

KIMBERLEY

S U N B U R Y

Design Guidelines

villawood
properties



Contents

1	VISION & PROCESS	1.1	Operation of the Design Guidelines	2
		1.2	Approval Process	4
		1.3	Submission Checklist	5
		1.4	Construction of your Home	5
		1.5	Occupancy Permit	5
2	ARCHITECTURAL DESIGN			6
3	SITING & ORIENTATION	3.1	Dual Frontage Homes	10
		3.2	Allotments Siding Delphi Boulevard	10
		3.3	Allotments with Front Facing Aspect to Delphi Boulevard	10
		3.4	Acoustic Rail Treatment Allotment	10
4	DWELLING ARTICULATION			12
5	BUILDING HEIGHTS, ROOFING & EAVES			14
6	DRIVEWAYS & GARAGES			16
7	FENCING	7.1	Allotments with Developer Constructed Fencing	18
8	LETTERBOXES & ANCILLARY			20
9	LANDSCAPING	9.1	Allotments with Developer Installed Front Yard Landscaping	23

10	SUSTAINABILITY	10.1	7-Star Homes	25
		10.2	Energy Efficiency	26
		10.3	Water Tanks & Rainwater Harvesting	26
		10.4	Photovoltaic Panels	27
		10.5	Electric Car Charger Provision	27
		10.6	Hot Water System	27
		10.7	Plumbing	27
		10.8	Gas	27
		10.9	Glazing	27
11	COHESIVE NEIGHBOURHOODS	11.1	Vehicles	29
		11.2	Gardens & Nature Strips	29
		11.3	Waste	29
		11.4	Laundry	29
		11.5	Window Furnishings	29
		11.6	Construction	29
		11.7	Signage	29
12	CONNECTING UP			30
13	NEIGHBOURHOODS GUIDELINES	13.1	Neighbourhood 1—Terra	33
		13.2	Neighbourhood 2—Cressida	33
		13.3	Neighbourhood 3—Beaumonde	33
		13.4	Neighbourhood 4—Sonoma	34
		13.5	Neighbourhood 5—Candela	34
		13.6	Neighbourhood 6—The Eaves	34
14	BUILDING ENVELOPES & REGULATIONS			36
15	APPENDIX	A.1	Submission Checklist	39
		A.2	Fencing Plan (Developer Installation)	40
		A.3	Fencing Plan Detail	41
		A.4	Residential Landscaping Palette	46
		A.5	Front Garden Landscaping Plan (Developer Installation)	54
		A.6	Front Garden Landscaping Concepts	55
		A.7	Neighbourhood Plan	69

1. Vision & Process



Kimberley offers residents a 'village' lifestyle set amongst a beautiful landscape, brimming with idyllic amenity including schools, parklands, wetlands, conservation reserves and panoramic views overlooking Jacksons Creek, old Sunbury township and Mount Macedon. Walking trails and bike paths along the edge of the escarpment, entwine the community with Jacksons Creek and the Emu Bottom Wetlands below.

Kimberley, the newest in a long list of high-quality developments by Villawood, will set a new benchmark for residential living.

The principal aim of these Design Guidelines ("Guidelines") is to create a coherent vision for the Kimberley community. Developed to enhance the lifestyle and investment of purchasers, the Guidelines are designed to ensure all homes are built to a high standard whilst encouraging a variety of housing styles which are in harmony with the streetscape.

Each individual house design should contribute to the surrounding environment and to the community in a positive way. The Guidelines encourage homeowners to construct innovative and appropriate designs that address the landscape and sustainability and present a cohesive residential image for the community.

We hope you will see the value in the Guidelines and we look forward to working with you through the process of making Kimberley your home.

1.1 Operation of the Design Guidelines

The Design Assessment Panel (DAP) will be formed to oversee the implementation of the Guidelines. The DAP shall comprise an Architect and a representative of the developer. The makeup of the panel may be varied, however the panel will always include at least one Architect.

All proposed building works including houses, garages, outbuildings, and fencing shall be approved by the DAP prior to seeking a Planning Permit (if required) and a Building Permit.

The Guidelines will help form the overall vision and enhance the quality of the community. Clear and identifiably different neighbourhoods shall provide future residents with a vibrant and strong urban form that is highly linked with pathways and open space.

Preliminary designs and enquiries are welcome to ensure understanding and compliance with the Guidelines. It is recommended that you provide a copy to your builder at the earliest possible time.

These Guidelines and the building envelopes are noted within the Memorandum of Common Provisions (MCP), Plan of Subdivision (POS) and within the Planning Permit.

The MCP and POS will have listed provisions and restriction details that affect the way you build and use your property and are required to be read in conjunction with the Guidelines.



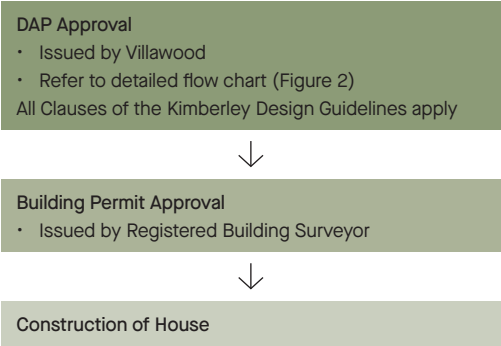
1.2 Approval Process

The process for approval of your house design depends on the size of your lot, and the details for your proposed house design.

All lots

The following approvals process applies:

Figure 1



DAP process

The following approvals process applies:

Figure 2



1.3 Submission Checklist

After reviewing and understanding the Guidelines, including discussing with your Architect, Builder and or Designer, you will need to submit all required information (as set out in the Submission Checklist—Appendix 1).

1.5 Occupancy Permit

Following the issue of the Occupancy Permit, all kerb/ sidewalk rectification works must be completed within 90 days. Your driveway and crossover must be completed before you move into your new home.

All enquiries to:

Kimberley Design Assessment Panel
c/- dap@kosaarchitects.com.au or
telephone contact on 03 9853 3513

1.4 Construction of your Home

Once received, your Building Permit allows you to commence construction. In accordance with the Contract of Sale, incomplete building works must not be left for more than three (3) months without work being carried out and all building works must be completed within twelve (12) months of commencement. Landscaping must be completed within three (3) months of the Occupancy Permit. These timeframes will be administered and followed up by the DAP, Owners Corporation and Villawood Properties.

There is to be no further subdivision of lots under 1200sqm for the purposes of accommodating a single dwelling.



2. Architectural Design

A minimalist line drawing of a person's profile, facing right, rendered in a light gray color. The line is thin and elegant, capturing the basic outline of the head, neck, and shoulders. The background is a solid, muted olive green.

At Kimberley, high standards of house design will be required, and Contemporary Australian architecture will best define the community style. Designs should be responsive to the individual attributes of the lot, having regard to any slope or existing vegetation. Designs that promote distinct visual elements and use of materials and finishes within the front of the dwelling will be actively supported.

The guidelines will restrict reproductive styles such as Victorian, Edwardian, or Federation or other forms of architectural style, and owners are encouraged to explore more contemporary styles.

All homes built at Kimberley will undergo a review by the Design Assessment Panel (DAP) based on adherence to the Guidelines set out in this document and how the home relates to the overall vision for Kimberley. The DAP will exercise its discretion and will assess each case on its architectural standing.



Boutique Homes



Boutique Homes

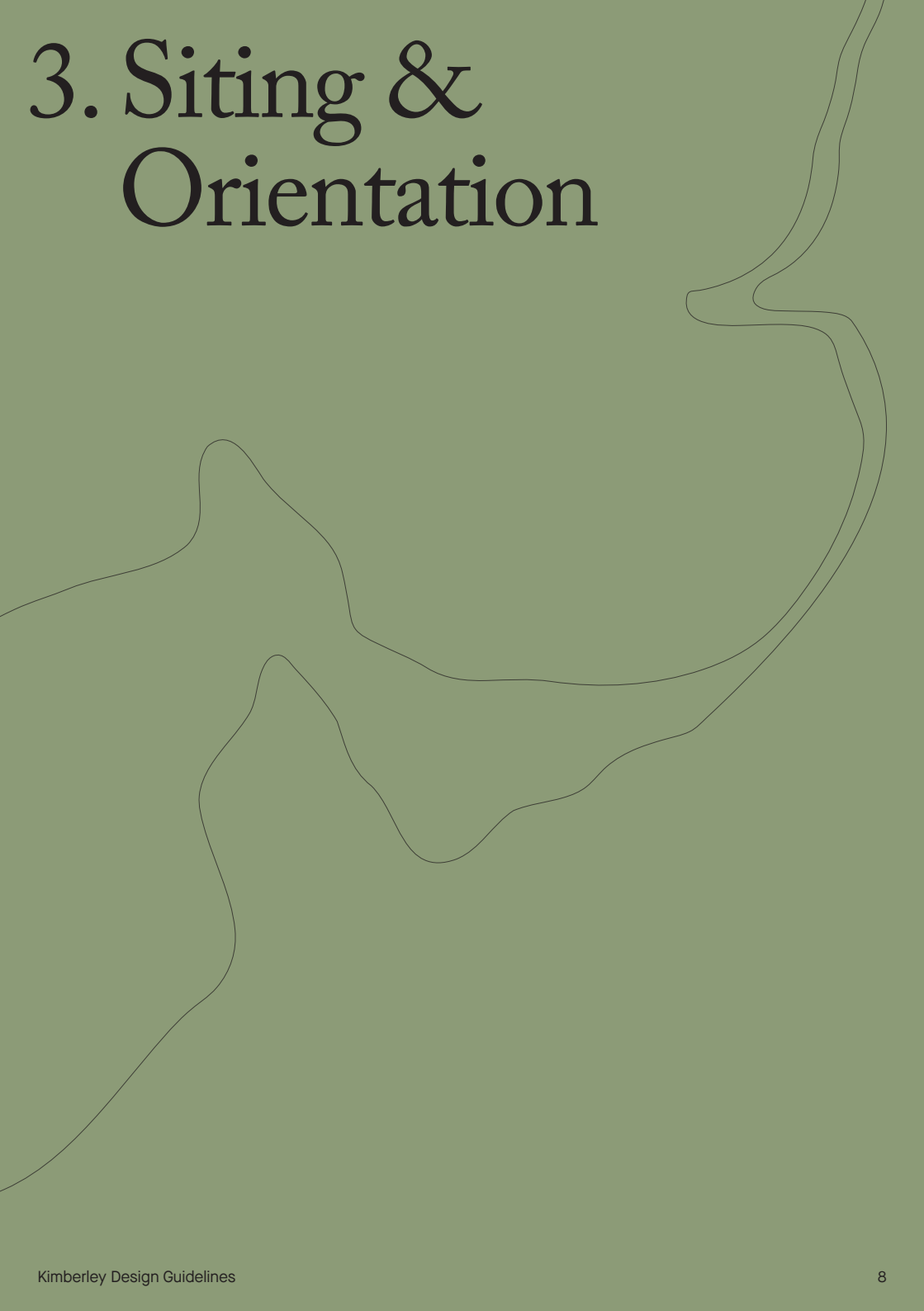


Nostra Homes



Glennville Homes

3. Siting & Orientation



Building Envelopes have been created for all lots over 300 square metres (where Small Lot Housing Code does not apply). Please refer to the relevant Memorandum of Common Provisions (MCP) for individual lot Building Envelopes and Profile Diagrams.

The dwelling and garage are to be contained within the building envelope specified for that allotment. Buildings sitting outside of the envelope are subject to approval from Council and the DAP.

Homes have minimum setbacks from the front boundary unless the Small Lot Housing Code applies. Refer to the MCP for further details.

Homes must be set back from one side boundary, or as the MCP allows. It is recommended that the side setback is on the side of the lot not containing the garage.

