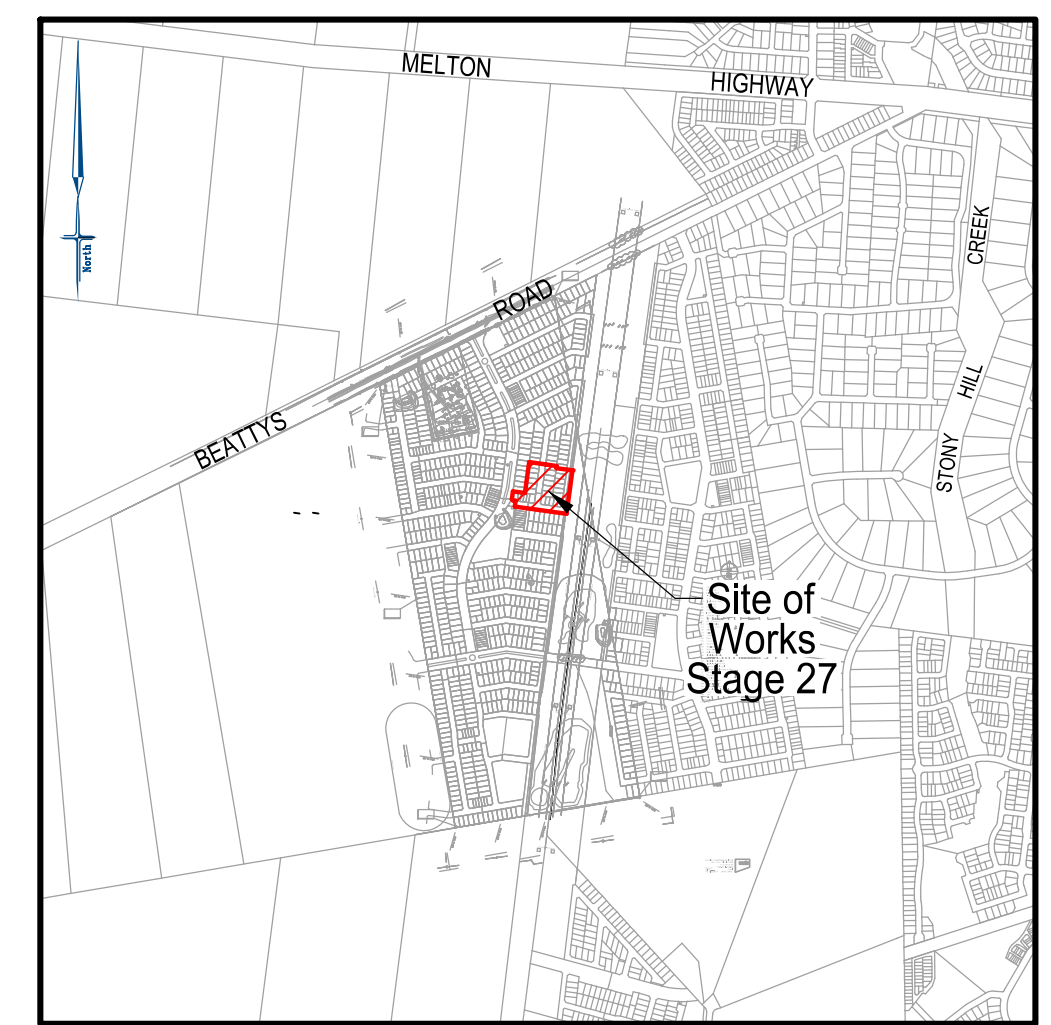
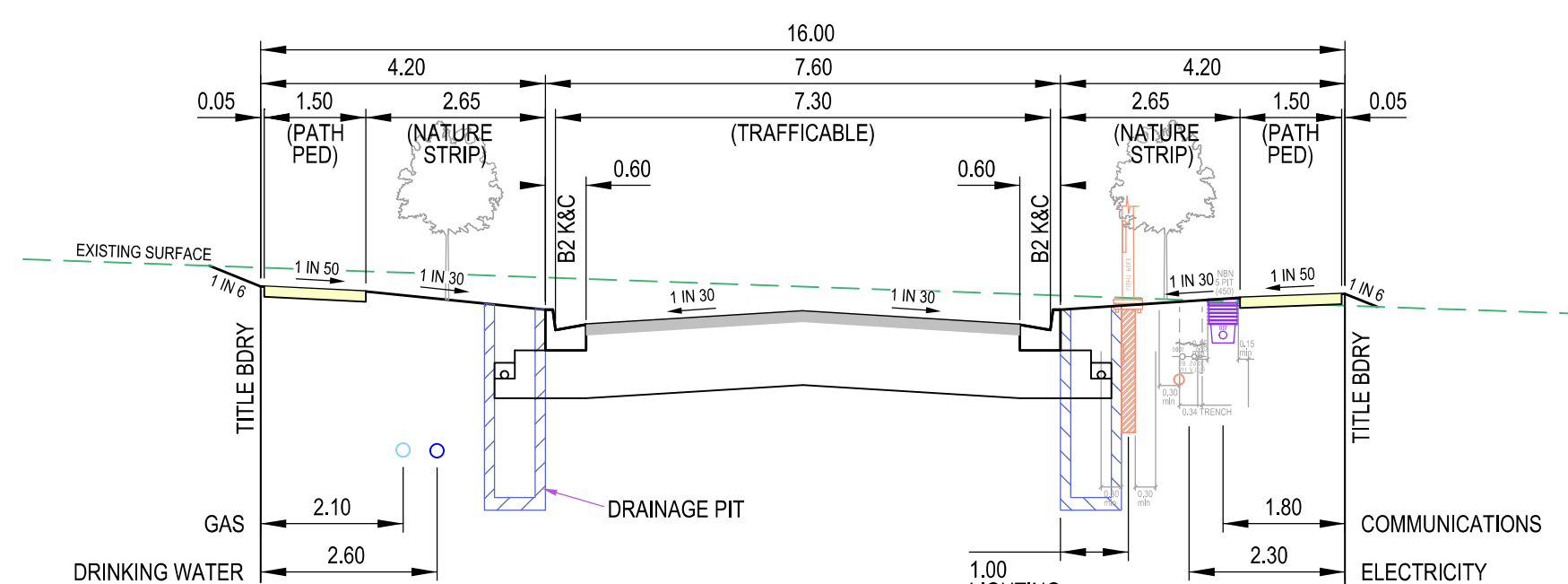


