

IMAGINE STAGE 16

ROADS & DRAINAGE PLANS

DUKES LANE - STRATHFIELDSAYE



LEGEND

	EXISTING SHRUBS / TREES		PROPOSED SEWER AND MANHOLE
	PROPOSED STREET TREE		PROPOSED SEWER RISING MAIN
	SHRUBS / TREES TO BE REMOVED		PROPOSED PRIVATE SEWER
	SIGN		EXISTING SEWER & MANHOLE
	TELCO PILLAR		PROPOSED FUTURE SEWER
	TELCO PITS		PROPOSED WATER MAIN
	ELECTRICITY LIGHT & POLE		PROPOSED PRIVATE WATER MAIN
	PROPOSED KERB & CHANNEL		PROPOSED RECYCLED WATER MAIN
	EXISTING KERB & CHANNEL		EXISTING WATER MAIN, FIRE PLUG AND VALVE
	PROPOSED DRAIN / PIT / I.S.		PROPOSED IRRIGATION MAIN
	EXISTING DRAIN / PIT		EXISTING IRRIGATION MAIN
	PROPOSED HOUSE DRAIN / EASEMENT CONNECTION		PROPOSED FUTURE WATER
	FUTURE DRAIN / PIT		PROPOSED ELECTRICITY MAIN
	FENCE LINE		PROPOSED PRIVATE ELECTRICITY MAIN
	INVERT (DESIGN \ EXISTING)		EXISTING ELECTRICITY MAIN & PIT
	EDGE OF SEAL / EDGE OF BITUMEN (DESIGN \ EXISTING)		PROPOSED FUTURE ELECTRICITY
	TOP OF BANK (DESIGN \ EXISTING)		PROPOSED GAS MAIN
	BOTTOM OF BANK		PROPOSED PRIVATE GAS MAIN
	PROPOSED TITLE BOUNDARY & SITE TITLE BOUNDARY		EXISTING GAS MAIN
	PROPOSED FUTURE TITLE BOUNDARY		PROPOSED FUTURE GAS
	PREVIOUS STAGE TITLE BOUNDARY		PROPOSED TELCO MAIN
	PROPOSED OR EXISTING EASEMENT		PROPOSED PRIVATE TELCO MAIN
	HOUSE		EXISTING TELCO CABLE
	PROPOSED ELEC / TELSTRA CONDUIT & PIT		PROPOSED FUTURE TELCO
	PROPOSED GAS & WATER CONDUIT		PROPOSED CATCH DRAIN
			PROPOSED AG DRAIN

- #### DRAWING LIST
- 1065316R01 LOCALITY PLAN & GENERAL NOTES
 - 1065316R02 OVERALL DEVELOPMENT PLAN
 - 1065316R03-04 EXISTING CONDITIONS & TBM PLAN (2 SHEETS)
 - 1065316R05-06 CONSTRUCTION LAYOUT PLAN (2 SHEETS)
 - 1065316R07 CUT & FILL DEPTH RANGE & LOT LEVELS
 - 1065316R08 RETAINING WALL PLAN
 - 1065316R09 PAVEMENT, SIGNAGE & LINEMARKING PLAN
 - 1065316R10 STREET TREE CONCEPT PLAN
 - 1065316R11-12 INTERSECTION DETAILS (2 SHEETS)
 - 1065316R13-14 TYPICAL SECTIONS (2 SHEETS)
 - 1065316R15 TEMPORARY BASIN DETAILS
 - 1065316R16 DUKES LANE LONG SECTION
 - 1065316R17-19 DUKES LANE CROSS SECTIONS (3 SHEETS)
 - 1065316R20 NEON CRESCENT LONG SECTION
 - 1065316R21 NEON CRESCENT CROSS SECTIONS
 - 1065316R22 SERENE DRIVE LONG SECTION
 - 1065316R23-24 SERENE DRIVE CROSS SECTIONS (2 SHEETS)
 - 1065316R25 YELLOW BOX AVENUE LONG SECTION
 - 1065316R26 YELLOW BOX AVENUE CROSS SECTION
 - 1065316R27-29 RETAINING WALL LONG SECTIONS (3 SHEETS)
 - 1065316R30-33 DRAINAGE LONG SECTIONS (4 SHEETS)
 - 1065316R34-35 PIT SCHEDULE & PIT TYPICAL DETAILS (2 SHEETS)

TABLE OF OFFSETS FOR SERVICES

STREET	GAS	NDW	DW	TELCO	UG ELEC	SEWER	BOK
DUKES LANE (SOUTH)	4.40	E	-	4.90	E	2.60	E 3.20 / E 1.00 / E 15.65W / 5.25E
DUKES LANE (NORTH)	3.20	W	-	3.70	W	2.40	W - - 3.75W / 17.18E
NEON CRESCENT	1.90	N	-	2.40	N	1.90	S 2.40 / S 1.00 / S 4.05N / 4.05S
SERENE DRIVE	1.90	S	-	2.40	S	1.90	N 2.40 / N 1.00 / S 4.05E / 4.05W
YELLOW BOX AVENUE	1.90	S	-	2.40	S	1.90	N 2.40 / N 1.00 / S 4.05E / 4.05W

