

PLAN OF SUBDIVISION

PS 827124V

LOCATION OF LAND

PARISH: BARRARBOOL
TOWNSHIP:
SECTION: 11
CROWN ALLOTMENT: 42 (PART) & 49 (PART)
CROWN PORTION: 11 (PART)
TITLE REFERENCE: VOL 10039 FOL 350
 VOL FOL
 VOL FOL
LAST PLAN REFERENCE: LOT 2 ON PS608915K
 LOT B ON PS816135C
 LOT D ON PS816138V
POSTAL ADDRESS: MONCRIEFF CRESCENT
 (at time of subdivision) WANDANA HEIGHTS, 3216
MGA CO-ORDINATES: E: 263 100 ZONE:55
 (of approx centre of land in plan) N: 5 771 150

Council Name: City of Greater Geelong

Council Reference Number: 14073
 Planning Permit Reference: PP-392-2015
 SPEAR Reference Number: S132883C

Certification

This plan is certified under section 11 (7) of the Subdivision Act 1988
 Date of original certification under section 6: 05/12/2019

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification

Digitally signed by: Rory O'Loughlen for City of Greater Geelong on 05/06/2020

VESTING OF ROADS AND/OR RESERVES

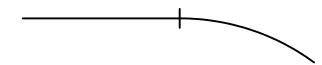
NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON
ROAD R1	CITY OF GREATER GEELONG
RESERVE No.1	CITY OF GREATER GEELONG
RESERVE No.2	CITY OF GREATER GEELONG
RESERVE No.3	POWERCOR AUSTRALIA LTD

LOTS 1 TO 182 AND A TO E (ALL INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN

AREA OF LAND SUBDIVIDED (EXCLUDING BALANCE LOTS F, G AND H) - 3.514ha

TANGENT POINTS ARE SHOWN THUS:



NOTATIONS

DEPTH LIMITATION 15.24m BELOW THE SURFACE APPLIES TO CA 42 (PART) & CA 49 (PART)

SURVEY:
 This plan is based on survey.

STAGING:
 This is not a staged subdivision.

BOUNDARIES SHOWN THUS 12.34 ARE NOT SUBJECT TO SURVEY

ADDITIONAL PURPOSE OF THIS PLAN:

TO REMOVE THOSE PARTS OF EASEMENTS E-9 & E-10 ON PS812316U
 AND TO REMOVE THAT PART OF E-4 ON PS608915K NOW CONTAINED
 IN ROAD R1 ON THIS PLAN

GROUND FOR REMOVAL:

ROAD MANAGEMENT ACT 2004 - SCHEDULE 5, CLAUSE 14(a)

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	TRANSMISSION OF ELECTRICITY	SEE DIAG	C/E E334721	S.E.C.V
	TRANSMISSION OF ELECTRICITY	SEE DIAG	C/E B558558	S.E.C.V
E-2	TRANSMISSION OF ELECTRICITY	SEE DIAG	C/E E334721	S.E.C.V
E-3	PIPELINES OR ANCILLARY PURPOSES	SEE DIAG	PS812316U (SEC 136 OF THE WATER ACT 1989)	BARWON REGION WATER CORPORATION
CONTINUED ON SHEET 2				

WANDANA - 6

14 LOTS AND BALANCE LOTS F, G AND H

LICENSED SURVEYOR: ANDREW J. REAY



Lyssna Group Pty Ltd
 ABN 18 616 811 191
 Tel: +61 3 9516 6899
 PO Box 1098, South Melbourne 3205
 Suite 3, 102 Dodds Street
 Southbank VIC 3006 Australia

LyssnaGroup.com

DATE: 31/01/20 REFERENCE: AA0074
 DRAWING: SU06AK DRAWN BY: LS

ORIGINAL SHEET SIZE: A3
 SHEET 1 OF 5

Digitally signed by: Andrew Reay, Licensed Surveyor,
 Surveyor's Plan Version (K),
 29/04/2020, SPEAR Ref: S132883C