### SHEET INDEX

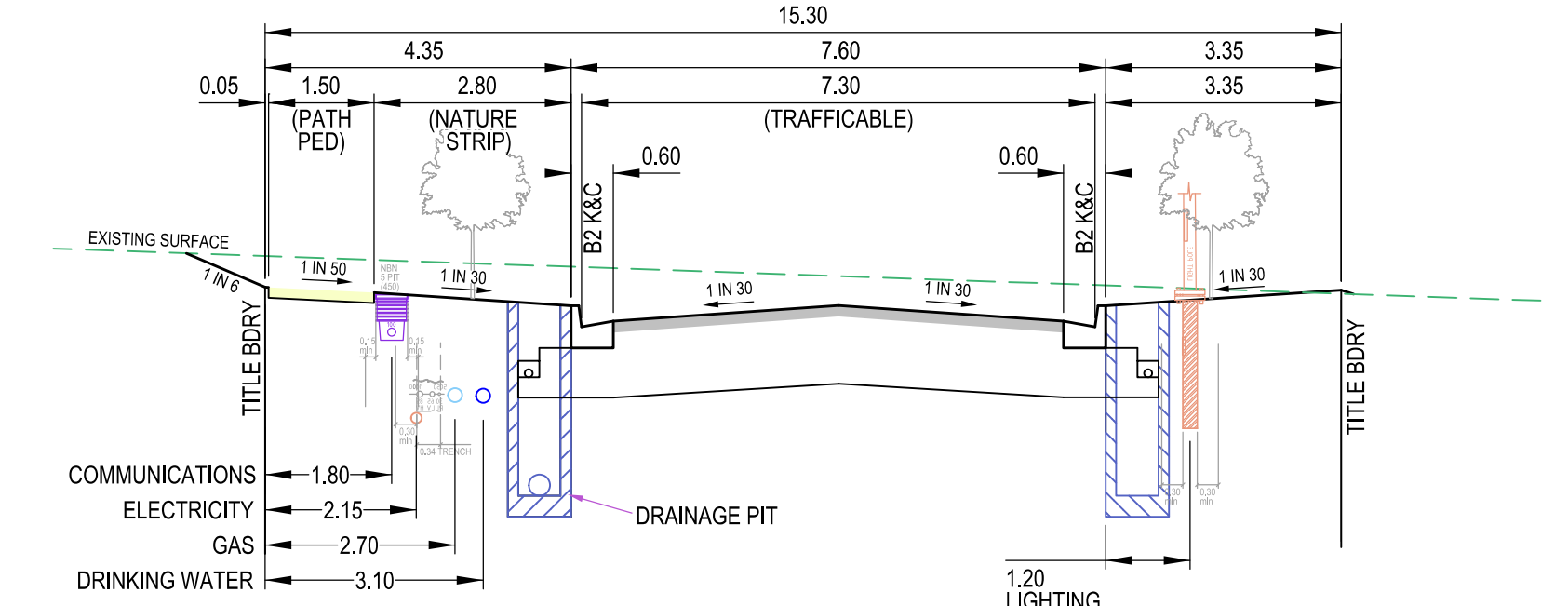
SHT No.	VER	DESCRIPTION
1	P5	DETAIL PLAN, LOCALITY PLAN, SERVICES SCHEDULE & SHEET INDEX
2	P5	PARKING PLAN & PASSIVE IRRIGATION DETAIL
3	P5	TURNING MOVEMENT DETAILS