Ensure the home presents visually from the street, with the home having a clearly identifiable street facing entrance which includes a portico, porch or verandah. Entry features may encroach into the front setback, as outlined in the MCP.

Homes must be designed to address all street frontages, including corner allotments.

Corner allotments may provide for garage/vehicle access from either primary or secondary street frontage (in accordance with civil engineering plans). Relocation requires DAP approval and related costs must be paid by the lot owner prior to civil construction.

House designs must present an aesthetically pleasing façade and provide surveillance windows to public open space areas.

Maximise the benefits of ventilation and passive solar access, and where possible orientate habitable rooms to the north.

Houses with identical façades may not be constructed in proximity and must be separated by a minimum of three houses in any direction. The appearance of dwellings should provide a degree of richness and variety ensuring the creation of pleasant and interesting streetscapes.

In the event identical façades should be received for allotments in proximity, priority will be given to the first complete application received.

The articulation of the front of the upper level of two-storey houses is encouraged to avoid dominating the streetscape. It is recommended that initial concepts for two-storey houses be discussed with the DAP.

Respect the privacy and amenity of neighbours. This includes excavations adjacent or on the side boundary.

Utilities areas (bin refuse, clothes lines etc.) of the dwelling must be in a position where they are screened from view of areas of public open space and the street.

Large bulky buildings without articulation will not be accepted or approved.

3.1 Dual Frontage Homes

Homes with designated dual frontages must ensure façades respond to both (all) sides, with one or two sides street facing and/or one side facing public areas. The garage and driveway access shall be from the secondary street frontage or as designated on the plan of subdivision and engineering plan.

Dual frontage homes must incorporate design elements such as verandahs, pergolas, balconies and window shading to the frontage facing parkland, wetland, Boulevard or a reserve area.

Waste and clothes drying must be located away from public view or screened if space is at a minimum.

There is a dual storey building requirement for double frontage homes.

Rear fencing on the main boulevard on designated lots will be semi permeable and provided for by the Developer.

Landscaping will be required to both sides of the lot, including to the street/s and public spaces. Landscaping can be installed to the title boundary for privacy to the private open space.

Refer to the MCP for further details.

Refer to Appendix 6 for Front Yard Landscaping and Appendix 3 for Fencing.

Dual Frontage Lots:
Stage 1–114, 115, 116, 117, 118, 119 & 120

Landscaping to the main frontage on designated lots will be provided for by the Developer.

Refer to the MCP for further details.

Refer to Appendix 6 for Front Yard Landscaping and Appendix 3 for Fencing.

Lots Siding Delphi Boulevard:
Stage 1–121 & 134 Stage 2–201 & 212

3.2 Allotments Siding Delphi Boulevard

There is a double storey building requirement for homes siding Delphi Boulevard.

Specified homes siding the main boulevard require articulation to the primary street frontage of your home and the secondary frontage on the main Boulevard.

Articulation to the side of the home adjoining the main boulevard can be created by verandahs, porches, balconies, blade walls or pergolas.

Side fencing on the main boulevard on designated lots will be semi permeable and provided for by the Developer.

3.4 Acoustic Rail Treatment Allotment

Specified dwellings within 100m of the train line will be required to be constructed in accordance with the requirements and recommendations set out in the Development Rail Noise Assessment prepared by Marshall Day Acoustics dated 26 June 2020 ("the Acoustic Report") and applied as a restriction on the title of all applicable allotments.

The requirements and recommendations of the Development Rail Noise Assessment may vary and the Design Assessment Panel is not responsible for ensuring dwellings meet the acoustic requirements. Being a restriction on the title of all applicable allotments, it is the responsibility of relevant landowners to ensure dwellings are constructed in accordance with the Acoustic Report.

The report can be found at villawoodproperties.com.au/community/kimberley/

For information purposes only a summary of the recommendations and requirements set out in the report is provided in **Appendix A.8**.

3.3 Allotments with Front Facing Aspect to Delphi Boulevard

Double storey building requirement for homes with a front facing aspect to Delphi Boulevard.

Specified dwellings with a front facing aspect to the main boulevard will have landscaping to the main frontage completed, which will be provided for by the Developer.

Refer to MCP for further details.

Refer to Appendix 1 for Front Yard Landscaping and Appendix 2 for Fencing.

Lots Fronting Delphi Boulevard:
Stage 2–217, 218, 219 & 220

4. Dwelling Articulation

A large, minimalist line drawing of a hand, palm facing up, rendered in a light olive green color. The hand is positioned in the lower half of the page, with the fingers slightly curled. The background is a solid, slightly darker olive green.

The materials and colours of the walls and roofs of houses will have a major impact on the visual quality of Kimberley. The use of a combination of finishes is encouraged to achieve a degree of individuality and interest.

Home façades must incorporate the use of a minimum of three different materials and textures. The main feature finish may constitute up to 70% of the overall front façade.

Colours which reflect the natural tones of the environment at Kimberley are recommended. Thoughtful finishes such as timber and natural stone are encouraged to integrate into the surrounding landscape and create a visual harmony between houses.

Colour continuation of the materials used on the front façade must return to the side of the home to a length of at least 4 metres, except for garages built on the boundary.

Bright colours and the use of reflective materials will not be supported, unless integral to the design and will be at the discretion of the DAP.

Articulation to the front façade is mandatory, an entry recess is not considered a step in the façade.

Verandahs, porches and porticos are encouraged.

5. Building Heights, Roofing & Eaves

A maximum wall height of 7.2 metres is permitted above natural ground level. Natural ground/surface level is defined as the ground level after engineering works associated with the subdivision have been completed.

All houses must have a minimum ceiling height of 2700mm on the ground floor. This is optional for the second storey.

Sloping sites which may allow additional built area under the ground floor level will be considered and may be approved depending upon overall design and setback requirements.

The roof is to be constructed of steel or masonry or as approved by the DAP.

Roof colours are recommended to be light to medium coloured, which reflect the natural tones of the environment at Kimberley. The use of Colorbond is encouraged.

Articulated roof shapes are preferred with hips and gable roof forms, coastal skillion roof styles and higher degrees of pitch encouraged, although each design will be considered on its merits by the DAP. Flat roofs behind parapets are accepted.

Eaves are encouraged and not required to wrap around garage walls on the boundary or to parapet walls.

6. Driveways & Garages



Driveways are a major visual element at Kimberley and should be constructed using materials that blend with or complement the dwelling textures and colours. Only one driveway will be permitted for each lot, unless there are special circumstances that have been confirmed with the DAP.

Driveways must not be wider than 5 metres at the street boundary of a lot and planting between the driveway and property boundary is encouraged.

Driveways must be constructed in concrete with an exposed aggregate. Plain or coloured concrete is not permitted, and light colours are highly recommended.

The garage has significant impact on the streetscape. The design and location of garages should endeavour to make them an integral and unobtrusive part of the house.

All homes must allow for an enclosed double garage for car accommodation for lots greater than 12.5 metres wide.

Garages must be constructed within the Building Envelope, and all garages must be set back a minimum of 5.5 metres from the front boundary. The garage setback also applies for entry to the garage from the side street

boundary unless otherwise noted.

It is preferable for garages to be constructed under the main roof of the house. If garages are free standing and/or visible from the street, they should match the roof form and be constructed of the same materials as the house.

Corner allotments may provide for garage / vehicle access from either primary or secondary street frontage (in accordance with civil engineering plans). Relocation requires DAP approval and related costs must be paid by the lot owner prior to construction.

Deep excavations on the boundary will not be permitted.

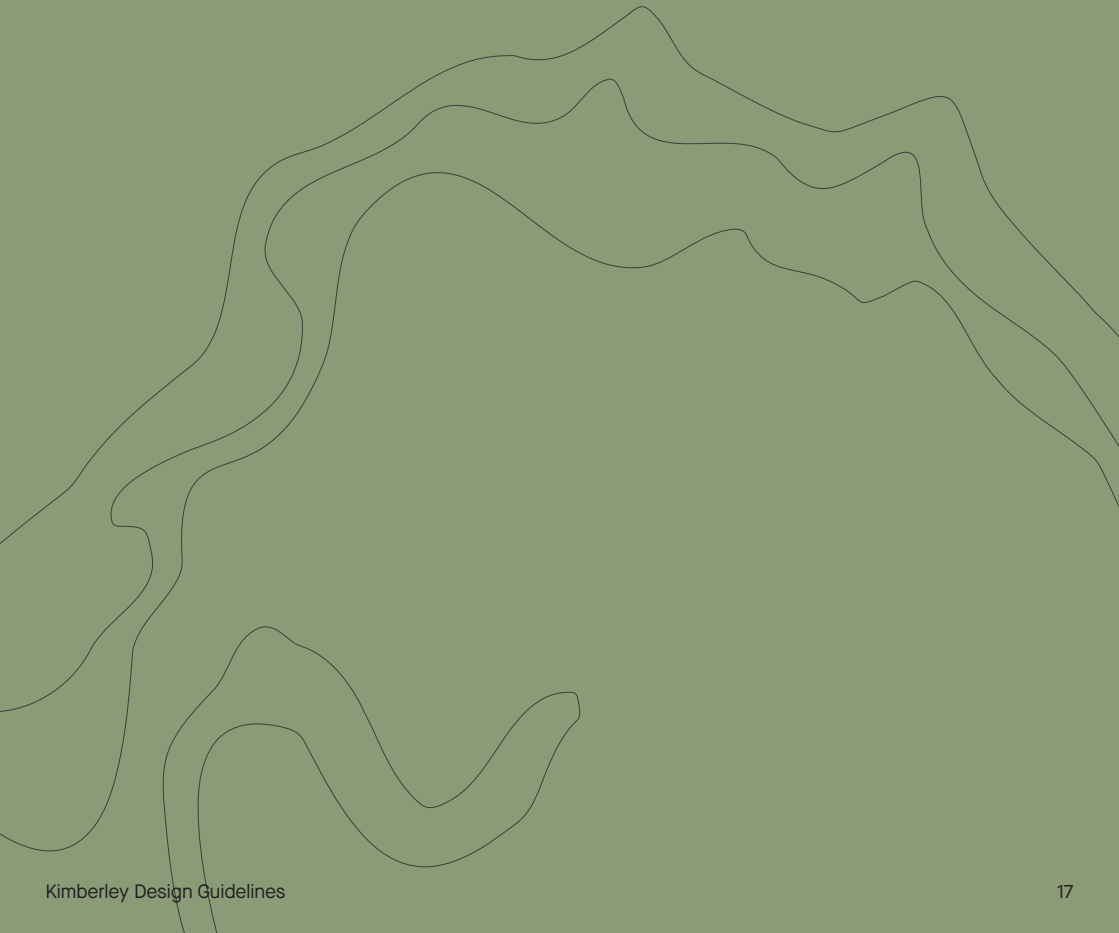
Secondary garages are discouraged. The design for an additional garage would need to be discussed with the DAP and it must be disguised and out of view from the main street frontage.

When designing garages, consideration must be given to the screening of boats, caravans and trailers for 'drive-through' access to the rear yard.

Driveway Material Reference:

boral.com.au/products/concrete/decorative-concrete/exposed-concrete

7. Fencing



To enhance the park-like character of the community, no front fencing will be permitted unless designated under special precinct elements. Refer to Appendix 2.

To ensure a degree of uniformity throughout the community standard fence types and colours have been designated as per the Neighbourhood Guide. The six neighbourhoods may have different fencing requirements, materials, and colours.

Construction of fencing, including side boundary fencing, rear boundary fencing and return/wing fencing is by the purchaser and not by the developer (unless otherwise stated) and must be constructed in line with the Guidelines.

