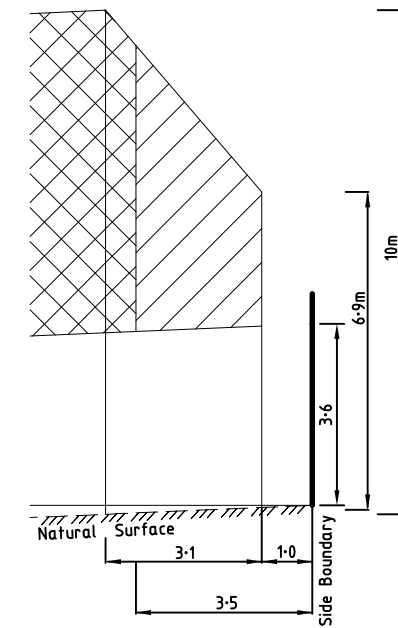
Natural surface falling from side boundary

PROFILE DIAGRAMS

(C) Profile

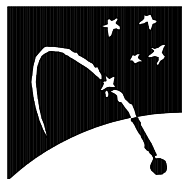


Natural surface rising from side boundary



Natural surface falling from side boundary

Bosco Jonson Pty Ltd
 A.B.N 15 169 138 827
 P.O. Box 5075, South Melbourne, Vic 3205
 16 Eastern Road South Melbourne
 Vic 3205 Australia
 Tel 03) 9699 1400 Fax 03) 9699 5992



WARATAH - 10

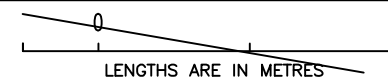
LICENSED SURVEYOR GREGORY STUART WILLIAMS

DATE 17/11/17

REFERENCE 30232103

VERSION B

DRAWING 3023210AB



LENGTHS ARE IN METRES

SCALE

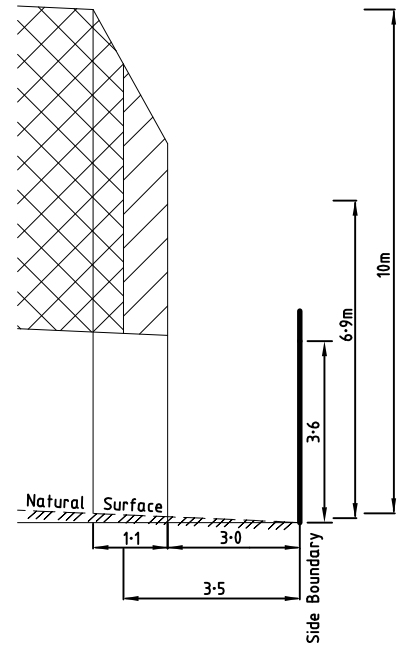
ORIGINAL SHEET SIZE A3

SHEET 11

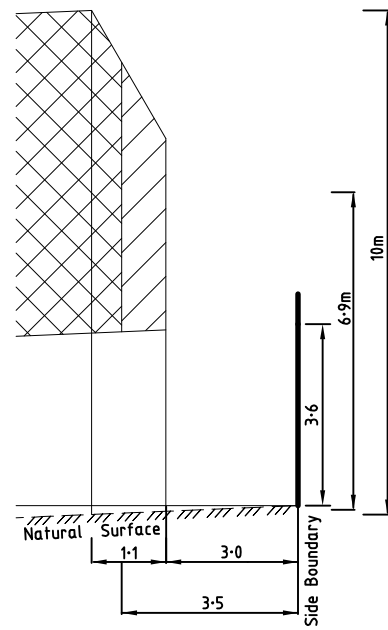
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 Surveyor's Plan Version (B),
 17/11/2017, SPEAR Ref: S112915J

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 Hume City Council,
 06/03/2018,
 SPEAR Ref: S112915J