GENERAL NOTES

- PRIOR TO THE COMMENCEMENT OF WORKS**
- THE CONTRACTOR MUST NOTIFY THE RELEVANT AUTHORITY 7 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION OF THE RELEVANT WORKS.
 - THE CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS FROM THE MUNICIPALITY & VICROADS FOR ANY WORKS UNDERTAKEN WITHIN AN EXISTING ROAD RESERVE PRIOR TO THE COMMENCEMENT OF WORKS.
 - THE CONSULTANT HAS MADE EVERY REASONABLE ATTEMPT TO LOCATE EXISTING SERVICES AND HAS SHOWN THESE ON THE DRAWINGS. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS AND PROVIDE A WRITTEN REPORT DETAILING THE CONDITION REGARDING ALL EXISTING INFRASTRUCTURE WHICH THEY ARE INTERFACING WITH, OR OTHERWISE HAVING AN IMPACT ON.
 - PRIOR TO COMMENCING WORKS THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SERVICES BY SITE SURVEY (INSPECTION AND CONSULTATION WITH ALL RELEVANT SERVICING AUTHORITIES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES, WHETHER SHOWN OR NOT.
 - THE CONTRACTOR MUST CONTACT DIAL BEFORE YOU DIG (CALL 1100), OR VISIT THE DIAL BEFORE YOU DIG WEBSITE PRIOR TO COMMENCING WORKS AND SATISFY THEMSELVES THAT THERE ARE NO SERVICES WITHIN THE VICINITY OF THE WORK AREA.
 - NO WORK IS TO COMMENCE BEFORE THE CONTRACTOR HAS ASCERTAINED WHAT UNDERGROUND SERVICES ARE PRESENT.
 - CONTRACTOR MUST FOLLOW THE "NO GO ZONE" SAFETY PROCEDURES AT ALL TIMES, WHICH ARE AVAILABLE FROM ALL UTILITY AND TELECOMMUNICATIONS COMPANIES, INCLUDING THE OFFICE OF THE CHIEF ELECTRICAL INSPECTOR, THE OFFICE OF GAS SAFETY AND WORKSAFE VICTORIA.
 - IF THESE SAFETY PROCEDURES CANNOT BE COMPLIED WITH THEN NO WORK IS TO BE UNDERTAKEN WITHOUT PERMISSION FROM THE UTILITY COMPANY.
 - THE CONTRACTOR MUST PREPARE A PROJECT MANAGEMENT PLAN (OTHERWISE CALLED A CONSTRUCTION OR SITE MANAGEMENT PLAN) AND HAVE IT APPROVED BY BOTH COUNCIL & THE SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF ANY WORKS. THIS PROJECT MANAGEMENT PLAN IS TO INCORPORATE THE FOLLOWING AT A MINIMUM AND IN ACCORDANCE WITH ANY LEGISLATION REQUIREMENTS:
 - OCCUPATIONAL HEALTH & SAFETY PROCEDURES
 - SITE STAFFING INCLUDING CONTACT DETAILS

- CONSTRUCTION SETOUT**
- ALL LEVELS ARE TO A.H.D. AND ARE REFERENCED TO THE T.B.M. INDICATED.
 - COORDINATION OF THIS DESIGN USES MGA2020, CORRECT AS OF THE DATE OF THESE PLANS. MGA94 MAY HAVE BEEN USED PREVIOUSLY ON THIS SITE OR AN ADJOINING PROPERTY AND SUCH WORK WILL DIFFER IN POSITION BY AROUND 1.8 METRES FROM THIS DOCUMENT. ORIENTATION (NORTH) REMAINS THE SAME BETWEEN MGA94 AND MGA2020.
 - NO TBM CAN BE USED WITHOUT FIRST PROVING IT TO BE CORRECT TO A SECOND TBM. NO HORIZONTAL SETOUT CONTROL CAN BE USED WITHOUT FIRST PROVING IT TO BE CORRECT TO A THIRD KNOWN POINT. THE CONSULTING SURVEYOR IS TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. TITLE PEGS AND T.B.M.'S TO BE RE-ESTABLISHED BY A LICENSED SURVEYOR IF FOUND TO BE MISSING.
 - IF USING GNSS / GPS TO SETOUT FOR CONSTRUCTION PLEASE NOTE:
 - GNSS HAS REDUCED VERTICAL PRECISION COMPARED TO TRADITIONAL SURVEY METHODS.
 - ONLY USE A SINGLE POINT CALIBRATION FOR THE VERTICAL THEN TEST TO AT LEAST 1 OTHER STATED TBM BEFORE PROCEEDING.
 - IF YOU HAVE ANY QUERIES OR CONCERNS CONTACT THE CONSULTING SURVEYOR.
- SITE MANAGEMENT DURING CONSTRUCTION**
- THE SUPERINTENDENT IS RESPONSIBLE FOR THE DESIGN AND MANAGEMENT OF THE CONSTRUCTION WORKS. ANY PROBLEMS ARISING DURING CONSTRUCTION SHALL BE DIRECTED TO THE SUPERINTENDENT.
 - ALL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING DESIGN & CONSTRUCTION MANUAL AND ANY OTHER RELEVANT AUTHORITY SPECIFICATIONS. A COPY OF THE EDM CAN BE FOUND AT WWW.VPA.VIC.GOV.AU - IF YOU HAVE ANY ISSUES INTERPRETING THE MANUAL CONTACT THE SUPERINTENDENT.
 - ALL WORKS MUST ABIDE BY THE APPROVED CONSTRUCTION MANAGEMENT PLAN AND MUST COMPLY WITH THE RECOMMENDATIONS OF THE ENVIRONMENTAL PROTECTION AUTHORITY PUBLICATION "CONSTRUCTION TECHNIQUES FOR SEDIMENT POLLUTION CONTROL" (PUBLICATION NO 275). APPROPRIATE SILTATION CONTROL IS TO BE CARRIED OUT DURING THE CONSTRUCTION AND MAINTENANCE PERIOD.