On side boundaries, fencing must commence no closer than 1 metre behind the building line.

All side and rear fences are to be constructed of timber palings with exposed posts and capped across the top to a maximum height of 1.8 metres (excluding a screen required for overlooking purposes), unless otherwise specified in these Guidelines.

All fencing must be approved in writing by the DAP and constructed in accordance with the approval. For the purposes of these Guidelines, the prescribed fence height of 1.8 metres to the side street, side and rear boundaries will be exempt from the provisions of the Building Regulations.

Fences permitted by the Guidelines are not deemed to overshadow the recreational private open space on the adjoining allotment.

Front fences (low height as identified in Appendix 2) are permitted to designated sub precincts—these shall be identified in the Fencing Plan. Construction of the fence will be organised by Villawood Properties on behalf of the homeowner upon completion of the home and once occupancy is issued.

All homes backing or siding on to open space or main boulevards as identified in Appendix 2 (Fencing Plan) are required to have a rear fence or side fence, as per the detail provided. Construction of the front fence will be organised by Villawood Properties on behalf of the homeowner upon completion of the home and once occupancy is issued.

Retaining walls that front and are visible from a public street or park are to be heavily landscaped to soften the appearance and are to be constructed from stone, masonry, or bush rock.

Excluding walls constructed by the developer during subdivision works, for the purpose of these Guidelines retaining walls greater than 1.25 metres are considered excessive. Stepped and multiple retaining walls may be required rather than one large retaining wall.

Retaining wall/s must be adequately designed and documented and lodged with the DAP for approval.

7.1 Allotments with Developer Constructed Fencing

Lots with allocated Developer Installed Fencing as per the Fencing Plan are eligible for installation. Owners of eligible lots will be required to read through the below information and follow the steps for installation.

Eligible lots adjacent to the boulevard and as shown in Appendix 2.

Refer to Appendix 3 for Fencing Plan Detail.
Refer to FAQ Fencing on the Kimberley website.

Figure 1—Depiction of typical boundary fencing

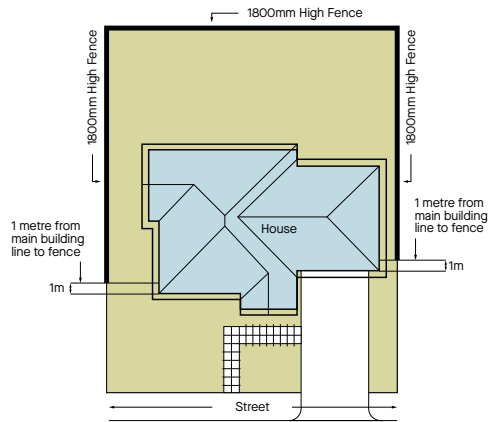
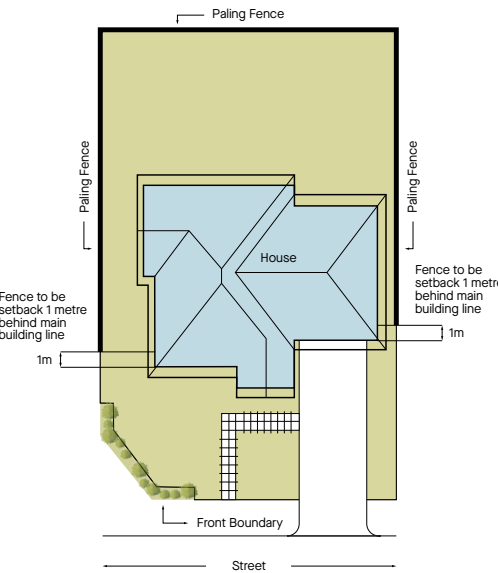


Figure 2—Depiction of corner lot fencing



8. Letterboxes & Ancillary

Letterboxes should be designed to match the house using similar materials and colours and must be erected prior to occupancy permit.

Single post supporting letterboxes will not be approved.

The size and position of the letterbox must comply with Australia Post requirements. The street number must be clearly identifiable, suitably sized and located and must not interfere with the overall streetscape.

External fixtures must achieve the following objectives and the location must be noted on plans to be submitted to the DAP. Clotheslines, garden sheds, external hot water services and ducted heating units must not be visible from the street or public realm.

Any outbuilding greater than 10sqm must be constructed so that the external appearance matches the main dwelling in colours, materials, and style.

Rubbish bins, recycling bins and any other garbage disposal containers are to be stored away from public view.

External lighting including spotlights, flood lights and any lights illuminating any outdoor area are to be approved by the DAP and the use of LED or solar lighting is encouraged.

Plumbing to a dwelling shall not be visible from a street or adjoining dwelling. All plumbing on double-storey houses, except downpipes, must be internal so as not to be visible from the street or neighbouring properties.

Swimming pools and timber decks less than 800mm high above natural ground level do not require DAP approval.

9. Landscaping

The garden design will require careful thought to ensure that the appropriate plants are selected for the particular lot conditions.

The objective is to achieve a cohesive blend of indigenous, native and exotic vegetation and other landscape elements, integrating street and parkland landscaping with private gardens so that the streetscape presents as a landscaped garden.

Landscape design and plant selection of indigenous and native species should minimise the need for garden watering. Choosing drought-tolerant plants is the most successful way to ensure your garden survives when water is scarce and there are plenty of beautiful varieties to choose from.

The front garden must include at least one canopy tree (unless otherwise agreed upon by the Responsible Authority) that is a minimum height of 1m at installation and minimum 4m in diameter at maturity.

The front garden should include a variety of plants, lawn, and garden beds that incorporate ground covers, such as small to medium shrubs.

Canopy trees and vegetation can make a big difference in helping to reduce the heat island effect. Increasing green cover in new communities helps reduce the heat island effect by shading built surfaces that absorb heat, and by releasing water vapour through vegetation (known as evapotranspiration).

Hard surface materials used for driveways or paths should not exceed 60% of the front garden area.

All landscaped areas to the front of the house must be established within three (3) months of the issuing of the Occupancy Permit to ensure good presentation is achieved for the local community.

Artificial turf is not permitted to be used in front lot landscaping and must not be seen from the street. This includes all nature strips.

The number of plants per garden varies with the size of the lots. As a guide, lots less than 12.5 metres wide should have a minimum of 25 plants and one feature tree, lots 12.5–16 metres should have a minimum of 40 plants and one (preferably two) feature trees and lots greater than 16 metres should have a minimum of 50 plants and two (preferably 3) feature trees.

Appendix 3—Residential Landscaping Palette provides guidance on appropriate residential planting selection for cohesive indigenous and native focused gardens at Kimberley.

9.1 Allotments With Developer Installed Front Yard Landscaping

Lots with allocated Developer Installed Front Yard Landscaping will have landscaping installed as per the Front Yard Landscaping Plan. Owners of eligible lots will be required to read through the below information and follow the steps for installation.

Refer to Appendix 5 for Front Yard Landscaping Plan for eligible lots.

Refer to Appendix 6 for Front Yard Landscaping Concepts.

Refer to FAQ Front Yard Landscaping on the Kimberley website.

10. Sustainability



10.1 7-Star Homes

All homes built within Kimberley will be required to be 7-star energy rated homes.

Due to changes to the National Construction Code, new homes built after 1 October 2023 will need to achieve a minimum 7-Star rating when using the Nationwide House Energy Rating Scheme (NatHERS). For information about the new requirements see NCC 2022 (available at ncc.abcb.gov.au) and contact your local State building regulator.

By building a 7-star energy home, you will be building a high-quality, attractive and sustainable home that gives you maximum comfort and reduced running costs year after year. These homes set a new standard for sustainable living at Kimberley, creating a legacy and positive change for the future.



10.2 Energy Efficiency

An energy smart home takes advantage of the sun's free warmth and light, and with the inclusion of energy efficient appliances and systems, will save a great deal of energy.

Well-designed homes reduce the demand on heating and cooling. Any style of house can be energy efficient. Energy smart homes have a combination of features which work together to ensure you achieve the highest degree of comfort with minimum energy use.

Houses are recommended to orientate their open spaces and habitable room windows to the north where possible.

The design of the home should consider the position of windows and doors to enhance natural ventilation and improve the efficiency of the home.

There are many other ways to increase the energy efficiency in the home, through the use of;

- Increased levels of insulation
- Better quality window products, such as double glazing
- Energy smart house plans which allow for the best use of the sun—keeping it out in summer with eaves, and letting it flood into living areas in winter
- Keeping south and west-facing windows reasonably small
- Having homes proportioned to reduce both total wall area and build complexity
- Reducing the number of items penetrating the ceiling such as lights, ducts and skylights
- Cross-flow ventilation to let homes cool down after a hot day
- Draft sealing (for example, weather seals on external doors)
- Sealed exhaust fans

Beyond the basic star rating of the home, other factors can make a big improvement to overall comfort and energy costs including:

- Induction cooktop
- Keep the total size of the home no larger than necessary
- Efficient heating and cooling systems—split systems are a good choice and cost effective compared to other systems
- Cellular blinds on all windows
- Clever use of exterior shade, such as deciduous vines on pergolas
- Avoid alfresco areas off living areas, as they often block too much natural light
- Clever roof design that makes it easy to install solar panels and direct rainwater into tank catchment downpipes

Advantages of building an energy efficient home:

- Year on year savings across water and electricity
- All season's comfort—warmer in winter, cooler in summer
- Improved air quality and health
- A quieter home
- The satisfaction of knowing you're contributing towards a more sustainable environment

10.3 Water Tanks & Rainwater Harvesting

All homes with a lot area equal to or greater than 350m² must include a rainwater tank with a minimum capacity of 3,000 litres.

The rainwater tank is to be used in the garden, connected to toilets and to the washing machine via a Rainwater Harvesting System. The best water savings are achieved by using rainwater indoors, in addition to garden watering. Rainwater harvesting also decreases stormwater runoff, thereby helping to reduce local flooding and scouring of creeks.

A 'charged line' system is a great option to ensure all rainwater is captured and diverted from the roof to the downpipes to the rainwater tank. The term 'charge' comes from the water being pushed up the pipe by the pressure of the water in the pipe. The overflow is to be connected from the tank to the street.

To assist the optional 'charged line' system, a rainwater to potable water switch would be recommended to be installed, should there be insufficient rain fall. This switch helps you make the most effective use of your tank water. It allows you to use your tank water supply first and then switch to mains water supply if your tank is low or empty.

The rainwater tank must be shown on the plans for approval by the Design Assessment Panel but may be installed following the Occupancy Permit being issued.

A rainwater tank for a dwelling must be installed no later than eight (8) weeks following the issue of Occupancy Permit for the home.

10.4 Photovoltaic Panels

All homes **must** have a minimum of 3kWh of solar panels, however 5kWh is highly recommended.

It is recommended that the home be ready for a battery and that a battery be installed. The location of solar panels (and a battery if installed) must be shown on the plans submitted to the DAP.

Solar Panels must be shown on the plans for approval by the Design Assessment Panel but may be installed on the roof of the home following the Certificate of Occupancy being issued.

Solar Panels for a dwelling must be installed no later than eight (8) weeks following the issue of Certificate of Occupancy for the home.

10.5 Electric Car Charger Provision

Homes **must** be equipped with the 'provision' for electric vehicle (EV) charging. Installing the provision for the EV charger when you build, will ensure you are ready should you wish to purchase an electric vehicle and install the charging unit later.

The provision for the charger will require a dedicated circuit from the switchboard to the location of the charger and the installation of dedicated cabling required to be coiled within the wall cavity at the intended location.

The logical location is in garage, and it is important to discuss this with your builder upfront to ensure the requirements for the EV charger provision is captured in your plans.