D Profile



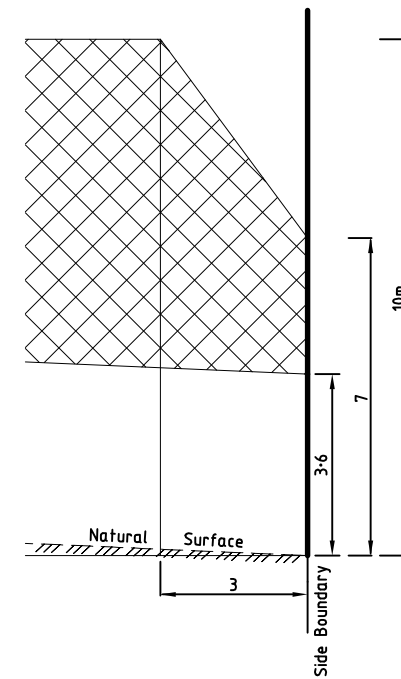
Natural surface rising from side boundary



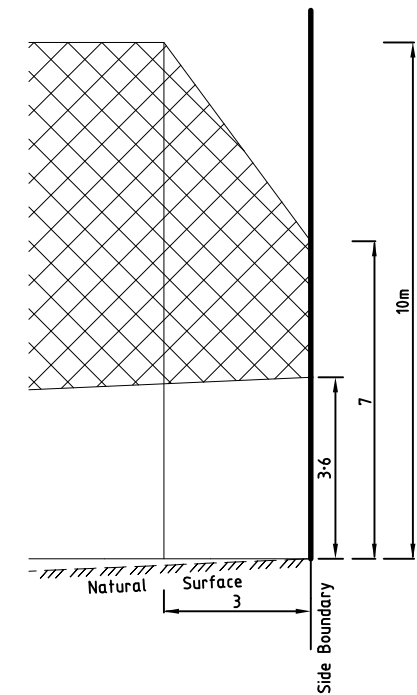
Natural surface falling from side boundary

PROFILE DIAGRAMS CONTINUED

T Profile

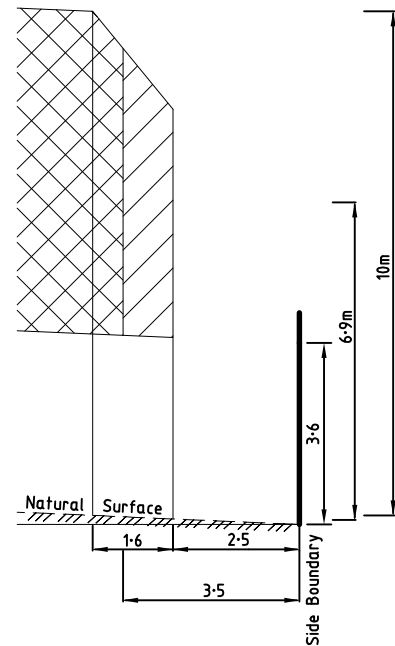


Natural surface rising from side boundary

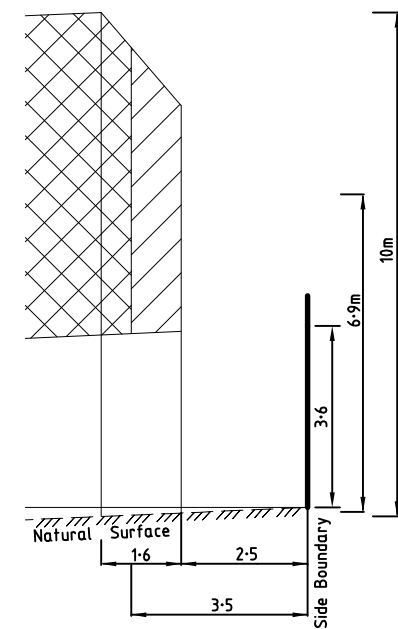


Natural surface falling from side boundary

E Profile

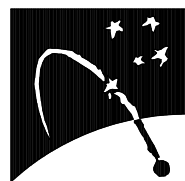


Natural surface rising from side boundary



Natural surface falling from side boundary

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WARATAH - 10

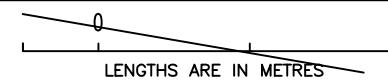
LICENSED SURVEYOR GREGORY STUART WILLIAMS

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ORIGINAL SHEET SIZE A3

SHEET 12

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