- BEFORE COMMENCING ANY EXCAVATION WORKS OF 1.5m DEPTH OR GREATER, THE CONTRACTOR IS REQUIRED TO SUBMIT THE REQUIRED NOTIFICATION TO WORKSAFE VICTORIA. THE NOTIFICATION MUST BE RECEIVED BY THE AUTHORITY AT LEAST 3 DAYS PRIOR TO COMMENCING EXCAVATIONS. A COPY OF THE NOTIFICATION IS TO BE PROVIDED TO THE SUPERINTENDENT. THE CONTRACTOR SHALL COMPLY WITH THE MINES ACT, OCCUPATIONAL HEALTH AND SAFETY ACT, WORKSAFE VICTORIA REQUIREMENTS INCLUDING COMPLIANCE CODES.
 - TWENTY-FOUR (24) HOURS NOTIFICATION TO INSPECTORS OF RELEVANT AUTHORITY IS REQUIRED PRIOR TO AN INSPECTION BEING CONDUCTED ON ANY PARTICULAR PORTION OF THE WORKS.
 - THE CONTRACTOR SHALL TAKE THE UTMOST CARE TO PRESERVE EXISTING TREES. NO TREES SHALL BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT.
 - THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION VEHICLES TO THE ROAD RESERVE AND EASEMENTS. ANY DAMAGE CAUSED TO THE ALLOTMENTS MUST BE MADE GOOD.
 - THE CONTRACTOR SHALL TO THE SATISFACTION OF THE SUPERINTENDENT AND COUNCIL'S SUPERVISING OFFICER PROVIDE AND MAINTAIN ALL NECESSARY WARNING SIGNAGE, LIGHTING AND BARRICADING TO COMPLY WITH THE REQUIREMENTS OF THE ROAD MANAGEMENT ACT.
 - DISPOSAL OF EXCESS SPOIL TRUCK ROUTE AND DISPOSAL LOCATION ARE TO BE APPROVED BY THE MUNICIPAL ENGINEERING DEPARTMENT.
 - AT THE COMPLETION OF WORKS ALL RUBBISH, DEBRIS AND SURPLUS SPOIL IS TO BE REMOVED AND ALL LOTS AND ROAD RESERVE TO BE LEFT IN A TIDY CONDITION TO THE SATISFACTION OF THE SUPERINTENDENT & RELEVANT AUTHORITY.
- PROTECTION OF VEGETATION**
- NO WORKS ARE TO BE UNDERTAKEN WITHIN THE DRIP ZONE (CANOPY) OF AN EXISTING TREE UNLESS APPROVED BY THE RESPONSIBLE AUTHORITY.
 - MACHINERY IS NOT TO BE DRIVEN OVER OR PARKED WITHIN THE DRIP ZONE OF ANY TREE.
- EARTHWORKS**
- ALL EARTHWORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH AS 3798 (2007) - GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS.
 - ALL FILLING WITHIN AREAS OF PROPOSED ROAD PAVEMENT IS TO ACHIEVE A

- MINIMUM COMPACTION OF 98% STANDARD.
- ALL FILLING WITHIN OTHER AREAS IS TO ACHIEVE A MINIMUM COMPACTION OF 95% STANDARD.
 - ANY FILLING IN EXCESS OF 300mm DEPTH IS TO BE CARRIED OUT UNDER LEVEL 1 SUPERVISION UNLESS DIRECTED OTHERWISE. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL & FILLED USING APPROVED CLAY FILL. TOPSOIL IS TO BE REPLACED NO MORE THAN 150mm THICK TO OBTAIN FINAL FILL LEVELS AS SHOWN ON PLANS. ALL FILLING TO BE CARRIED OUT IN 150mm LAYERS AND COMPACTED AS DETAILED ABOVE IN ACCORDANCE WITH AS3798-2007 ("GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS"). ON COMPLETION THE CONTRACTOR SHALL PRESENT A "LEVEL 1" TYPED REPORT NOMINATING THE EXTENT OF FILL PLACED, ITS CONFORMANCE WITH THE SPECIFICATION AND ITS CLASSIFICATION AS "CONTROLLED FILL". IF ANY SUBSTANDARD FILLING IS ENCOUNTERED ON THE SITE IT MUST BE REMOVED AND REPLACED WITH VERIFICATION PROVIDED TO THE SUPERVISING ENGINEER. A GEO-TECHNICAL REPORT MUST BE SUBMITTED SHOWING DETAILS OF DEPTH, TYPE OF MATERIAL AND DENSITY OF THE FILL AREAS CONCERNED.
 - THE SUPERINTENDENT IS TO BE ADVISED OF ANY FILLING THAT ACHIEVES A DEPTH OF 300mm OR GREATER.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL IMPORTED FILL MATERIAL, INCLUDING TOPSOIL, SATISFIES THE DESCRIPTION FOR CLEAN FILL MATERIAL IN EPA BULLETIN PUBLICATION NO. 448 (MAY 2007) AND SUBSEQUENT REVISIONS. THE CONTRACTOR SHALL PROVIDE VERIFICATION INCLUDING TEST CERTIFICATES TO THE SUPERVISING ENGINEER.
 - ALL TRENCHES ARE TO ACHIEVE THE SPECIFIED COMPACTION RESULTS WITHOUT EXCEPTION. THE SUPERINTENDENT RESERVES THE RIGHT TO REQUIRE COMPACTION TESTING BY A NATA APPROVED LABORATORY AT THE CONTRACTORS EXPENSE.
 - ALL EXCAVATIONS OF DEPTH 1.5m OR GREATER MUST COMPLY WITH LEGISLATION ENFORCED BY WORKSAFE VICTORIA: A "NOTICE OF INTENTION TO COMMENCE EXCAVATION" MUST BE SUBMITTED TO YOUR LOCAL WORKSAFE OFFICE.
 - ALL LOTS ARE TO ACHIEVE A MINIMUM CROSS FALL OF 1 IN 150 (0.67%) TO A LEGAL POINT OF DISCHARGE (DRAINAGE POINT OR ROAD RESERVE) UNLESS STATED OTHERWISE.
 - RESERVES TO BE FREE DRAINING AND TO BE LEFT IN A CONDITION SATISFACTORY TO THE SUPERINTENDENT.
- ROAD WORKS AND FOOTPATHS**
- ALL KERB & CHANNEL IS SM2 (EDCM 302) UNLESS STATED OTHERWISE.