10.6 Hot Water System

Installing a heat-pump hot water system is recommended in your home design. Heat pump systems are a great example of how to reduce your energy consumption, whilst not compromising on consistent hot water.

Like the way a reverse cycle air conditioner runs, a heat pump heats your water by using the heat in the air, in conjunction with an evaporator fan and compressor. This type of system typically uses 60 to 75% less electricity than a conventional electric hot water system.

10.7 Plumbing

All tapware and appliances should be the most efficient of their type.

10.8 Gas

Gas is not provided for in the estate and all homes **must** be powered entirely with electricity. This will require your heating/cooling and cooktop and oven amongst other appliances to be electric.

10.9 Glazing

All homes **must** have double glazed windows and consideration should be given to the selection of the most efficient glass to be used in the process including low-e glazing and other high-performance types.

11. Cohesive Neighbourhoods

The background of the page features several thin, dark, wavy lines that flow across the space, creating a sense of movement and organic form. These lines are more prominent in the upper half of the page, below the title, and become sparser towards the bottom.

11.1 Vehicles

Vehicles of any kind are not permitted to be parked within the designated garden area of your lot, on footpaths, concrete verges or vacant land. Your driveway can be used to park cars or light utilities but long-term storage of boats, caravans or containers is not allowed.

To keep thoroughfares clear, trucks or other large vehicles cannot be parked on the roadway for extended periods of time.

Trucks, trailers, boats and caravans are not permitted to be parked on the street and must be out of public view.

11.2 Gardens & Nature Strips

Front gardens must be kept tidy and nature strips must always be maintained including weed eradication and mowing. Homes located on corner lots are to maintain the front and adjoining side nature strip.

11.3 Waste

Rubbish bins are to be kept behind fences or screened where necessary, to ensure they are kept out of the public eye, except for the designated rubbish collection day.

11.4 Laundry

Clothes drying must be located away from public view or screened if space is at a minimum.

11.5 Window Furnishings

Homes must be fitted with curtains, blinds or shutters within one (1) month of occupancy. Visually prominent security screens will not be permitted on doors on windows facing any street frontage.

11.6 Construction

Construction can commence upon issuing of the building permit by the building surveyor.

Construction must commence within 18 months of settling on your land and must be completed within 12 months of construction commencement.

From the time of settlement and throughout construction, your land is to remain well maintained, free from rubbish and debris.

During the construction period, the builder must install a temporary fence and ensure that rubbish and building waste is contained within the building site. Regular rubbish removal must be carried out and any waste bins must be covered to prevent windblown litter.

Street trees and nature strips must be protected. Street trees are to be protected by utilising a Tree Protection Zone barrier.

Damage to nature strips, paths, kerbs trees caused during the construction period is solely the responsibility of the landowner and their builder and shall be billed accordingly.

Should the lot remain vacant for a period of time it is the owner's responsibility to ensure it is maintained, rubbish free and generally tidy. If there is a requirement for vacant lots to be cleaned up following settlement Villawood reserves the rights to on charge the cost of this clean up to the lot owner.

11.7 Signage

No advertising signage is permitted on either vacant land or an occupied allotment.

12. Connecting Up

The background of the page is a solid olive green. Overlaid on this background are several thin, white, wavy lines that flow from the right side towards the left, creating a sense of movement and connection.

Kimberley is an OptiComm fibre connected community. This means that all homes in Kimberley will have access to the OptiComm high speed broadband network. To be prepared for connection to High-Speed Broadband, the following process needs to be addressed.

Step 1. Conduit (pipe) installation

Ensure your builder has installed a 32 mm white telecommunications conduit from the front boundary of your lot to the meter box location on the side of your house.

Your builder can install this conduit, or you can arrange for OptiComm to install this conduit for you. The conduit should be installed during construction of your home.

Step 2. Design your home to distribute the Internet, Telephone, TV in designated rooms

Structured cabling of your home is optional, but highly recommended, as it will enable you to take advantage of all features the Kimberley Optical Fibre Network has to offer.

It is recommended that you arrange a quote to cable your new home from your builder or OptiComm's contractors early in your construction phase or at contract negotiation as the wiring should be done at the frame stage of construction.

Structured Cabling is an additional cost to the conduit and customer connection.

Step 3. Connection to the Optical Fibre Network

Upon receipt of your Certificate of Occupancy or are about two (2) weeks before you move in, call OptiComm's Customer Connection Information Desk on 1300 137 800 to arrange the connection to the optical fibre network.

The typical customer connection cost is \$550.00 incl. GST and includes the following services:

Installation of optical network terminal and the power supply unit (back-up battery not included);

Access to Free-to-Air digital and analogue (if available) TV signals, and;

Access to Foxtel Pay TV signals (resident to arrange for Foxtel connection at their cost).

Step 4. Contact a retail internet and telephone service provider

Finally, the last step involves contacting a retail service provider to arrange the connection of your retail internet and telephone services.

You can choose from a range of approved retail service providers, as listed on www.opticomm.com.au/service-providers

When discussing your requirements with the retail service provider, please advise that you will be living in an OptiComm fibre community, the project name Kimberley, your full address and whether you currently occupy the property or when you intend to.

It is important to advise whether you have had OptiComm install the optic fibre and hardware in the enclosure near your meter box, as this will affect the time it takes to connect services.

If connecting with Foxtel, make sure you tell them you are in an OptiComm fibre community and the "ONT" (Optical Network Terminal) is installed.

The OptiComm Customer Connection Information Desk can be contacted on 1300 137 800 or for further information please refer to www.opticomm.net.au

13. Neighbourhoods Guidelines

The background of the page features several large, thin, light-green organic shapes that resemble topographical map contours or fluid, flowing forms. These shapes are layered over the solid olive-green background, creating a subtle, textured effect.

13.1 Neighbourhood 1—Terra

Neighbourhood Character

With gentle slopes, this will be a neighbourhood with a 'formal-native' character, commensurate with its layout.

Architectural Elements

Three (3) different materials to the front façade and side street elevations are preferred to ensure that the home is well presented. The DAP shall consider variations to the above, subject to the house being well articulated.

Garages & Driveways

Vertical timber look or vertical panelled garage doors with light exposed aggregate driveways recommended.

Landscaping

All front gardens must contain at least one tree and an area of lawn. Native trees and plants are recommended. (Refer to Appendix 6 for details of front garden landscape concepts and planting palettes). Front nature strips can be grassed or be filled with crushed granitic sand.

Fencing

Side and rear fencing to be unstained timber palings, with street sideage fencing being capped and having expressed posts. Developer installed front, side or rear fencing will only be permitted in areas identified by Villawood and will be of masonry and steel construction.

13.2 Neighbourhood 2—Cressida

Neighbourhood Character

This will be a neighbourhood with a 'informal-native' character, commensurate with its layout. This neighbourhood will have opportunities that will allow more adventurous architecture and sloping sites.

Architectural Elements

Modern contemporary style with at least 50% render and contrasting colour schemes to external walls. Light-coloured and flat roofs are encouraged.

Garages & Driveways

Garage doors to be colour matched to the main body of the front façade and driveways are recommended to be a light coloured exposed aggregate.

Landscaping

All front gardens must contain at least one tree and an area of lawn. Native trees and plants are recommended. (Refer to Appendix 3 for details of front garden landscape concepts and planting palette).

Fencing

Side and rear fencing to be charcoal stained timber palings, with street sideage fencing being capped and having expressed posts. Developer installed front, side or rear fencing will only be permitted in areas identified by Villawood and will be of masonry and steel construction.

13.3 Neighbourhood 3—Beaumonde

Neighbourhood Character

This will be a neighbourhood with a 'informal-native' character, commensurate with its layout. Significant slope, views along the valley and to Mount Macedon.

Architectural Elements

Contemporary style, with light colour schemes and standard roof pitches being in keeping with the neighbourhood character.

Garages & Driveways

Garage doors to be of a complimentary colour to the main body of the front facade and driveways are to be a mid to dark coloured exposed aggregate.

Landscaping

All front gardens must contain at least one tree and an area of lawn. Native trees and plants are recommended. (Refer to Appendix 6 for details of front garden landscape concepts and planting palette).

Fencing

Side and rear fencing to be silver-grey stained timber palings, with street sideage fencing being capped and having expressed posts. Developer installed front, side or rear fencing will only be permitted in areas identified by Villawood and will be of masonry and steel construction.

13.4 Neighbourhood 4—Sonoma

Neighbourhood Character

This will be a neighbourhood with a 'formal-native' character, commensurate with its layout.

Architectural Elements

A minimum of two materials to the facade, with a combination of roof styles and pitches. Roofs colours to range between light-coloured and mid grey.

Garages & Driveways

Garage doors to be colour matched to the main body of the front façade and driveways are to be light/warm coloured exposed aggregate.

Landscaping

All front gardens must contain at least one tree and an area of lawn. Native trees and plants are recommended. (Refer to Appendix 6 for details of front garden landscape concepts and planting palettes). Front nature strips can be grassed or be filled with crushed granitic sand.

Fencing

Side and rear fencing to be unstained timber palings, with street sideage fencing being capped and having expressed posts. Developer installed front, side or rear fencing will only be permitted in areas identified by Villawood and will be of masonry and steel construction. (Refer to Appendix 3 for details).

13.5 Neighbourhood 5—Candela

Neighbourhood Character

This will be a neighbourhood with a 'informal-native' character, commensurate with its layout. Consisting of some of the best views of the conservation land within development.

Architectural Elements

Multi-faceted materials to the façade, feature front entrances, low pitched roofs to maintain views and eaves to at least two sides (including front façade).

Garages & Driveways

Garage doors to be of a complimentary colour to the main body of the front facade and driveways are to be a mid to dark concrete or exposed aggregate.

Landscaping

All front gardens must contain at least one tree and an area of lawn. Native trees and plants are recommended. (Refer to Appendix 6 for details of front garden landscape concepts and planting palettes). Front nature strips can be grassed or be filled with crushed granitic sand.

Fencing

Side and rear fencing to be unstained timber palings, with street sideage fencing being capped and having expressed posts. Developer installed front, side or rear fencing will only be permitted in areas identified by Villawood and will be of masonry and steel construction. (Refer to Appendix 3 for details).

13.6 Neighbourhood 6—The Eaves

Neighbourhood Character

This will be a neighbourhood with a 'formal-native' character, commensurate with its layout. Gentle to greater sloping sites, views towards the Macedon Ranges and gridded street layout dictates a more 'formal' character.

Architectural Elements

Stepped, multi-faceted materials (minimum of three different types) & eaves to the front façade and light-coloured roofs.

Garages & Driveways

Panel lift garage doors which are to be colour matched to the main body of the front façade and light-coloured driveways.

Landscaping

All front gardens must contain at least one tree and an area of lawn. Native trees and plants are recommended. (Refer to Appendix 6 for details of front garden landscape concepts and planting palettes).

Fencing

Side and rear fencing to be charcoal stained timber palings, with street sideage fencing being capped and having expressed posts. Developer installed front, side or rear fencing will only be permitted in areas identified by Villawood and will be of masonry and steel construction.



14. Building Envelopes & Regulations

The background of the page is a solid olive green. Overlaid on this background are several thin, white, wavy lines that flow from the right side towards the left, creating a sense of movement and depth. These lines vary in thickness and curvature, resembling stylized topographical contours or perhaps the folds of a building's envelope.

Building regulations 73, 74, 75, 76, 79, 80, 81, 82, 83, 84 & 85 are superseded by the Approved Building Envelopes.

Building regulations 76, 77, 78, 80 & 86 are superseded for the VillaRange product only and is covered by a town planning permit.

To be read in conjunction with Building Envelope Profiles and Plan of Subdivision for relevant stage.