**LOCALITY PLAN**  
SCALE 1:20000

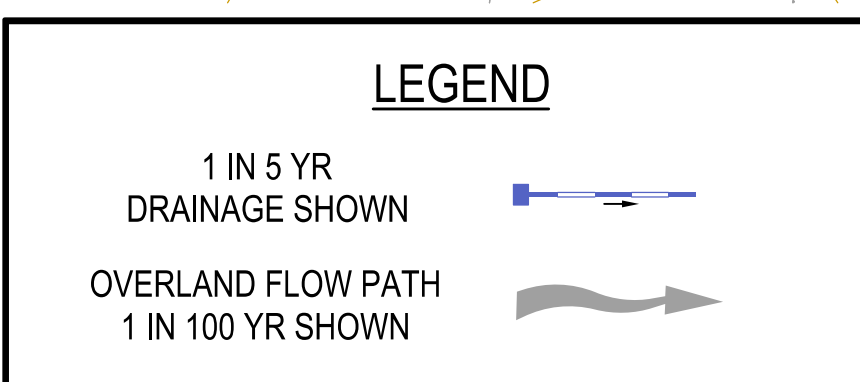
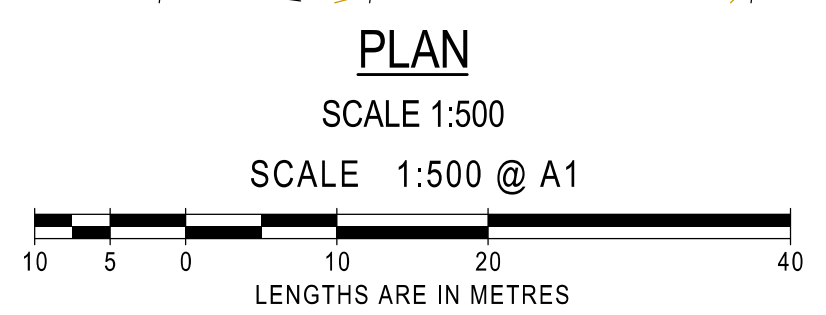


**SLAVKO DRIVE (Lots 2701-2723) & FRANCA AVENUE**  
16.0m ROAD RESERVE  
LOCAL ACCESS STREET



**SLAVKO DRIVE (Lots 2724-2729)**  
15.3m ROAD RESERVE  
LOCAL ACCESS STREET - LEVEL 1

**TYPICAL ROAD CROSS SECTIONS**  
SCALE HORIZONTAL 1:100  
VERTICAL 1:50



### SYMBOL LEGEND

Drains		Ex Natural/FS Level	+28.57	+28.57
Sewer < 3000		FS @ Building Line	+28.57	+28.57
Sewer > 3000		Top/Toe of Batter	+28.57	+28.57
Water (DW)		Top Ret. Wall Level	+28.57	+28.57
Water (NDW)		100yr Flood Level	+28.57	+28.57
House Drain		Fill Proposed (<0.3m@20.3m)	+28.57	+28.57
Property Inlet		Cut Proposed		
Street Sign		Asphalt Surface Prop		
PSM		Concrete Surface Prop (Paths/Driveways/Slabs)		
Rock Ret Wall		Tree To Be Removed		
Sleeper Ret Wall		Tree To Be Retained with Tree Protection Zone (TPZ)		
Conduits 50mm				
Conduits 100mm				
Street Tree without/with Passive Irrigation (Refer Detail)				
Ex Drains				
Ex Water DW/NDW				
Ex Sewer/Gas				
Ex Elect/Comm				

**WARNING**

BEWARE OF UNDERGROUND SERVICES  
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

- ATTENTION TO CONTRACTOR**
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE DIGITAL PLAN, PROVIDED FOR SETOUT PURPOSES, MATCHES THE TBM COORDINATES SHOWN.
  - Contractor to ensure that the site is pegged and or set out checked by the licenced surveyor responsible for certifying the Plan of Subdivision prior to underground infrastructure being installed.
  - Where concrete works about a sewer access chamber surround or similar structure, an expansion joint of approved material shall be provided between the two faces.

**SERVICES OFFSETS AND LOCATIONS**

Location	Gas	Water		Communications		Electricity		BOK	Road Width	Joint Trenching	Street Classification
		NDW	DW	Cables	Pits	Cables	Poles				
SLAVKO DRIVE (Lots 2701-2723)	2.10 N		2.60 N	1.80 S	1.70 N	2.30 S	1.00 BOK	4.20 N 4.20 S	16.00	G&W, FTTH&E	ACCESS PLACE
SLAVKO DRIVE (Lots 2724-2729)	2.70 W		3.10 W	1.80 W	1.80 W	2.15 W	1.20 BOK	4.20 W 3.50 E	15.30	G&W, FTTH&E	ACCESS PLACE
FRANCA AVENUE	2.10 N		2.60 N	1.80 S	1.70 N	2.30 S	1.00 BOK	4.20 N 4.20 S	16.00	G&W, FTTH&E	ACCESS PLACE

NOTE: a) At the court bowl where water and gas mains pass, the watermain offset is to be increased by 0.5 metres.  
b) \* Indicates offsets from back of kerb where services do not run parallel to title boundary.  
c) \* Indicates Telecommunication pits placed within concrete footpath.