PLAN OF SUBDIVISION

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EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-4	DRAINAGE	2	THIS PLAN	CITY OF GREATER GEELONG
E-5	TRANSMISSION OF ELECTRICITY	SEE DIAG	C/E G870791	S.E.C.V
E-6	PIPELINES OR ANCILLARY PURPOSES	3	THIS PLAN (SEC 136 OF THE WATER ACT 1989)	BARWON REGION WATER CORPORATION
E-7	TRANSMISSION OF ELECTRICITY	3	C/E E334721	S.E.C.V
	TRANSMISSION OF ELECTRICITY	3	C/E B558558	S.E.C.V
	PIPELINES OR ANCILLARY PURPOSES	3	PS816138V (SEC 136 OF THE WATER ACT 1989)	BARWON REGION WATER CORPORATION
E-8	TRANSMISSION OF ELECTRICITY	4	C/E E334721	S.E.C.V
	PIPELINES OR ANCILLARY PURPOSES	4	PS812316U (SEC 136 OF THE WATER ACT 1989)	BARWON REGION WATER CORPORATION
E-9	TRANSMISSION OF ELECTRICITY	3	C/E C249293	S.E.C.V
	PIPELINES OR ANCILLARY PURPOSES	3	THIS PLAN (SEC 136 OF THE WATER ACT 1989)	BARWON REGION WATER CORPORATION
E-10	TRANSMISSION OF ELECTRICITY	4	C/E G870791	S.E.C.V
	PIPELINES OR ANCILLARY PURPOSES	4	THIS PLAN (SEC 136 OF THE WATER ACT 1989)	BARWON REGION WATER CORPORATION
E-11	TRANSMISSION OF ELECTRICITY	SEE DIAG	C/E C249293	S.E.C.V
	PIPELINES OR ANCILLARY PURPOSES	SEE DIAG	THIS PLAN (SEC 136 OF THE WATER ACT 1989)	BARWON REGION WATER CORPORATION
E-12	TRANSMISSION OF ELECTRICITY	SEE DIAG	C/E C249293	S.E.C.V
E-13	POWERLINES	6.50	THIS PLAN (SEC 88 OF THE ELECTRICITY INDUSTRY ACT 2000)	POWERCOR AUSTRALIA LTD
E-14	DRAINAGE	SEE DIAG	PS816135C	CITY OF GREATER GEELONG
E-15	POWERLINES	7	THIS PLAN (SEC 88 OF THE ELECTRICITY INDUSTRY ACT 2000)	POWERCOR AUSTRALIA LTD
	TRANSMISSION OF ELECTRICITY	7	C/E G870791	S.E.C.V
E-16	SUPPLY OF GAS	SEE DIAG	PS816135C	AUSNET GAS SERVICES PTY LTD
	DRAINAGE	SEE DIAG	PS816135C	CITY OF GREATER GEELONG

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 DRAWN BY: LS

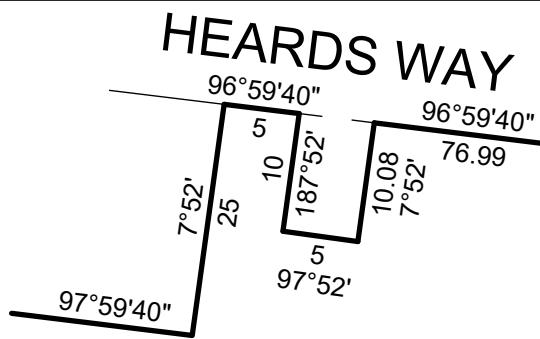
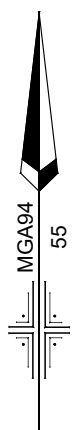
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 SHEET 2

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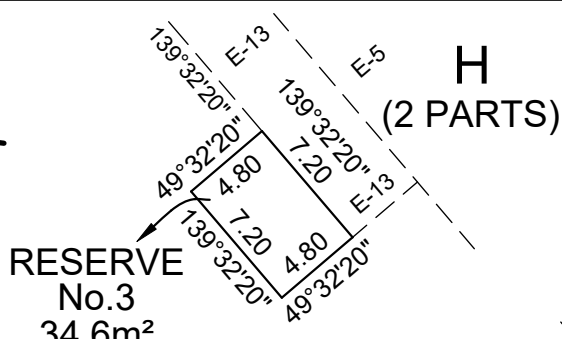
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PLAN OF SUBDIVISION