15. Appendix



A.1—Submission Checklist

Site Plans

- ☐ Site Plan (1:200 scale)
- ☐ North point
- ☐ Setback dimensions (from all boundaries)
- ☐ Building envelopes
- ☐ Site levels
- ☐ Building footprint outline, easements, lot boundaries, title boundaries and setout locations
- ☐ Existing contours and site levels
- ☐ External features including driveways, paths, fencing and outbuildings

House Plans

- ☐ House Floor Plan (1:100 scale)
- ☐ North point
- ☐ Proposed finished floor level
- ☐ Internal rooms and spaces layout
- ☐ Broadband conduit wiring layout
- ☐ Garage layout and dimensions
- ☐ Site coverage and permeability

Elevations

- ☐ Scale (1:100, 1:200)
- ☐ Plan to show all elevations
- ☐ Natural and finished ground level
- ☐ Building height from ground level
- ☐ Location of external services (air conditioning, hot water service, water tanks, aerals and satellite dishes)
- ☐ Location of outbuildings, pergolas, patios and verandahs

Sections

- ☐ Scale (1:100, 1:200)
- ☐ Natural and finished ground level
- ☐ Cut and fill levels
- ☐ Ceiling heights (minimum of 2700mm required for ground level)
- ☐ Building height from ground level

Materials & Finishes

- ☐ Building façade materials and finishes schedule and swatches
- ☐ Roofing materials and colour swatches
- ☐ Fencing finishes and colours

Landscaping

- ☐ Landscaping Plan and planting schedule (areas seen from the street)
- ☐ Driveways, entry paths, letterbox, hot water service and water tank locations
- ☐ Fencing plan
- ☐ External garden sheds greater than 10m2

Other

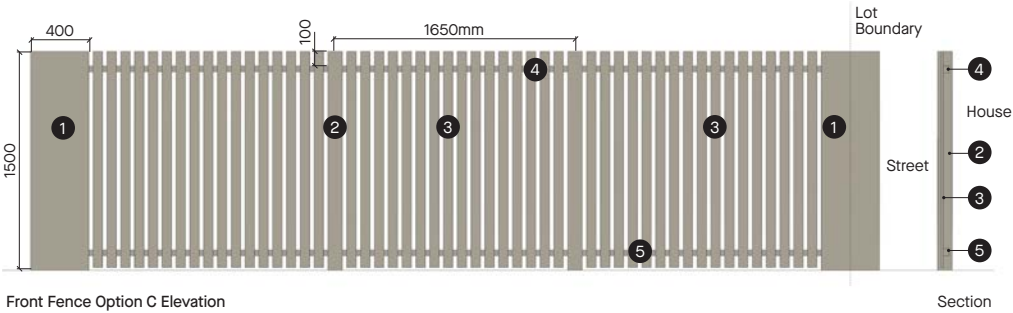
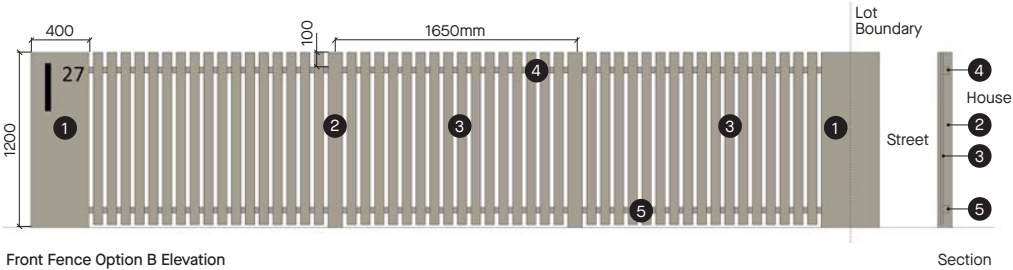
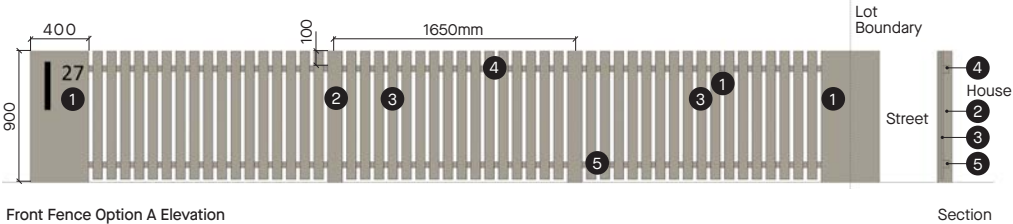
- ☐ Extensions and renovations that affect the external part of the home visible from the street frontages will require plans to be submitted
- ☐ Swimming pools and timber decks less than 800mm high above natural ground level do not require DAP approval.

A.2—Fencing Plan (Developer Installation)



A.3—Fencing Plan Detail

Neighbourhood 1—Front Fencing

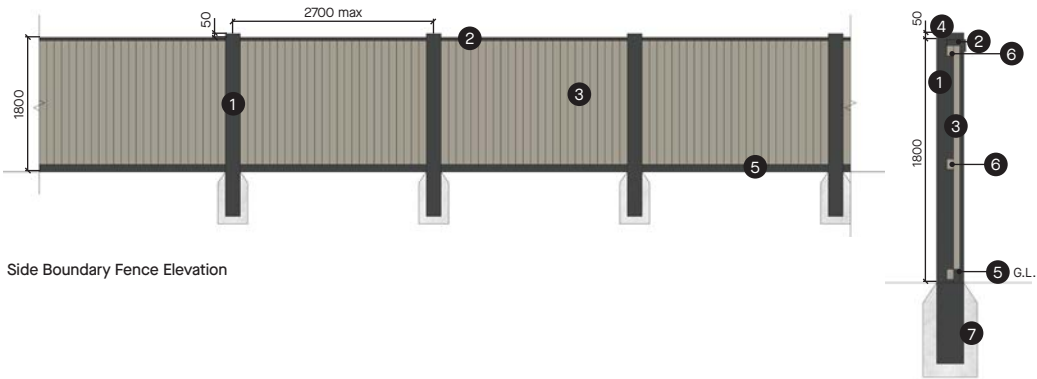


Legend

- 1 400×400mm deep rendered masonry pier
- 2 100×100mm powder coated aluminum posts
- 3 65×16mm aluminium picket
- 4 40×40mm powder coated aluminum top rails
- 5 40×40mm powder coated aluminum bottom rails

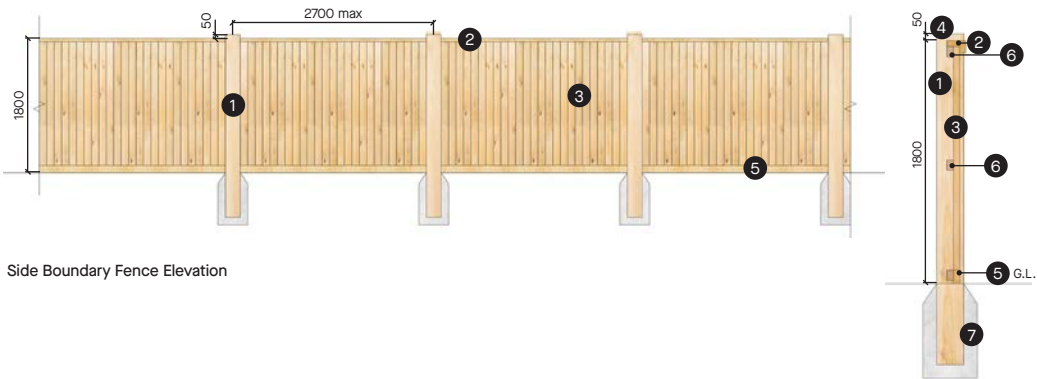
A.3—Fencing Plan Detail

Neighbourhood 1—High Visibility Side/Rear Boundary Fence



Side Boundary Fence Elevation

Neighbourhood 1—Standard Side/Rear Boundary Fence

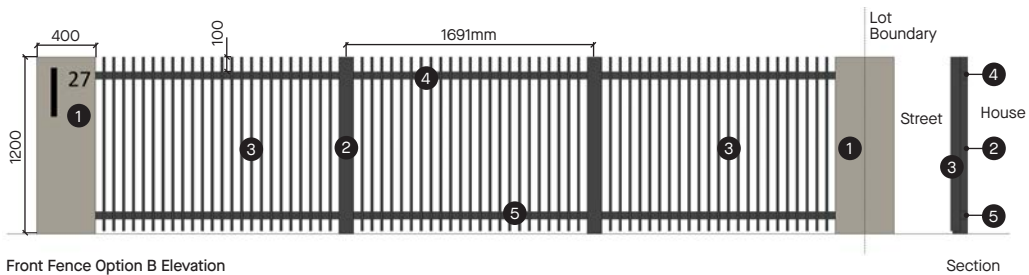
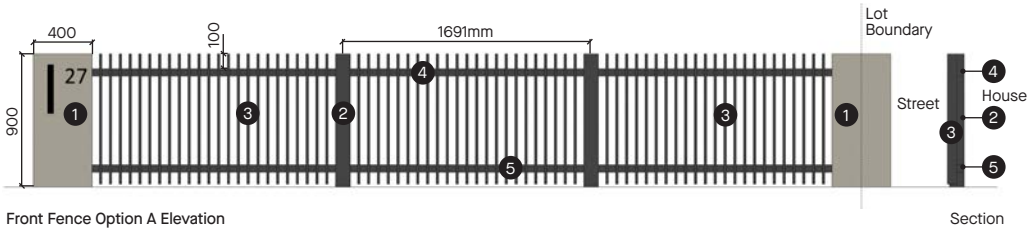


Side Boundary Fence Elevation

Legend

- ① 200×200 mm timber fence post at max 2700mm centers
- ② 90×45mm treated pine timber capping
- ③ 1800mm treated pine timber palings
- ④ Splayed top of post to shed water
- ⑤ 100mm bottom board bottom
- ⑥ 75×50mm treated pine timber rail faced post
- ⑦ Footings to engineer's approval

Neighbourhood 2—Front Fencing

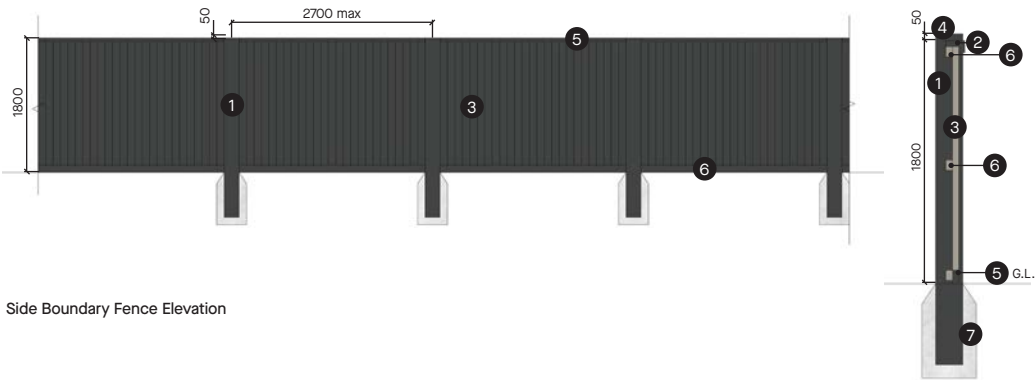


Legend

- ① 400×400mm deep rendered masonry pier
- ② 100×100mm powder coated aluminium posts
- ③ 65×17mm aluminium picket
- ④ 50×50mm powder coated aluminum top rails
- ⑤ 50×50mm powder coated aluminum bottom rails