- ALL ASPHALT ROAD SEALS ARE TO BE 7mm TYPE 'N' UNLESS STATED OTHERWISE.
 - ALL KERB RADII ARE TO BACK OF KERB UNLESS STATED OTHERWISE.
 - ALL FOOTPATHS ARE TO BE CONSTRUCTED AS PER THE EDM SERIES 400 STANDARD DRAWINGS AND IN ACCORDANCE WITH COUNCIL STANDARDS UNLESS STATED OTHERWISE.
 - TGSSs ARE TO BE INSTALLED ON ALL PEDESTRIAN CROSSINGS AS PER AS 1428.4.
 - ALL NEW INTERSECTIONS ARE TO HAVE STREET SIGNS INSTALLED TO COUNCIL STANDARDS IRRESPECTIVE OF WHETHER THEY ARE DETAILED ON THE ENGINEERING PLANS OR NOT.
 - AT ALL TEMPORARY STAGE BOUNDARY TERMINATIONS TO ROADS THE CONTRACTOR IS TO INSTALL A D4-5 HAZARD SIGN.
 - ALL CONCRETE IS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25MPa AT 28 DAYS AND MINIMUM CEMENT CONTENT OF 320 kg/m³.
 - TRANSITIONS BETWEEN DIFFERENT KERB TYPES TO BE OVER 3.0m MINIMUM. IF IT CANNOT BE ACHIEVED AT A PRAM CROSSING OR DRIVEWAY CROSSOVER.
 - ROAD PAVEMENT COMPACTION & TESTING REQUIREMENTS ARE AS PER THE EDM.
- STORMWATER DRAINAGE AND SERVICE CONDUIT NOTES**
- ALL EASEMENT DRAINAGE PIPES ARE 1.0m OFFSET TITLE BOUNDARY UNLESS DIMENSIONED OTHERWISE.
 - ALL EASEMENT DRAINAGE PITS ARE TO BE 1.0m PAST TITLE BOUNDARY UNLESS DIMENSIONED OTHERWISE.
 - ALL PROPERTY DRAINAGE CONNECTIONS FROM ROAD RESERVES ARE TO ENTER THE PROPERTY 1.0m O/S SIDE BOUNDARY ON THE LOW SIDE WITH 0.5m COVER UNLESS NOTED OTHERWISE.
 - ALL STORMWATER AND CONDUIT TRENCHES UNDER ROAD PAVEMENT, KERB & CHANNEL AND FOOTPATH SHALL BE BACKFILLED IN ACCORDANCE WITH THE EDM UNLESS STATED OTHERWISE.
 - REFER TO THE CERTIFIED PLAN OF SUBDIVISION FOR ALL EASEMENT WIDTHS, DO NOT SCALE FROM DRAWING.
 - STORMWATER DRAINS SHALL BE RCP FLUSH JOINTED CLASS 2 OR PVC CLASS S8B UNLESS OTHERWISE SHOWN.

- ALL RCP FLUSH JOINTED PIPES BELOW 600mm DIA ARE TO HAVE EXTERIOR MORTARED JOINTS. ALL PIPES 600 DIA AND GREATER ARE TO HAVE INTERIOR MORTAR JOINTS.
 - ALL PROPOSED DRAINAGE STUBS TO BE BLANKED OFF AT END OF PIPE WITH TIMBER PLANKS TO THE SATISFACTION OF THE SUPERVISING ENGINEER.
 - ALL CONDUIT LOCATIONS ARE TO BE STAMPED IN THE CONCRETE KERBING.
 - ALL CONCRETE IS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25MPa AT 28 DAYS.
 - ALL GRATES ARE TO BE HOT DIPPED GALVANISED.
 - 100mm DEEP CATCH DRAINS TO BE CONSTRUCTED ALONG ALL EASEMENT DRAINAGE AND DIRECTED TO LEGAL POINT OF DISCHARGE.
 - STEP IRONS ARE NOT TO BE INSTALLED IN ANY DRAINAGE PIT. ACCESS LIDS ARE TO BE LOCATED TO ENABLE REASONABLE ACCESS.
 - ALL HOUSE DRAIN CONNECTIONS TO REINFORCED CONCRETE PIPES ARE TO UTILISE "CONCONNECT" OR COUNCIL APPROVED EQUIVALENT PRODUCTS TO AVOID PIPE PROTRUSIONS INTO THE LARGER PIPE.
 - REFER ROAD LAYOUT PLANS FOR WATER & GAS ROAD SERVICE CONDUIT LOCATIONS. INTERSECTION DETAILS PLANS DO NOT SHOW CONDUITS.
 - ELECTRICITY & TELECOMMUNICATIONS CONDUITS SHOWN ON THESE PLANS ARE CONCEPTUAL ONLY. REFER TO ELECTRICITY & TELECOMMUNICATIONS PLANS FOR ACTUAL ROAD SERVICE CONDUIT LOCATIONS. IF THERE ARE ANY DISCREPANCIES BETWEEN THESE PLANS CONTACT SUPERINTENDENT FOR CLARIFICATION.
- CONSTRUCTION HOLD POINTS**
- CONSTRUCTION HOLD POINTS ARE TO BE IN ACCORDANCE WITH THE EDM
- EMERGENCY CONTACTS**
- THE PROJECT AREA CONTAINS THE FOLLOWING SERVICES FOR ASSISTANCE IN EMERGENCY CONTACT:

SERVICE	AUTHORITY & CONTACT	TELEPHONE
DRAINAGE	CITY OF GREATER BENDIGO	5434 6000
ELECTRICITY	POWERCOR	132 412
GAS	SP AUSNET	136 707
COMMUNICATIONS	TELSTRA	132 203
SEWER & WATER	COLIBAN WATER	1300 363 200
 - IN ANY EMERGENCY IF YOU BELIEVE LIFE OR PROPERTY IS THREATENED DO NOT HESITATE TO CONTACT STATE EMERGENCY SERVICES ON TELEPHONE 000.

REV	DESCRIPTION	DES	DWG	CHK	ATH	DATE
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22



HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM

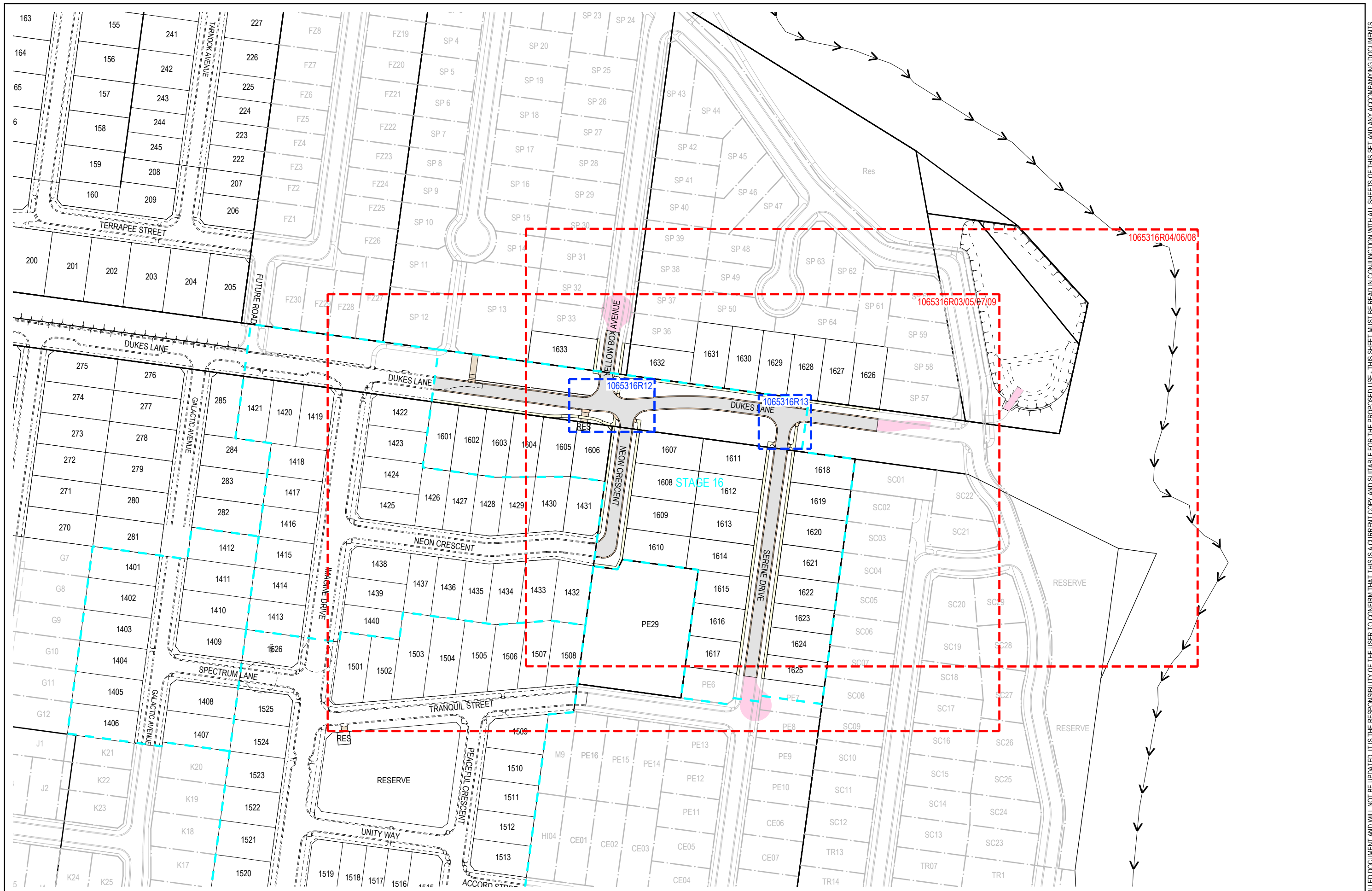


SCALE N/A
 LENGTHS ARE IN METRES - PAPER SIZE A3

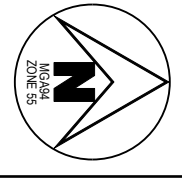
© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
 LOCALITY PLAN & GENERAL NOTES
 CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD
 DWG STATUS: PROJECT & DWG No: REV:
FOR CONSTRUCTION 1065316R01 / 35 G

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\TZ\DATA\TOMKINSON\1065316-STRATHFIELDSAYE-IMAGINE\STAGE 16_28262ENG000\CURRENT\1065316 R-D PLANS REV.G.DWG



G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WING WALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE



Tomkinson
 SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT
 HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM



SCALE 1:2,000
 LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.