**breese pitt dixon pty. ltd.**  
land surveyors  
civil engineers

1/19 cato street  
hawthorn east, 3123  
telephone 8823 2300  
fax no. 8823 2310

**MELWAY REF. 354-C-12**

**ASPIRE ESTATE**  
**STAGE 27**  
**FUNCTIONAL LAYOUT PLAN**

MUNICIPALITY  
**MELTON**

REFERENCE  
**8226 E/27**

AMENDMENTS	DATE	REMARKS	CHECKED	C.H	SCALE	AS SHOWN	DATUM	AHD	DATE	NOV '20	SHEET	1 OF 3	P5
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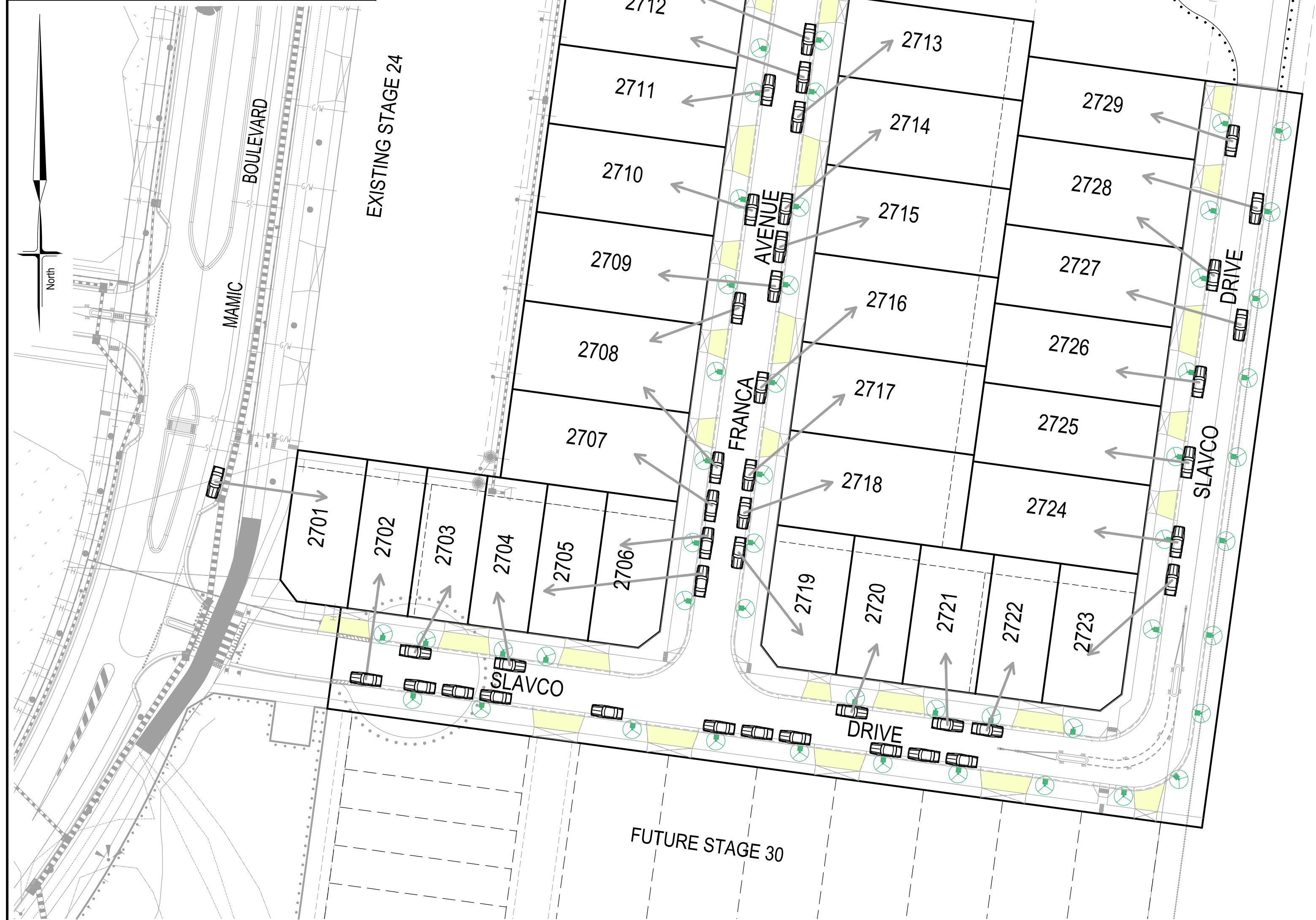