A.3—Fencing Plan Detail

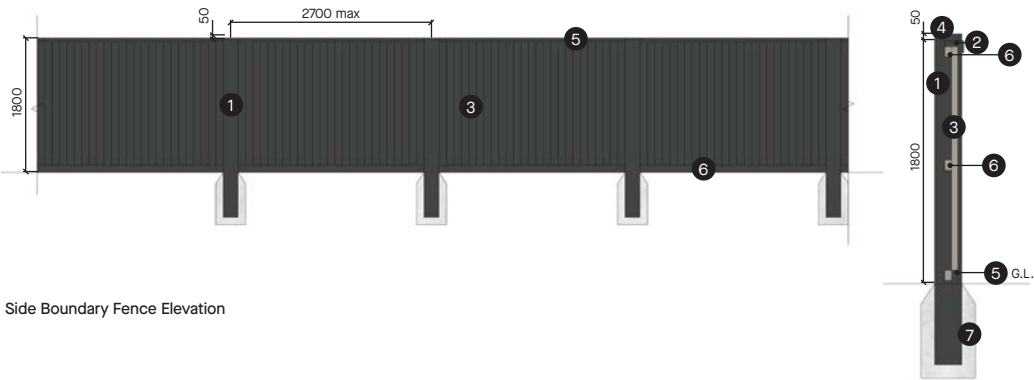
Neighbourhood 2—High Visibility Side/Rear Boundary Fence



Legend

- | | |
|--|---|
| 1 200×200 mm timber fence post at max 2700mm centers | 5 45mm top rail |
| 2 90×45mm treated pine timber capping | 6 100mm bottom rail |
| 3 1800mm treated pine timber palings | 7 75×50mm treated pine timber rail faced post |
| 4 Splayed top of post to shed water | 8 Footings to engineer's approval |

Neighbourhood 2—Standard Side/Rear Boundary Fence



Side Boundary Fence Elevation

Legend

- | | |
|--|---|
| ① 200×200 mm timber fence post at max 2700mm centers | ⑤ 100mm bottom rail |
| ② 150mm treated pine timber capping | ⑥ 75×50mm treated pine timber rail faced post |
| ③ Splayed top of post to shed water | ⑦ Footings to engineer's approval |
| ④ 150mm top rail | |

A.4—Residential Landscaping Palette

Evergreen Tree Palette



Botanical Name:
Corymbia ficifolia
"Orange Splendour"

Common Name:
Grafted Flowering Gum

Mature Size: 5x4m



A popular smaller grafted form of the Australian flowering gum. Well suited to street tree plantings and any home garden. In Summer its dense canopy is covered in brilliant orange flowers.



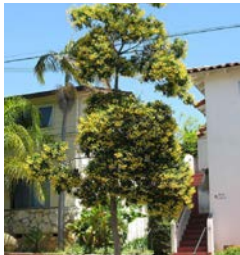
Botanical Name:
Eucalyptus mannifera
"Little Spotty"

Common Name:
Brittle Gum

Mature Size: 6x5m



An attractive native with a slender trunk and bark. This tree has wide spreading canopy and grows relatively fast. It has narrow thin green leaves and white flowers in the summer.



Botanical Name:
Hymenosporum flavum

Common Name:
Native Frangipani

Mature Size: 6x5m



Prefers a well-drained and nutritious soil but can tolerate a variety of soil types. Can be grown in a shade position but flowers best in a full sun position.



Botanical Name:
Stenocarpus sinuatu

Common Name:
Firewheel tree

Mature Size: 10x7m



Evergreen with ornamental red circular flowers in summer. Will also grow in temperate areas AND in most soil types.



Botanical Name:
Tristaniopsis laurina

Common Name:
Water gum

Mature Size: 8x5m



This evergreen australian native has an oval form, producing clusters of yellowish-white flowers during the warmer months. Bark is smooth and light grey in colour, becoming scaly with maturity.



Botanical Name:
Corymbia citriodora
"Scentuous"

Common Name:
Dwarf Pink

Mature Size: 7x3m



This evergreen is very versatile, making it great for landscapes of all sizes and perfect for streetscapes. The bark and flowers add colour and native habitat all year round.

Legend

- Native Partial or Full Sun Require Regular Water/Keep Moist Requires Well Drained Soil
- Flowering Display Partial or Mostly Shade Tolerant Suitable for Pot Planting

Deciduous Tree Palette



Botanical Name:
Pyrus calleryana
"Chanticleer"
Common Name:
Chanticleer pear
Mature Size: 8x4m



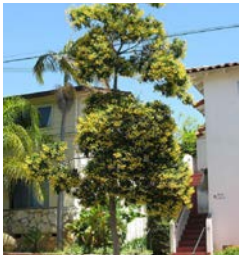
Hardy deciduous tree with a single trunk and narrow columnar shape. Tolerates many different conditions. Bright autumn colour.



Botanical Name:
Lagerstroemia indica
"Nachez"
Common Name:
Crepe myrtle
Mature Size: 7x5m



Deciduous small tree with narrow multiple trunked growth. grown for brightly coloured flowers which are cover the tee from mid to late summer.



Botanical Name:
Pistacia chinensis
Common Name:
Chinese Pistachio
Mature Size: 10x6m



Deciduous tree. Makes an excellent street tree. Mall white flowers in spring followed by red and mauve berries. Prefers well drained fertile soils in full sun.

A.4—Residential Landscaping Palette

Shrubs Palette



Botanical Name:
Banksia marginata
Common Name:
Silver banksia
Mature Size: 2x0.6m



A hardy and versatile native suitable for coastal locations. Attracts native birds and insects for food source and habitat.



Botanical Name:
Goodenia ovata
Common Name:
Hop goodenia
Mature Size: 2x0.4m



Very variable, from a low groundcover to an open shrub. Plant in full sun to part shade in moist free-draining soil. Frost tolerant.



Botanical Name:
Westringa fruticosa
Common Name:
Penny
Mature Size: 0.5x0.5m



Dense fine foliage dotted with masses of small white or pale lilac flowers. Plant in well drained soil in full sun in the garden. Tolerates dry periods and light frost once established.



Botanical Name:
Correa glabra
Common Name:
Rock correa
Mature Size: 3x0.5m



Upright shrub with bright green foliage. Responds well to pruning and can be cut to a formal hedge.



Botanical Name:
Acacia cognata
Common Name:
Bower wattle
Mature Size: 4x2m



A compact form of a.cognata that makes a stunning foliage plant all year round with its graceful weeping foliage. Small ball-shaped flowers are a secondary pleasure when they appear in spring.



Botanical Name:
Dodonaea viscosa
Common Name:
Hopbush
Mature Size: 3x2m



Require a light, well-drained soil in a sunny position. They are generally very hardy.

Legend

- Native Partial or Full Sun Require Regular Water/Keep Moist Requires Well Drained Soil
 Flowering Display Partial or Mostly Shade Tolerant Suitable for Pot Planting



Botanical Name:
Grevillea rhyolitica x
juniperina

Common Name:
Grevillea cherry cluster

Mature Size: 0.5x0.8m



Flowers in autumn, winter and spring. It's a semi-prostrate ground cover with clean, tidy foliage. Very tough, drought and frost tolerant down to -5°C. Birds and insects for food source and habitat.



Botanical Name:
Syzygium australe
'Bush Christmas'

Common Name:
Lilly pilly

Mature Size: 6x3m



Compact syzygium variety with glossy dark foliage and red new growth. Small white flowers during spring before red fruit appear. Dense growth habit.



Botanical Name:
Correa pulchella
'Orange Glow'

Common Name:
Native Fuchsia

Mature Size: 4x2m



A small feature shrub in an area where you can enjoy the nectar feeding birds that it will attract. Does well on most soil types and will flower in sun or in part shade. Feed with a good native fertilizer in spring and water in well.



Botanical Name:
Prostanthera '
Minty'

Common Name:
Mint bush

Mature Size: 2x1m



Full sun or light shade, and a moist well drained soil is all it needs to thrive. The soft mint-fragrant foliage is smothered in delicate mauve blooms during mid to late spring.



Botanical Name:
Philotheca myoporoides
'Ruby Cascade'

Common Name:
Wax Flower

Mature Size: 0.6x1m



Good in sun to part shade, drought and frost tolerant and is naturally neat growing. It can be pruned to size if needed.

A.4—Residential Landscaping Palette

Groundcovers Palette



Botanical Name:
Chrysocephalum apiculatum

Common Name:
Clustered Everlasting

Mature Size: 0.5x0.5m



An evergreen groundcovering perennial plant, with beautiful silvery grey foliage and a profusion of golden yellow button flowers throughout the year. A hardy, low maintenance plant.



Botanical Name:
Myoporum parvifolium

Common Name:
Creeping boobialla

Mature Size: 0.2x1m



An easy care low ground cover which creates a dense mat of fine-leaved foliage with purple toned new growth. It gets small white flowers in spring through summer.



Botanical Name:
Hardenbergia violacea

Common Name:
Purple coral pea

Mature Size: 0.3x1.5m



Masses of winter colour with dark purple pea shaped flowers above a scrambling evergreen climber. Native to Australia.



Botanical Name:
Correa reflexa nummularifolia

Common Name:
Roundleaf correa

Mature Size: 0.3x1m



Native flowering shrub from Tasmania and coastal Victoria. Lowgrowing, spreading, dense groundcover shrub with small rounded olive-grey leaves and pale lemon-yellow bell flowers most of the year.



Botanical Name:
Westringia 'Low Horizon'

Common Name:
Dwarf coastal rosemary

Mature Size: 0.3x0.7m



Evergreen ground-cover with fine foliage and small white flowers. Compact variety, very low-growing.



Botanical Name:
Grevillea 'Royal Rambler'

Common Name:
Grevillea

Mature Size: 0.3x1.5m



Low growing and fast establishing native with a spreading growth habit. Brushes are richly coloured deep-pink and appear throughout the year.

Legend

- Native Partial or Full Sun Require Regular Water/Keep Moist Requires Well Drained Soil
- Flowering Display Partial or Mostly Shade Tolerant Suitable for Pot Planting



Botanical Name:
Eremophila glabra
'Blue Horizon'

Common Name:
Tar bush

Mature Size: 0.25x1m



Low growing ground cover with tidy blue-grey foliage and produces yellow flowers in winter. Plant in a full sun to light shade position in free draining soil but can handle heavier soils in dryer climates. A hardy, low maintenance plant.



Botanical Name:
Banksia spinulosa
'Birthday Candles'

Common Name:
Birthday Candles

Mature Size: 0.4x0.7m



Very low growing with green leaves for full sun or part shade with small star shaped flowers.



Botanical Name:
Scaevola albida
'Mauve Clusters'

Common Name:
Fan flower

Mature Size: 0.2x0.2m



A vigorous and relatively long-lived soft-wooded ground cover with small leaves. Small flower size is compensated for by the extremely floriferous habit. A great feature, border, pot or hanging basket plant.



Botanical Name:
Conostylis candicans

Common Name:
Grey cottonheads

Mature Size: 0.3x0.5m



Ground cover or shrubby Plant. This native does thrive in positions of full sun. *Conostylis candicans* is also wind and drought tolerant, as well as withstanding light frost.



Botanical Name:
Grevillea lanigera
'Mt Tamboritha'

Common Name:
Woolly grevillea

Mature Size: 1.5x1.5m



A variable plant, with prostrate to more upright types available. Main flowering is in winter to spring, with spot flowering all year round. Grows in sun to semi shade, quite drought tolerant.

A.4—Residential Landscaping Palette

Grasses And Strap Leaved Plants Palette



Botanical Name:
Poa sieberiana
Common Name:
Snow grass
Mature Size: 0.4x0.5m



Clumping upright native grass with very fine, hair-like, long green-grey leaves. This fast-growing grass is found naturally in most states and a range of environments.