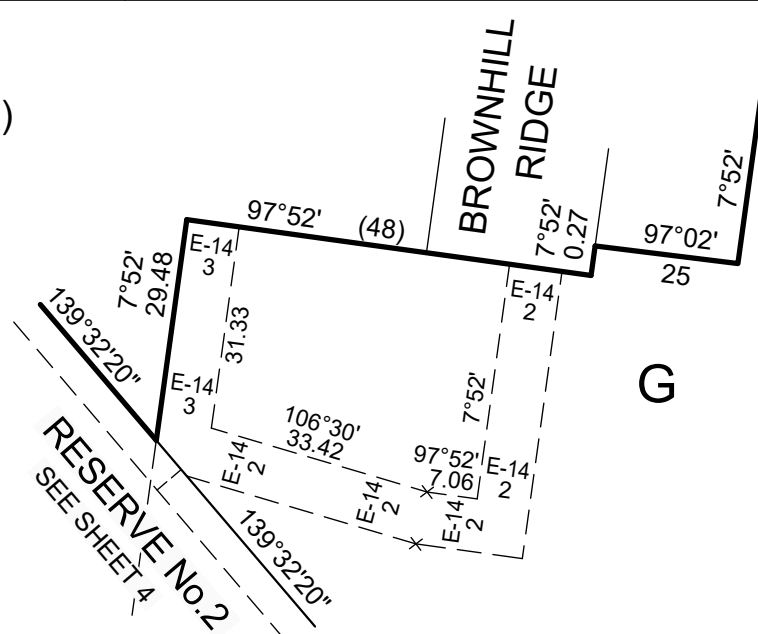
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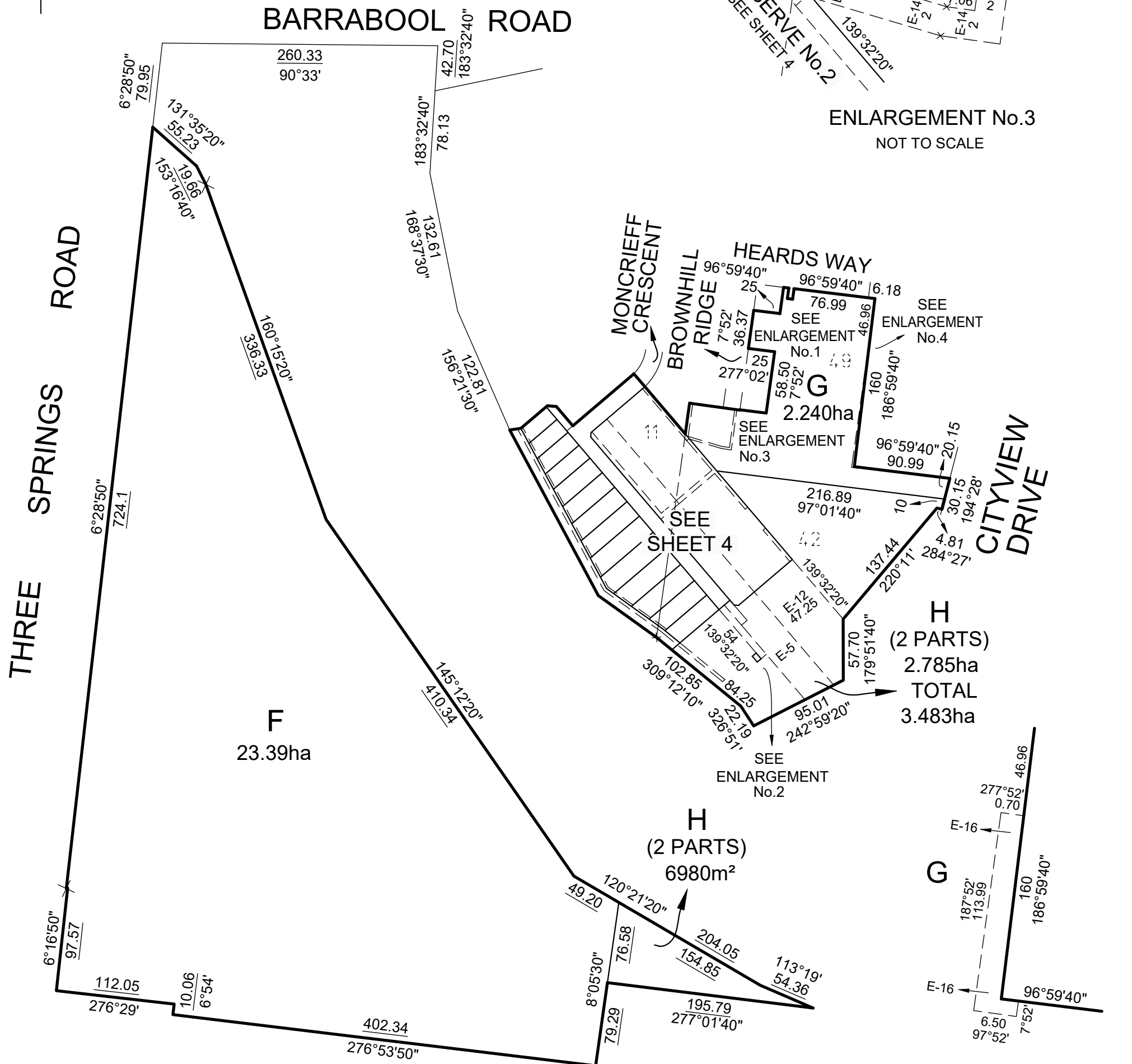
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NOT TO SCALE