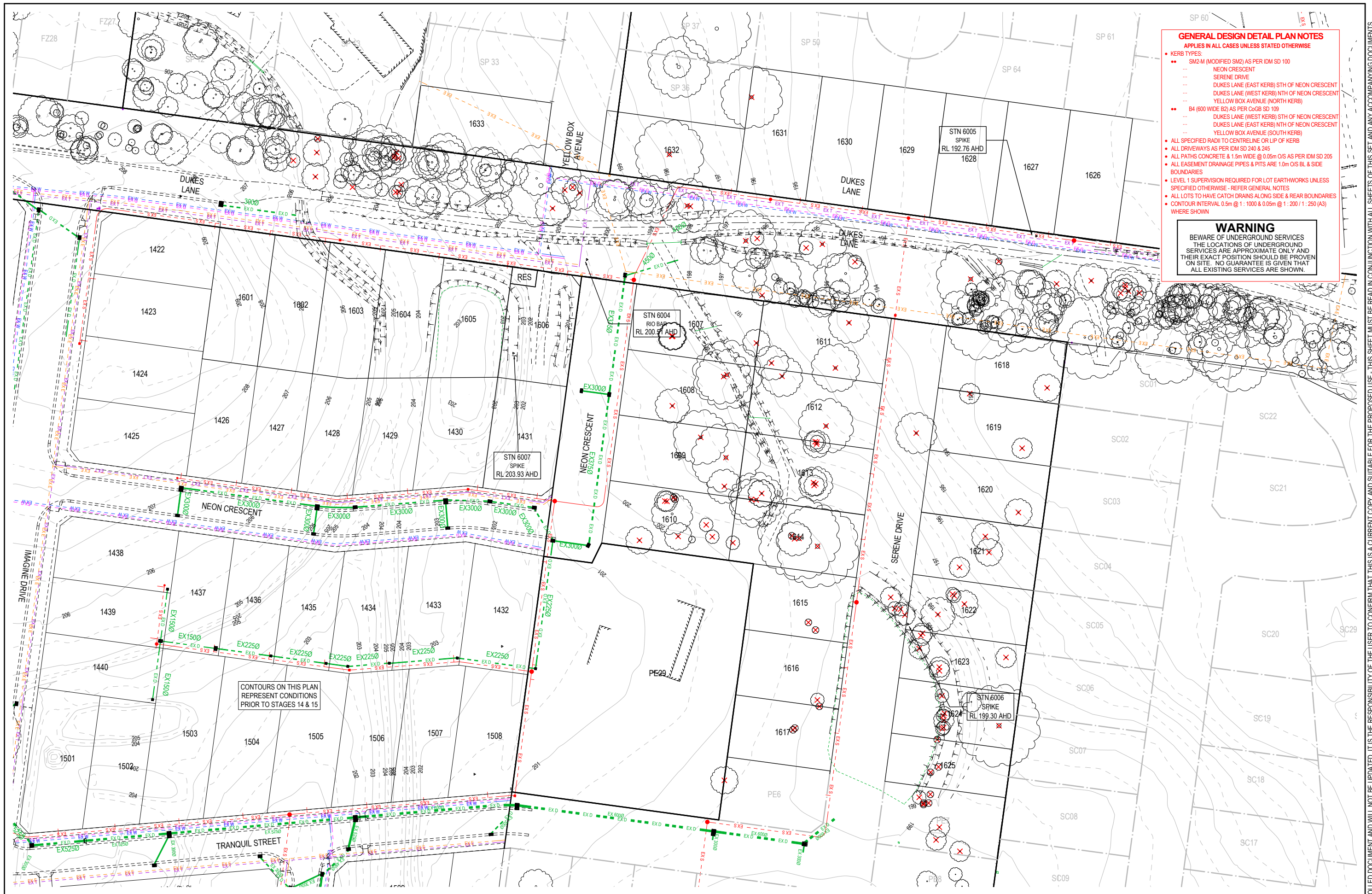
DIAL BEFORE YOU DIG
 www.100.com.au

COMPASS ASSURANCE
 ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
OVERALL DEVELOPMENT PLAN
 CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD

DWG STATUS: **FOR CONSTRUCTION** PROJECT & DWG No: 1065316R02 / 35 REV: G

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\12\DATA\TOMKINSON\1065316 - STRATHFIELDSAYE - IMAGINE STAGE 16 - 2882ENGIN000\CURRENT\1065316 R-D PLANS REV.G.DWG



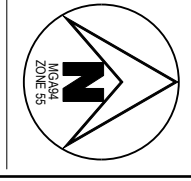
GENERAL DESIGN DETAIL PLAN NOTES
 APPLIES IN ALL CASES UNLESS STATED OTHERWISE

- KERB TYPES:
 - SM2-M (MODIFIED SM2) AS PER IDM SD 100
 - NEON CRESCENT
 - SERENE DRIVE
 - DUKES LANE (EAST KERB) STH OF NEON CRESCENT
 - DUKES LANE (WEST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (NORTH KERB)
 - B4 (600 WIDE B2) AS PER CoGB SD 109
 - DUKES LANE (WEST KERB) STH OF NEON CRESCENT
 - DUKES LANE (EAST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (SOUTH KERB)
- ALL SPECIFIED RADI TO CENTRELINE OR LIP OF KERB
- ALL DRIVEWAYS AS PER IDM SD 240 & 245
- ALL PATHS CONCRETE & 1.5m WIDE @ 0.05m O/S AS PER IDM SD 205
- ALL EASEMENT DRAINAGE PIPES & PITS ARE 1.0m O/S BL & SIDE BOUNDARIES
- LEVEL 1 SUPERVISION REQUIRED FOR LOT EARTHWORKS UNLESS SPECIFIED OTHERWISE - REFER GENERAL NOTES
- ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR BOUNDARIES
- CONTOUR INTERVAL 0.5m @ 1:1000 & 0.05m @ 1:200 / 1:250 (A3) WHERE SHOWN

WARNING
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

CONTOURS ON THIS PLAN REPRESENT PRIOR CONDITIONS PRIOR TO STAGES 14 & 15

G	CHANGED RETAINING WALL NOTE	NB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NB	NB	NB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE



Tomkinson
 SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT

HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM



SCALE 1:1,000
 LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.