**LEGEND**

CAR SPACE FOR EACH LOT SHOWN

1 IN 5 YR DRAINAGE SHOWN

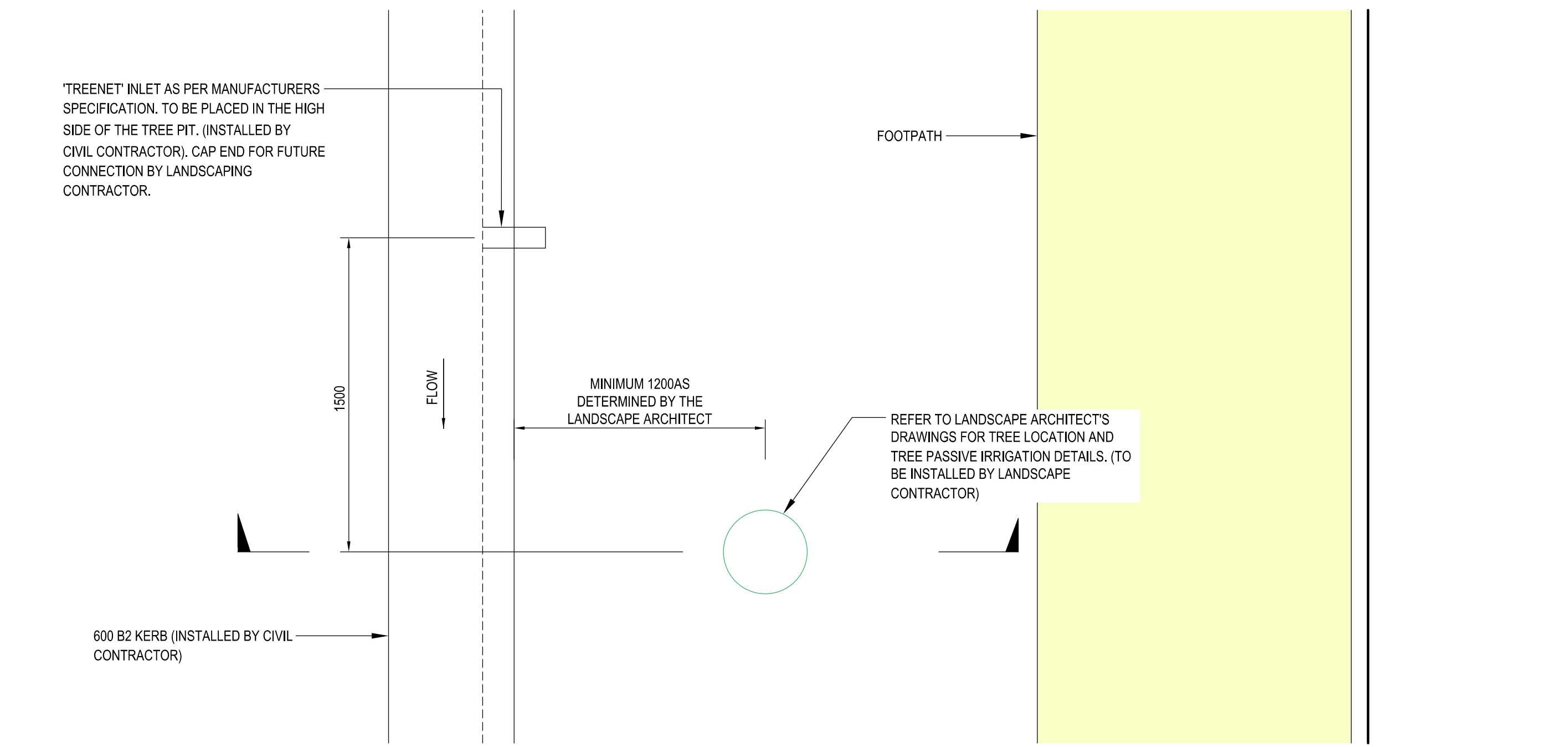
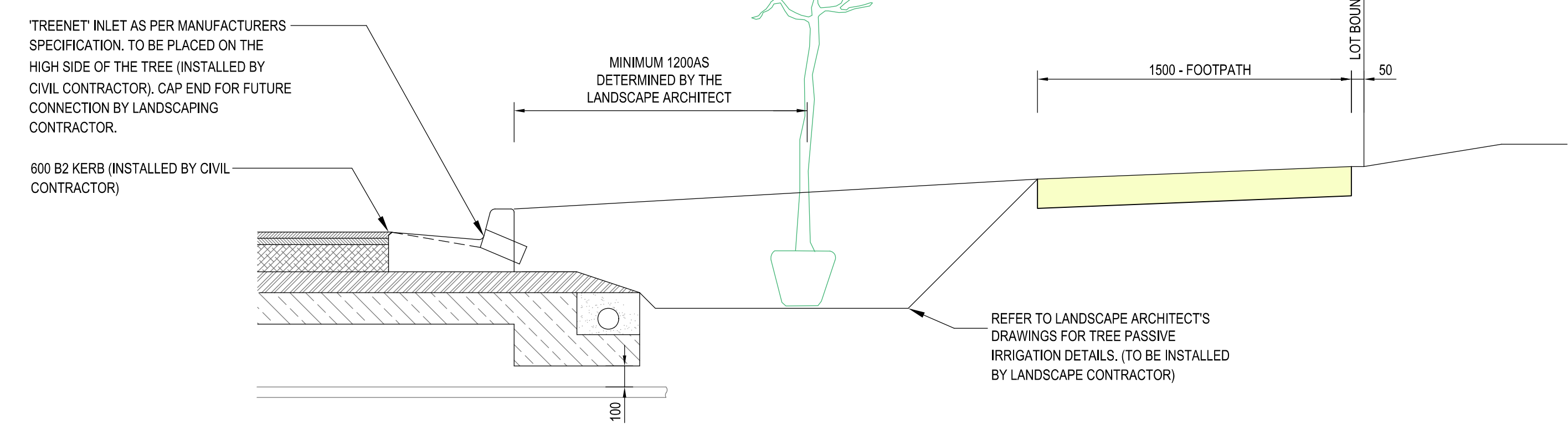
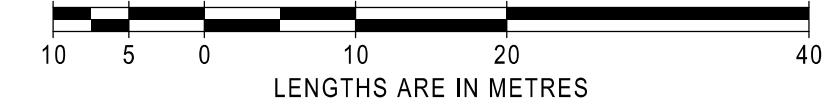
OVERLAND FLOW PATH 1 IN 100 YR SHOWN