ENLARGEMENT No.2
NOT TO SCALE



ENLARGEMENT No.3
NOT TO SCALE

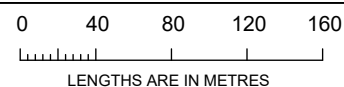


ENLARGEMENT No.4
NOT TO SCALE

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SCALE
1:4000



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SHEET 3

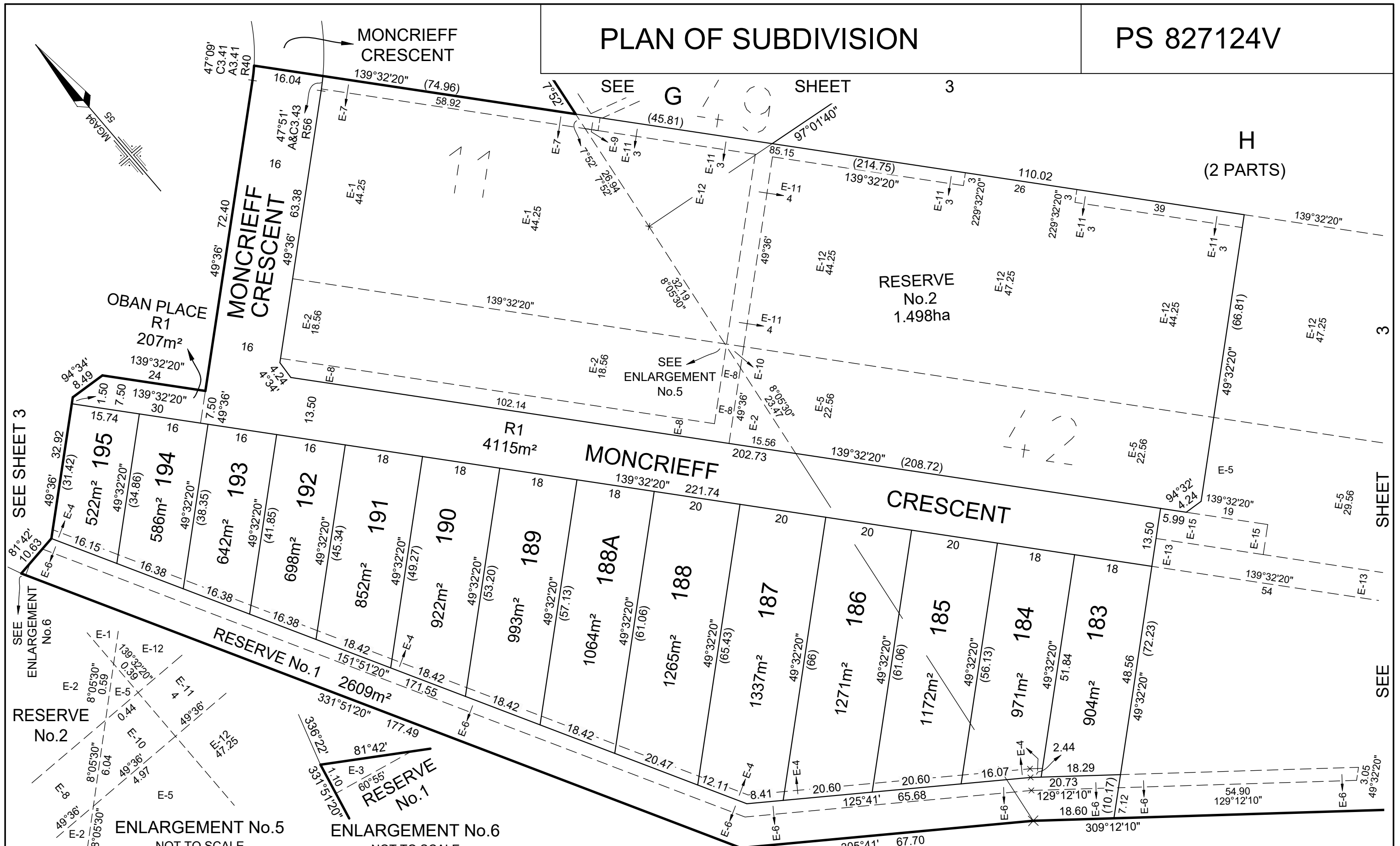
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WANDANA - 6
 LICENSED SURVEYOR: ANDREW J. REAY
 DATE: 31/01/20 REFERENCE: AA0074
 DRAWING: SU06AK DRAWN BY: LS