Botanical Name:
Carex appressa
Common Name:
Tall Sedge
Mature Size: 0.6x0.6m



Densely tufted sedge spreading from short underground stems. Flowering stems erect, rough, sharply 3-angled, from 0.4–1.2m high, shorter than or the same as leaves; leafy bract below spikes very short.



Botanical Name:
Lomandra longifolia
'Nyalla'
Common Name:
Mat rush
Mature Size: 0.8x0.8m



Grows in sandy to clay soils, and full sun to shaded positions.



Botanical Name:
Pattersonia occidentalis
Common Name:
Purple flag
Mature Size: 0.6x0.5m



Flowering from spring through summer with purple-blue flowers held up above the foliage.



Botanical Name:
Poa labillardierei
Common Name:
Common tussock grass
Mature Size: 0.8x0.5m



Dense tufting grass with blue—green foliage with upright growth habit. Fine long leaves with light green flowers through spring to summer.



Botanical Name:
Themeda triandra
Common Name:
Kangaroo grass
Mature Size: 0.5x0.5m



A perennial tussock-forming grass, commonly known as kangaroo grass, known for its interesting colour and texture. Flowers mostly in spring and summer. It also serves as a food source of several bird species.

Legend

- Native
- Partial or Full Sun
- Require Regular Water/Keep Moist
- Requires Well Drained Soil
- Flowering Display
- Partial or Mostly Shade Tolerant
- Suitable for Pot Planting



Botanical Name:
Lomandra longifolia
'Little Lime'
Common Name:
Little lime mat rush
Mature Size: 0.5x0.5m



Evergreen native grass with bright green upright foliage. Light brown flowers through spring and summer.



Botanical Name:
Dianella revoluta
Common Name:
Blue flax-lily
Mature Size: 0.4x0.4m



This plant is horticulturally desirable because once it is established it is very hardy and has a wide moisture and temperature range excluding inland extremes. It is drought and frost resistant, is generally trouble-free and is grown for its distinctive strappy foliage as well as for its flowers and fruits.



Botanical Name:
Dianella tasmanica
'Tasred'
Common Name:
Tasman flax lily
Mature Size: 0.6x0.6m



This drought and frost tolerant plant finally gives designers a flax lily that changes colour throughout the seasons. A tough, adaptable and compact strappy leafed plant.



Botanical Name:
Anigozanthos
'Bush Ballard'
Common Name:
Bush ballard kangaroo paw
Mature Size: 0.8x0.5m



This is one of the most prolific flowering of all kangaroo paws and it does it all year round. Bird attracting and great as cut flowers. The small habit and bright red flowers make a dramatic statement as a feature plant in the garden, for larger landscaping and for containers in smaller areas.



Botanical Name:
Anigozanthos
'Bush Diamond'
Common Name:
Bush diamond kangaroo paw
Mature Size: 0.6x0.4m



An unusual and beautiful flower colour in kangaroo paws varying from snow white when grown in warmer temperatures to white with a pink overtone in cooler conditions. Dwarf habit with branched stems and prolific non-stop blooming performance. A reasonable garden plant and outstanding in a pot.



Botanical Name:
Anigozanthos
'Yellow Gem'
Common Name:
Yellow gem kangaroo paw
Mature Size: 1.2x0.8m



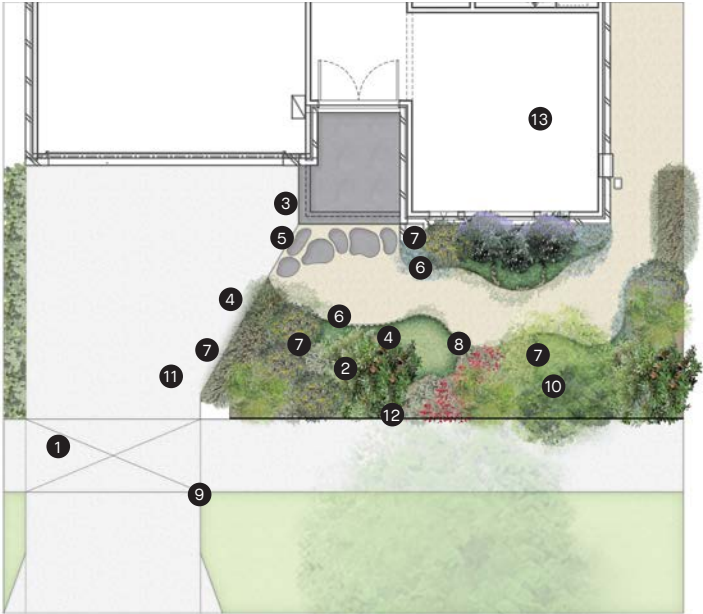
Vibrant, yellow, tall native Kangaroo paw that is drought-tolerant and prefers full sun. Long stems good for cut flowers.

A.5—Front Garden Landscaping Plan (Developer Installation)



A.6—Front Garden Landscape Concepts

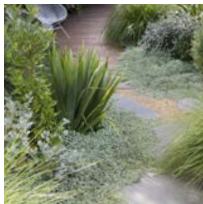
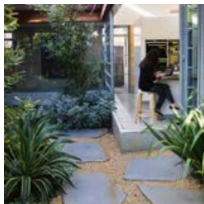
Organic Landscape Concept



Legend

- | | |
|---|---|
| 1 Driveway and entry paving by owner.
Cross over to council approval | 8 List E—small/med tree |
| 2 List B—low level planting | 9 Turf to verge |
| 3 Porch by owner | 10 900 Semi-transparent aluminium blade fence |
| 4 List D—feature planting | 11 Letter box |
| 5 Natural stone steppers in aggregate gravel | 12 Footpath |
| 6 List A—ground cover planting | 13 Aggregate gravel |
| 7 List C—medium height planting | |

Concept Imagery



A.6—Front Garden Landscape Concepts (cont.)

List A—Ground Covers (140mm Pots at 850mm cts)



Botanical Name:
Chrysocephalum apiculatum
Common Name:
Yellow buttons
Mature Size: 10x6m



Botanical Name:
Westringia 'Low Horizon'
Common Name:
Coastal Creeper rosemary
Mature Size: 0.3x0.7m



Botanical Name:
Eremophila glabra
'Blue Horizon'
Common Name:
Tar bush
Mature Size: 0.25x1m



Botanical Name:
Hardenbergia violacea
Common Name:
Purple Coral Pea
Mature Size: 0.3x1.5m



List B—Low Planting (140mm Pots at Max 400mm Spacings)



Botanical Name:
Dianella revoluta
Common Name:
Blue flax-lily
Mature Size: 0.4x0.4m



Botanical Name:
Patersonia occidentalis
Common Name:
Purple flag
Mature Size: 0.5x0.5m



Botanical Name:
Poa labillardierei
Common Name:
Common tussock grass
Mature Size: 0.8x0.5m



Legend

- Native Partial or Full Sun Require Regular Water/Keep Moist Requires Well Drained Soil
 Flowering Display Partial or Mostly Shade Tolerant Suitable for Pot Planting

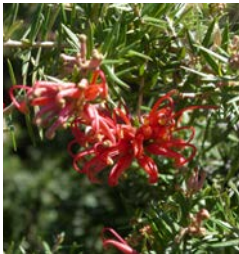
List C—Medium Planting (Min 5L Pots at Max 800mm Spacings)



Botanical Name:
Acacia cognata 'Limelight'
Common Name:
Dwarf River Wattle Limelight
Mature Size: 0.8x1.0m



Botanical Name:
Correa pulchella
Common Name:
Correa pulchella
Mature Size: 0.6x1.0m



Botanical Name:
Grevillea rhyolitica
Common Name:
Grevillea
Mature Size: 1.0x2.0m



Botanical Name:
Banksia marginata
Common Name:
Silver Banksia
Mature Size: 1.5x3.0m



Botanical Name:
Philotheca myoporoides
'Profusion'
Common Name:
Wax flower
Mature Size: 1.0x1.0m



Botanical Name:
Westringia fruticosa
'Grey Box'
Common Name:
Coastal rosemary
Mature Size: 0.7x0.7m



Botanical Name:
Eremophila nivea
Common Name:
Emu bush
Mature Size: 2x2m



Botanical Name:
Leucophyta brownii
Common Name:
Cushion bush
Mature Size: 1.2x1.2m



A.6—Front Garden Landscape Concepts (cont.)

List D—Feature Plants (Minimum 8L Pot Size)



Botanical Name:
Prostanthera 'Minty'
Common Name:
Mint bush
Mature Size: 1.8x1.2m



Botanical Name:
Anigozanthos 'Yellow Gem'
Common Name:
Yellow gem kangaroo paw
Mature Size: 1.2x0.8m



List E—Small / Med Trees (Minimum 45L Pot Size)



Botanical Name:
Pistacia chinensis
Common Name:
Chinese Pistachio
Mature Size: 10x6m



Botanical Name:
Corymbia ficifolia
'Orange Splendour'
Common Name:
Grafted Flowering Gum
Mature Size: 5x4m



Botanical Name:
Corymbia citriodora
'Scentuous' syn.
'Dwarf Pink'
Common Name:
Lemon-Scented Gum
Mature Size: 8x5m



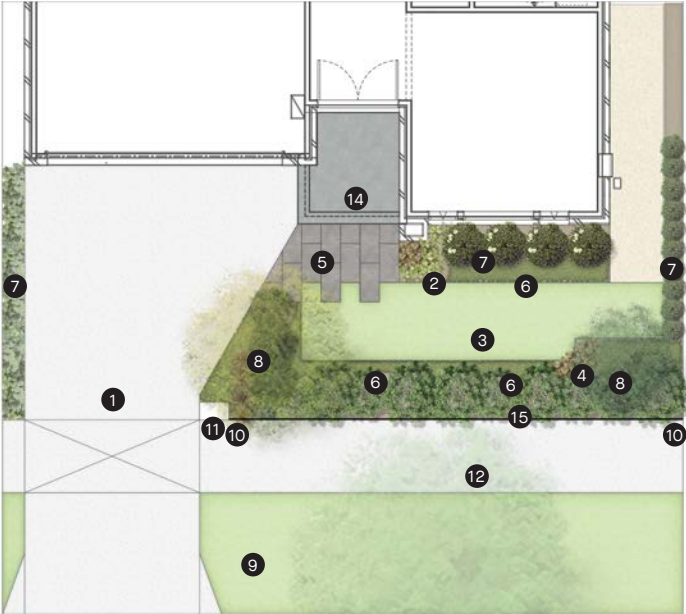
Botanical Name:
Corymbia ficifolia
'Orange Splendour'
Common Name:
Grafted Flowering Gum
Mature Size: 6x5m



Legend

- Native Partial or Full Sun Require Regular Water/Keep Moist Requires Well Drained Soil
- Flowering Display Partial or Mostly Shade Tolerant Suitable for Pot Planting

Contemporary Landscape Concept



Legend

- | | |
|---|---|
| 1 Driveway and entry paving by owner.
Cross over to council approval | 8 List E—small/med tree |
| 2 List B—low level planting | 9 Turf to verge |
| 3 Lawn | 10 900 Semi-transparent aluminium blade fence |
| 4 List D—feature planting | 11 Letter box |
| 5 Concrete pavers | 12 Footpath |
| 6 List A—ground cover planting | 13 Gravel |
| 7 List C—medium height planting | 14 Porch by owner |
| | 15 List C—hedge planting |

Concept Imagery



A.6—Front Garden Landscape Concepts (cont.)