**PARKING PLAN**

SCALE 1:500

SCALE 1:500 @ A1



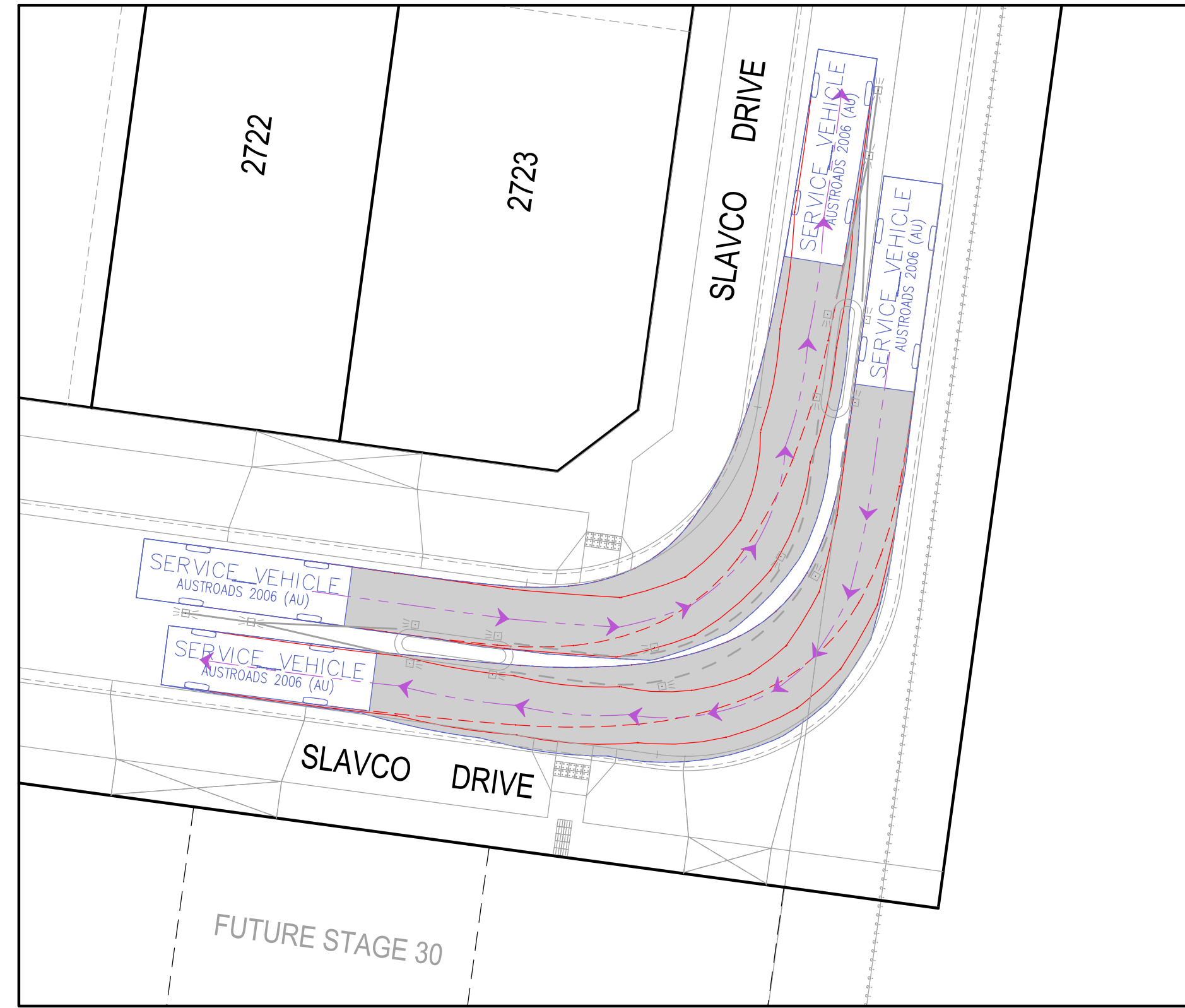
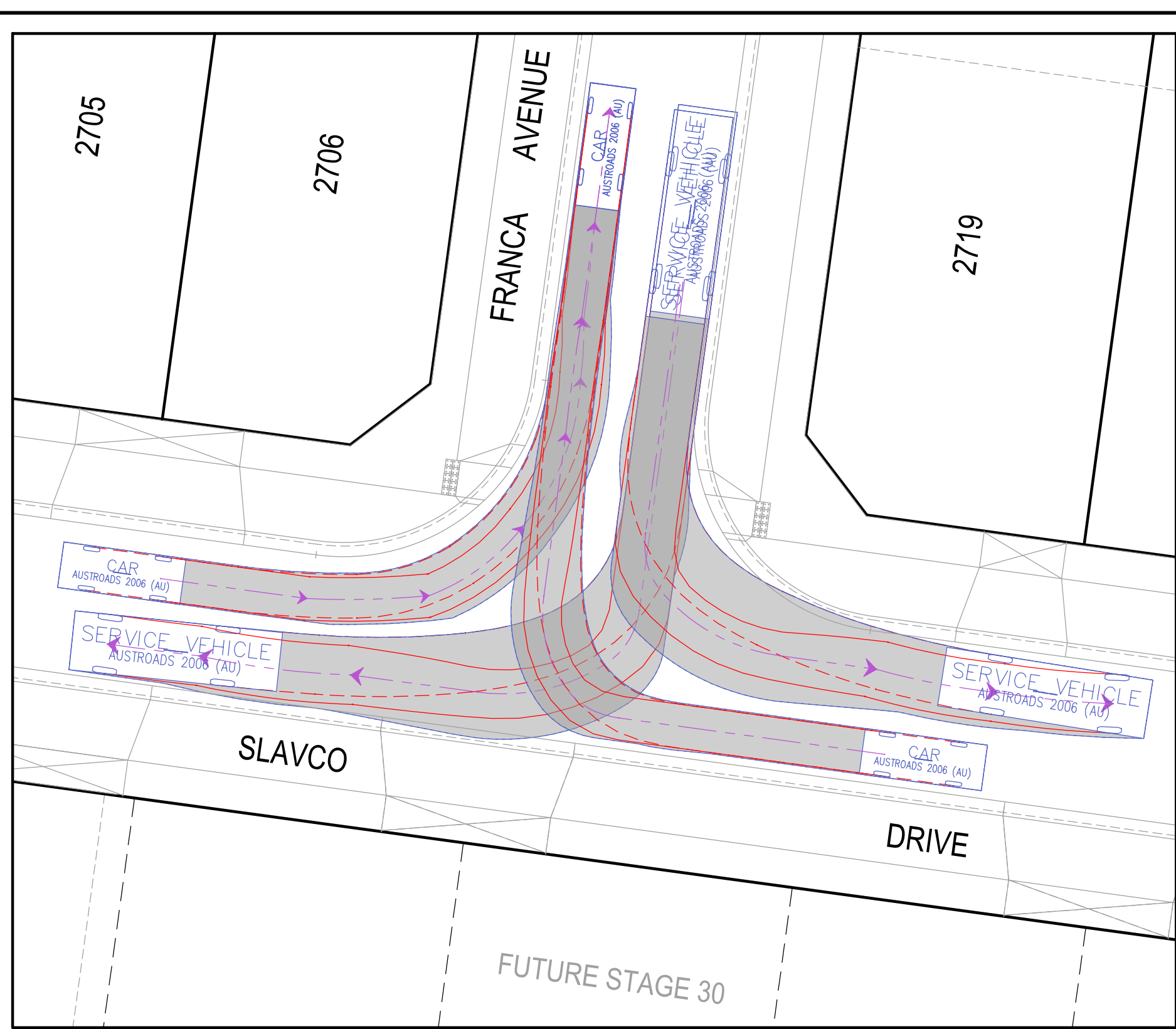