SCALE: 1:800
 0 8 16 24 32
 LENGTHS ARE IN METRES
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 SHEET 4
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CREATION OF RESTRICTION "A"

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

DESCRIPTION OF RESTRICTION

Table of land burdened and land benefited:

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
183	184
184	183, 185
185	184, 186
186	185, 187
187	186, 188
188	187, 188A
188A	188, 189

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
189	188A, 190
190	189, 191
191	190, 192
192	191, 193
193	192, 194
194	193, 195
195	194

The registered proprietor for the time being of a lot on this Plan of Subdivision his, her, their or its heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof:

- (i) Build or cause to be built or allow to be built or allow to remain standing more than one private dwelling-house (which expression shall include a house, apartment, unit or flat).
- (ii) Build or cause to be built or allow to be built or allow to remain standing a dwelling-house or any other improvements, or carry out or cause to be carried out or allow to be carried out any building or construction works on the lot unless:
 - A. copies of building plans, elevations, roof plan, site plan (incorporating set-back from all boundaries, building envelope, existing contours, proposed finished floor levels and site levels, all proposed driveways and paths, details of fences and outbuildings and landscaping) and schedule of external colours and materials ("plans") have been submitted to Design Assessment Panel, at the address in the Design Guidelines (as amended from time to time) and
 - B. the plans comply with the Design Guidelines and Building Envelopes that deal with all siting and other matters that would otherwise be regulated by Part 4 of the Building Regulations 2006 (or any superseding regulation), a copy of which can be obtained from the website [HTTP://villawoodproperties.com.au/community/wandana](http://villawoodproperties.com.au/community/wandana); and
 - C. the Design Assessment Panel or such other entity as may be nominated by the Design Assessment Panel from time to time has given its written approval to the plans prior to the commencement of works;
- (iii) Build or cause to be built or allow to be built or allow to remain standing a dwelling-house with a floor area of less than:
 - A. 160 square metres in the case of a lot having an area of 500 square metres or greater; or
 - B. 130 square metres in the case of a lot having an area of 400 square metres or greater but less than 500 square metres; or
 - C. 100 square metres in the case of a lot having an area of 300 square metres or greater but less than 400 square metres; or
 - D. 75 square metres in the case of a lot having an area of less than 300 square metres.

For the purposes of calculating the floor area of a dwelling house the area of the garages, terraces, pergolas or verandahs shall be excluded.
- (iv) Build or cause to be built or allow to be built or allow to remain any fencing:
 - A. Along a front street boundary; or
 - B. Between the front street boundary and the building line; or
 - C. Upon a side or rear boundary of a lot except a fence:
 - a. Which is constructed of timber palings with exposed posts capped across the top of the palings; and
 - b. Which does not exceed 1.8 metres in height excluding a screen erected to meet the requirements of Part 4 of the Building Regulations 2006 in relation to overlooking.
- (v) Subdivide or cause to subdivide or allow to be subdivided the lot.
- (vi) Build or cause to be built or allow to be built any dwelling-house without:
 - A. Obtaining an acoustic report that provides recommendations regarding sound insulation requirements to achieve internal noise levels of;
 - a. 35 dB $L_{Aeq,8h}$ between the hours of 10pm to 6am for bedrooms;
 - b. 40 dB $L_{Aeq,16h}$ between the hours of 6am to 10pm for habitable rooms which are not bedrooms; and
 - B. Incorporating the recommended sound insulation requirements of the above acoustic report into the building construction.
- (vii) Allow any of the above restrictions to be changed or amended unless otherwise approved by the Responsible Authority and the Design Assessment Panel.

This restriction shall cease to have effect 25 years after the date of registration of this plan.

WANDANA - 6



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