List A—Ground Covers (140mm Pots at 850mm Cts)



Botanical Name:
Myoporum parvifolium
purpurea

Common Name:
Boobialla

Mature Size: 0.3x1.5m



Botanical Name:
Grevillea
'Royal Rambler'

Common Name:
Grevillea

Mature Size: 0.3x1.5m



Botanical Name:
Eremophila glabra
'Blue Horizon'

Common Name:
Tar bush

Mature Size: 0.25x1m



List B—Low Planting (140mm Pots at Max 400mm Spacings)



Botanical Name:
Westringa fruticosa

Common Name:
Penny

Mature Size: 0.5x0.5m



Botanical Name:
Patersonia occidentali

Common Name:
Purple flag

Mature Size: 0.5x0.5m



Botanical Name:
Poa sieberiana

Common Name:
Snow grass

Mature Size: 0.4x0.5m



Botanical Name:
Themeda triandra

Common Name:
Kangaroo grass

Mature Size: 0.5x0.5m



Legend

- Native Partial or Full Sun Require Regular Water/Keep Moist Requires Well Drained Soil
- Flowering Display Partial or Mostly Shade Tolerant Suitable for Pot Planting

List C—Medium Planting (Min 5L Pots at Max 800mm Spacings)



Botanical Name:
Correa glabra

Common Name:
Rock correa

Mature Size: 3x0.5m



Botanical Name:
Correa pulchella
'Orange Glow'

Common Name:
Native Fuchsia

Mature Size: 4x2m



Botanical Name:
Dodonaea viscosa

Common Name:
Hopbush

Mature Size: 3x2m



Botanical Name:
Carex appressa

Common Name:
Tall Sedge

Mature Size: 0.6x0.6m



Botanical Name:
Goodenia ovata

Common Name:
Hop goodenia

Mature Size: 2x0.4m



Botanical Name:
Correa reflexa
nummularifolia

Common Name:
Roundleaf correa

Mature Size: 0.3x1m



A.6—Front Garden Landscape Concepts (cont.)

List D—Feature Plants (Minimum 8L Pot Size)



Botanical Name:
Anigozanthos
'Bush Ballard'

Common Name:
Bush ballard kangaroo paw

Mature Size: 0.8x0.5m



Botanical Name:
Banksia spinulosa
'Birthday Candles'

Common Name:
Birthday Candles

Mature Size: 0.4x0.7m



List E—Small / Med Trees (Minimum 45L Pot Size)



Botanical Name:
Eucalyptus mannifera
'Little Spotty'

Common Name:
Brittle Gum

Mature Size: 6x5m



Botanical Name:
Lagerstroemia indica
'Nachez'

Common Name:
Crepe myrtle

Mature Size: 7x5m



Botanical Name:
Eucalyptus victrix

Common Name:
Smooth-barked coolibah

Mature Size: 6x4m



Legend

- Native Partial or Full Sun Require Regular Water/Keep Moist Requires Well Drained Soil
- Flowering Display Partial or Mostly Shade Tolerant Suitable for Pot Planting

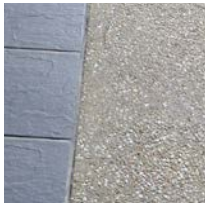
Formal Landscape Concept



Legend

- | | |
|---|---|
| 1 Driveway and entry paving by owner.
Cross over to council approval | 8 List E—small/med tree |
| 2 List B—low level planting | 9 Turf to verge |
| 3 Gravel | 10 List C—hedge planting |
| 4 List D—feature planting | 11 Letter box |
| 5 Exposed aggregate concrete with paved border | 12 Footpath |
| 6 List A—ground cover planting | 13 900 Semi-transparent aluminium blade fence |
| 7 List C—medium height planting | 14 Lawn |
| | 15 Porch by owner |

Concept Imagery



A.6—Front Garden Landscape Concepts (cont.)

List A—Ground Covers (140mm Pots at 850mm Cts)



Botanical Name:
Scaevola albida
'Mauve Clusters'

Common Name:
Fan flower

Mature Size: 0.2x0.2m



Botanical Name:
Myoporum parvifolium

Common Name:
Creeping boobialla

Mature Size: 0.2x1m



Botanical Name:
Westringia
'Low Horizon'

Common Name:
Dwarf coastal rosemary

Mature Size: 0.3x0.7m



Botanical Name:
Grevillea lanigera
'Mt Tamboritha'

Common Name:
Woolly grevillea

Mature Size: 1.5x1.5m



List B—Low Planting (140mm Pots at Max 400mm Spacings)



Botanical Name:
Westringia
'Grey Box'

Common Name:
Coastal rosemary

Mature Size: 0.4x0.4m



Botanical Name:
Westringia fruticosa

Common Name:
Penny

Mature Size: 0.5x0.5m



Botanical Name:
Calocephalus citreus

Common Name:
Lemon beauty-heads

Mature Size: 0.5x0.1m



Legend

- Native
- Partial or Full Sun
- Require Regular Water/Keep Moist
- Requires Well Drained Soil
- Flowering Display
- Partial or Mostly Shade Tolerant
- Suitable for Pot Planting

List C—Medium Planting (Min 5L Pots at Max 800mm Spacings)



Botanical Name:
Philotheca myoporoides
'Profusion'
Common Name:
Wax flower
Mature Size: 1.0x1.0m



Botanical Name:
Dodonaea viscosa
Common Name:
Hopbush
Mature Size: 3x2m



Botanical Name:
Correa pulchella
'Orange Glow'
Common Name:
Native Fuchsia
Mature Size: 4x2m



Botanical Name:
Syzygium australe
'Bush Christmas'
Common Name:
Lilly pilly
Mature Size: 6x3m



Botanical Name:
Dianella revoluta
Common Name:
Blue flax-lily
Mature Size: 0.4x0.4m



Botanical Name:
Dianella tasmanica
'Tasred'
Common Name:
Tasman flax lily
Mature Size: 0.6x0.6m



A.6—Front Garden Landscape Concepts (cont.)

List D—Feature Plants (Minimum 8L Pot Size)



Botanical Name:
Conostylis candicans

Common Name:
Grey cottonheads

Mature Size: 0.3x0.5m



Botanical Name:
Anigozanthos 'Yellow Gem'

Common Name:
Yellow gem kangaroo paw

Mature Size: 1.2x0.8m



Botanical Name:
Anigozanthos
'Bush Diamond'

Common Name:
Bush diamond kangaroo
paw

Mature Size: 0.6x0.4m



List E—Small / Med Trees (Minimum 45L Pot Size)



Botanical Name:
Tristaniopsis laurina

Common Name:
Water gum

Mature Size: 8x5m



Botanical Name:
Stenocarpus sinuatu

Common Name:
Firewheel tree

Mature Size: 10x7m



Botanical Name:
Angophora hispida

Common Name:
Dwarf Apple, Scrub Apple

Mature Size: 7x5m



Legend

- Native Partial or Full Sun Require Regular Water/Keep Moist Requires Well Drained Soil
- Flowering Display Partial or Mostly Shade Tolerant Suitable for Pot Planting

Materiality Schedule

Garden Edging



Timber edging



Treated pine garden edging



Aluminium garden edging 'formboss' or similar

Finish to resident selection:

Aggregate Gravel Mulch



Pea gravel (14mm dia) mulch

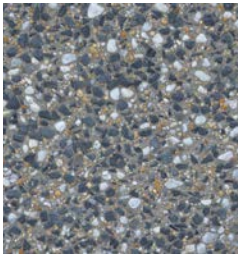


Sand gravel (15mm dia) mulch

Exposed Aggregate & Paver



Pre cast exposed aggregate concrete paver (600x600mm)



Pre cast exposed aggregate concrete paver—alternate colour (600x600mm)



Rusted 'corten' steel finish

A.6—Front Garden Landscape Concepts (cont.)

Natural Steppers



Concrete consolidated and compacted 'tuscan toppings'

Stone Paving



600mm dia. min bluestone organic stepper



A. 8 Summary of Development Rail Noise Assessment – Dated 26 June 2020

For information purposes a summary of the recommendations and requirements of the Development Rail Noise Assessment prepared by Marshall Day Acoustics dated 26 June 2020 is provided below. Please note this report may be amended in the future.

– For compliance with the PSP rail noise requirements, the bedrooms of houses aligned adjacent to the rail corridor will require building envelope treatment to meet a minimum sound insulation requirement accounting for 95th percentile maximum of all rail sources and freight trains. The glazing performance requirements and indicative constructions have been laid out in Table 7 below:

Table 7: Building envelope glazing acoustic performance and indicative configurations			
Location	Minimum Sound Insulation Performance, Rw Note 1	Indicative Glazing Configuration	Comments
Facades to habitable spaces inside the 100m set back (Figure 5) - any level; facing North, East or South			
Living rooms	Rw 33	6mm laminate or: DGU* 6mm float/12mm air/6mm float	External sliding doors and openable windows must seal to a high standard with compressible perimeter seals.
Bedrooms Option with up to 10m2 glazing per room	Rw 37	12mm laminate or: DGU* 10mm float/12mm air/6mm float	
Bedrooms Option with up to 4m2 glazing per room	Rw 36	10mm laminate or: DGU* 6mm float/12mm air/6mm float	
Facades to habitable spaces inside the 100m set back (Figure 5) - any level; facing West			
Living rooms			External sliding doors and openable windows must seal to a high standard with compressible perimeter seals.
Bedrooms	Rw 33	6mm laminate or: DGU* 6mm float/12mm air/6mm float	
*DGU = Double Glazing Unit Note 1: Assumes minimum room dimensions 3.5m x 4m bedrooms, 5.5m x 6m living rooms, reverberation time 0.5 sec.			

Several options are provided for the minimum sound insulation performance for the bedroom windows, depending on the external window area to be selected in the final design of the dwelling. Indicative glazing constructions which will meet these performance requirements are provided for information purposes. Should alternative windows for thermal insulation be selected care shall be taken such that the acoustic performance of such system meets the respective minimum sound insulation performance Rw requirements.

– As is the case for any building that is exposed to significant external noise, the design criteria will not be achieved with windows open, however, the occupants have the option to close external windows and doors to significantly reduce noise intrusion. Ventilation may be required in some rooms in order to allow the windows to remain closed. This should be addressed by the mechanical consultant/builder for any given dwelling.

– It should be noted that care should also be taken when specifying openings to the facade such as kitchen extract ducts or ventilation path ways to ensure that noise ingress through these does not de-rate the noise insulation performance of the glazing and walls.

– The assessment assumes that non glazed portions of the facades including any lightweight walls and any roofs exposed to environmental noise shall have sound insulation Rw performance at least 10 dB greater than that of the associated glazing system. This is expected to be readily achievable with conventional construction as per the following generic descriptions in Table 8 reproduced below:

Table 8: Description of construction to non-glazed building envelope elements		
External walls	Roof/ceiling	External doors
Brick veneer construction: - 110mm external face brickwork - 90mm timber stud framing - R2.0 insulation in cavity, 90mm thick, minimum density 9kg/m3 - 10mm thick plasterboard (minimum 6.5kg/m2) internal wall lining	Pitched roof at 22.5 degrees: - Concrete tiled roof with sarking - R4.0 insulation above ceiling (as proposed) 195mm thick, minimum density 11kg/m3 - Eaves to be sealed and treated to minimise noise break in to the roof space	The external doors should consist of a 35mm thick, solid core timber door with standard weather seals to the door bottom and jamb. Glazed panels should consist of 6mm laminate glass.

Disclaimer: Information contained herein is indicative and for illustrative purposes only and is subject to change without notice. Whilst all reasonable care has been taken in providing this information, no responsibility is accepted by the vendor nor the agent for any action taken in reliance thereon.

Prospective purchasers should make their own enquiries to satisfy themselves on all aspects of the Kimberley community. Details herein do not constitute any representation by the vendor or the agent and are expressly excluded from any contract. Images represent an artist's impression and are used for illustrative purposes only.