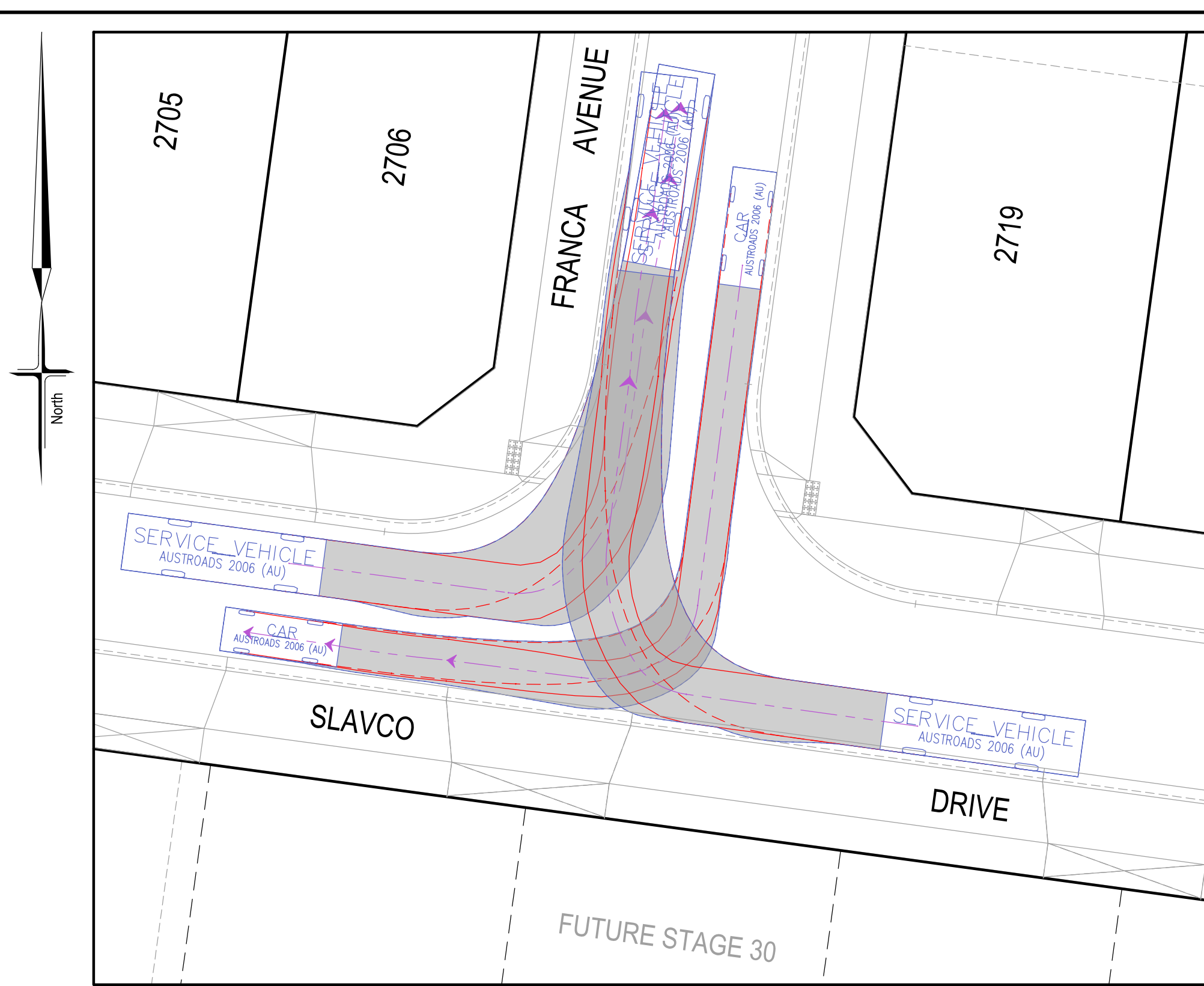
**NOTE:**  
LOCATION OF 'TREENET' INLET TO BE COORDINATED WITH FINAL COUNCIL ENDORSED LANDSCAPE ARCHITECTS DRAWINGS.

**SYMBOL LEGEND**

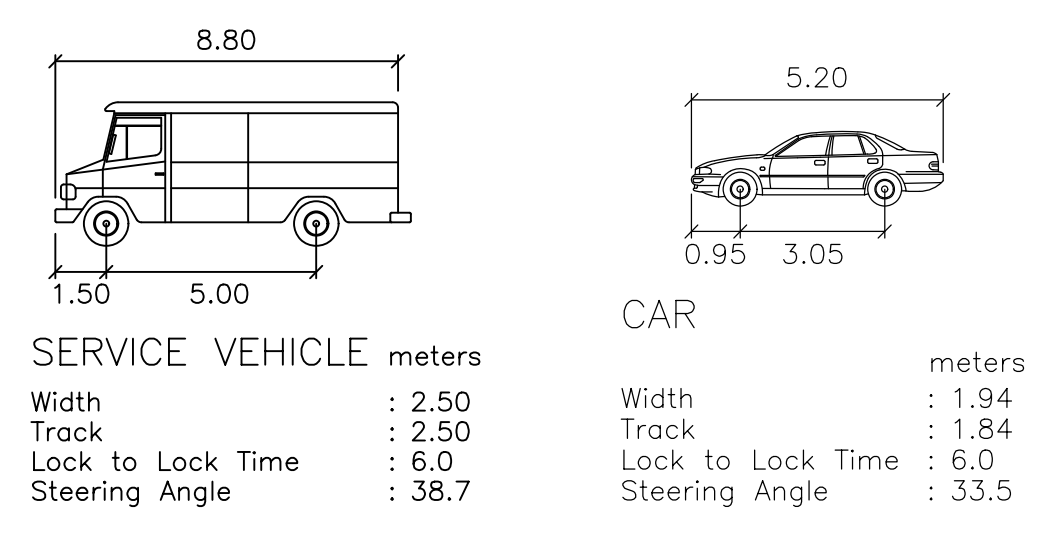
Drains	Prop	Prev Stage	Ex/Natural/FS Level	+28.57	+NS28.57	+FS28.57
Sewer < 3000	S	S	FS @ Building Line	+BL28.57		
Sewer ≥ 3000	S	S	Top/Toe of Batter	+TOP28.57	+TOE28.57	
Water (DW)	W	W	Top Ret. Wall Level	+TW28.57		
Water (NDW)	W	W	100yr Flood Level	+FL28.57		
House Drain	H	H	Fill Proposed (<0.3m/≥0.3m)			
Property Inlet	P	P	Cut Proposed			
Street Sign	S	S	Asphalt Surface Prop			
PSM	PSM	PSM	Concrete Surface Prop (Paths/Driveways/Slabs)			
Rock Ret Wall	R	R	Tree To Be Removed			
Sleeper Ret Wall	S	S	Tree To Be Retained with Tree Protection Zone (TPZ)			
Conduits 50mm	GW	GW				
Conduits 100mm	W100	W100				
Street Tree without/with Passive Irrigation (Refer Detail)	T	T				
Ex Drains	Ex D	Ex D				
Ex Water DW/NDW	Ex W	Ex W				
Ex Sewer/Gas	Ex S	Ex S				
Ex Elect/Telecomm	Ex E	Ex E				


<p>breese pitt dixon pty. ltd. land surveyors civil engineers</p>		<p>1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310</p>								
MELWAY REF.	354-C-12	<p><b>ASPIRE ESTATE STAGE 27 FUNCTIONAL LAYOUT PLAN</b></p>	MUNICIPALITY	MELTON						
SURVEY	BPD		REFERENCE	8226 E/27						
DESIGN	D.P	DRAWN	P.G							
CHECKED	C.H	SCALE	AS SHOWN	DATUM	AHD	DATE	NOV '20	SHEET	2 OF 3	P 5





TURNING MOVEMENT DETAILS  
 SCALE 1:200  
 SCALE 1:200 @ A1  
 4 2 0 4 8 16  
 LENGTHS ARE IN METRES



AMENDMENTS		 <b>breese pitt dixon pty. ltd.</b> land surveyors civil engineers		1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310	
MELWAY REF.	354-C-12	<b>ASPIRE ESTATE          STAGE 27          FUNCTIONAL LAYOUT PLAN</b>		MUNICIPALITY MELTON	
SURVEY	BPD			REFERENCE 8226 E/27	
DESIGN	D.P	DRAWN P.G		SHEET 3 OF 3	
DATE		CHECKED C.H	SCALE AS SHOWN	DATUM AHD	DATE NOV '20
VER		REMARKS			P 5