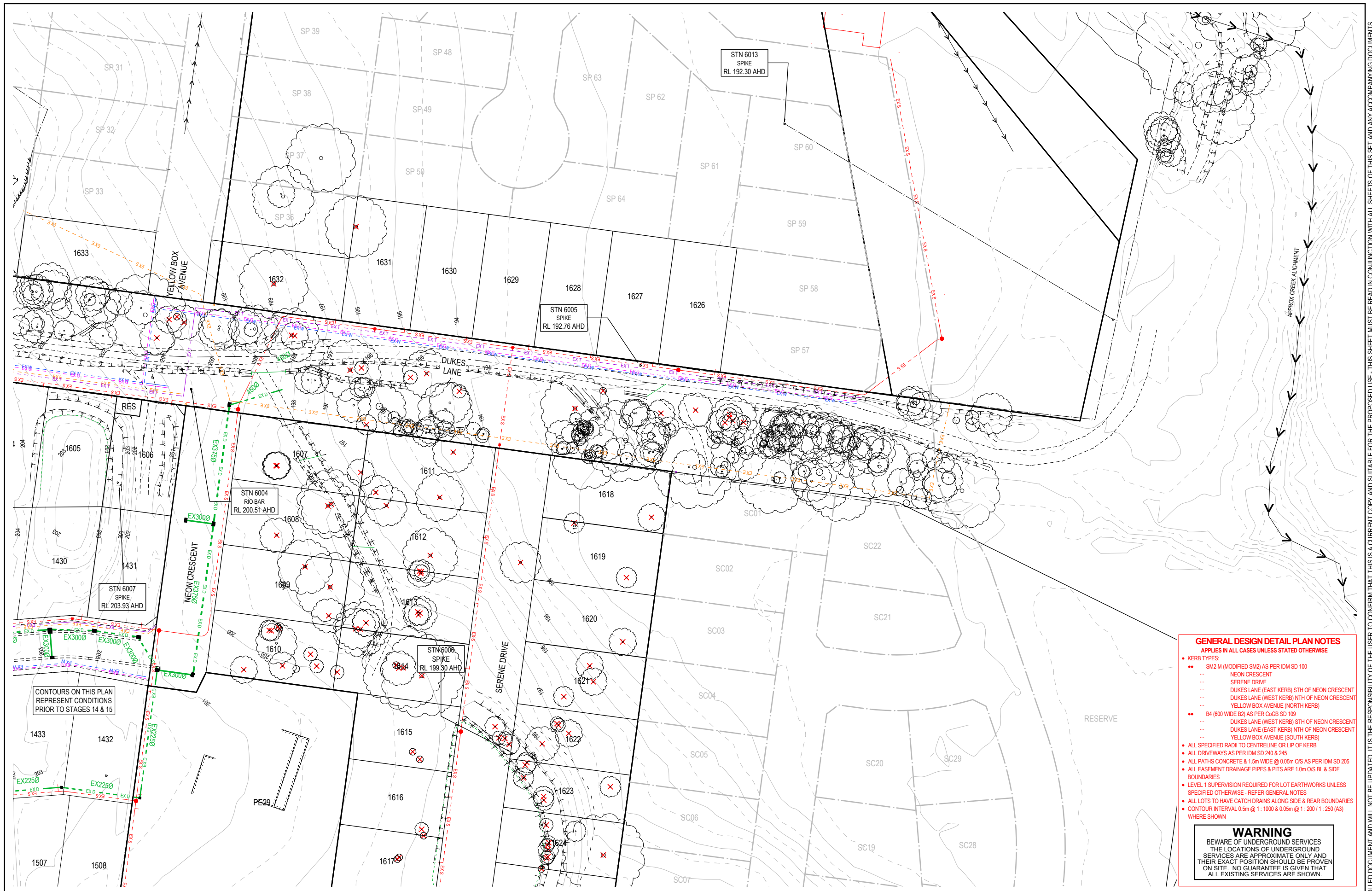
DIAL BEFORE YOU DIG
 www.1100.com.au

COMPASS ASSURANCE
 ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
 EXISTING CONDITIONS & TBM PLAN (SHEET 1 OF 2)
 CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD

DWG STATUS: PROJECT & DWG No: REV: **FOR CONSTRUCTION** 1065316R03 / 35 G

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\12\DATA\1065316-STRATHFIELDSAYE-STRATHFIELDSAYE HOLDINGS PTY LTD-2882ENG000\CURRENT\1065316 R-D PLANS REV.DWG

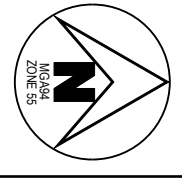


GENERAL DESIGN DETAIL PLAN NOTES
 APPLIES IN ALL CASES UNLESS STATED OTHERWISE

- KERB TYPES:
 - SM2-M (MODIFIED SM2) AS PER IDM SD 100
 - NEON CRESCENT
 - SERENE DRIVE
 - DUKES LANE (EAST KERB) STH OF NEON CRESCENT
 - DUKES LANE (WEST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (NORTH KERB)
 - B4 (600 WIDE B2) AS PER CoGB SD 109
 - DUKES LANE (WEST KERB) STH OF NEON CRESCENT
 - DUKES LANE (EAST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (SOUTH KERB)
- ALL SPECIFIED RADII TO CENTRELINE OR LP OF KERB
- ALL DRIVEWAYS AS PER IDM SD 240 & 245
- ALL PATHS CONCRETE & 1.5m WIDE @ 0.05m O/S AS PER IDM SD 205
- ALL EASEMENT DRAINAGE PIPES & PITS ARE 1.0m O/S BL & SIDE BOUNDARIES
- LEVEL 1 SUPERVISION REQUIRED FOR LOT EARTHWORKS UNLESS SPECIFIED OTHERWISE - REFER GENERAL NOTES
- ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR BOUNDARIES
- CONTOUR INTERVAL 0.5m @ 1:1000 & 0.05m @ 1:200 / 1:250 (A3) WHERE SHOWN

WARNING
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE



Tomkinson
 SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT

HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM

imagine
 STRATHFIELDSAYE

SCALE 1:1,000
 LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT

DIAL BEFORE YOU DIG
 www.1100.com.au

COMPASS ASSURANCE
 ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
 EXISTING CONDITIONS & TBM PLAN (SHEET 2 OF 2)

CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD

DWG STATUS: PROJECT & DWG No: REV:
FOR CONSTRUCTION 1065316R04 / 35 G

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\12\DATA\TOMKINSON\1065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_2882ENG000\CURRENT\1065316 R-D PLANS REV.DWG

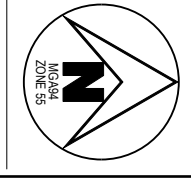


GENERAL DESIGN DETAIL PLAN NOTES
 APPLIES IN ALL CASES UNLESS STATED OTHERWISE

- KERB TYPES:
 - SM2-M (MODIFIED SM2) AS PER IDM SD 100
 - NEON CRESCENT
 - SERENE DRIVE
 - DUKES LANE (EAST KERB) STH OF NEON CRESCENT
 - DUKES LANE (WEST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (NORTH KERB)
 - B4 (60 WIDE B2) AS PER CoGB SD 109
 - DUKES LANE (WEST KERB) STH OF NEON CRESCENT
 - DUKES LANE (EAST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (SOUTH KERB)
- ALL SPECIFIED RADI TO CENTRELINE OR LIP OF KERB
- ALL DRIVEWAYS AS PER IDM SD 240 & 245
- ALL PATHS CONCRETE & 1.5m WIDE @ 0.05m O/S AS PER IDM SD 205
- ALL EASEMENT DRAINAGE PIPES & PITTS ARE 1.0m O/S BL & SIDE BOUNDARIES
- LEVEL 1 SUPERVISION REQUIRED FOR LOT EARTHWORKS UNLESS SPECIFIED OTHERWISE - REFER GENERAL NOTES
- ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR BOUNDARIES
- CONTOUR INTERVAL 0.5m @ 1:1000 & 0.05m @ 1:200 / 1:250 (A3) WHERE SHOWN

WARNING
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

G	CHANGED RETAINING WALL NOTE	NB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WING WALL - MOVE 1633 RET WALL INSIDE TITLE	NB	NB	NB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE



Tomkinson
 SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT

HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM



SCALE 1:1,000
 LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT
 THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT

DIAL BEFORE YOU DIG
 www.1100.com.au

COMPASS ASSURANCE
 ISO 9001 QUALITY

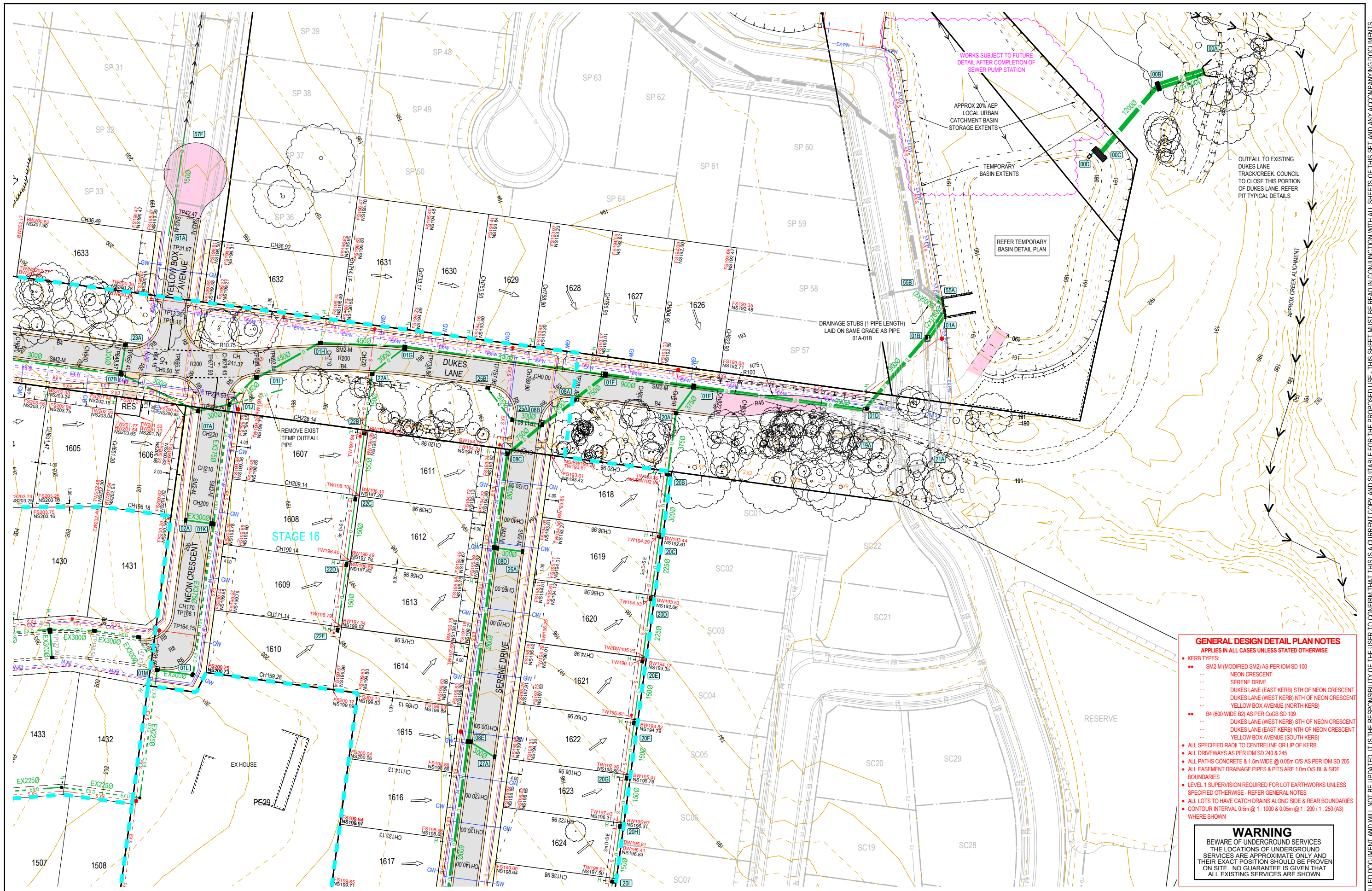
IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
 CONSTRUCTION LAYOUT PLAN (SHEET 1 OF 2)

CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD

DWG STATUS: PROJECT & DWG No: 1065316R05 / 35
 REV: G

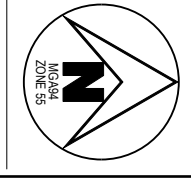
FOR CONSTRUCTION

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS.
 PLOT DATE: 28/11/2022 FILE: C:\TZ\DATA\TOMKINSON\1205011065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_2862ENG000\CURRENT\1065316 R-D PLANS REV.G.DWG



- GENERAL DESIGN DETAIL PLAN NOTES**
 APPLIES IN ALL CASES UNLESS STATED OTHERWISE
- KERB TYPES:
 - SM2-M (MODIFIED SM2) AS PER IDM SD 100
 - NEON CRESCENT
 - SERENE DRIVE
 - DUKES LANE (EAST KERB) STH OF NEON CRESCENT
 - DUKES LANE (WEST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (NORTH KERB)
 - B4 (600 WIDE B2) AS PER CoGB SD 109
 - DUKES LANE (WEST KERB) STH OF NEON CRESCENT
 - DUKES LANE (EAST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (SOUTH KERB)
 - ALL SPECIFIED RADII TO CENTRELINE OR LP OF KERB
 - ALL DRIVEWAYS AS PER IDM SD 240 & 245
 - ALL PATHS CONCRETE & 1.5m WIDE @ 0.05m O/S AS PER IDM SD 205
 - ALL EASEMENT DRAINAGE PIPES & PITS ARE 1.0m O/S BL & SIDE BOUNDARIES
 - LEVEL 1 SUPERVISION REQUIRED FOR LOT EARTHWORKS UNLESS SPECIFIED OTHERWISE - REFER GENERAL NOTES
 - ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR BOUNDARIES
 - CONTOUR INTERVAL 0.5m @ 1:1000 & 0.05m @ 1:200 / 1:250 (A3) WHERE SHOWN
- WARNING**
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

G	CHANGED RETAINING WALL NOTE	NB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WING WALL - MOVE 1633 RET WALL INSIDE TITLE	NB	NB	NB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE



Tomkinson
 SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT

HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM



SCALE 1:1,000
 LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.

DIAL BEFORE YOU DIG
 www.1100.com.au

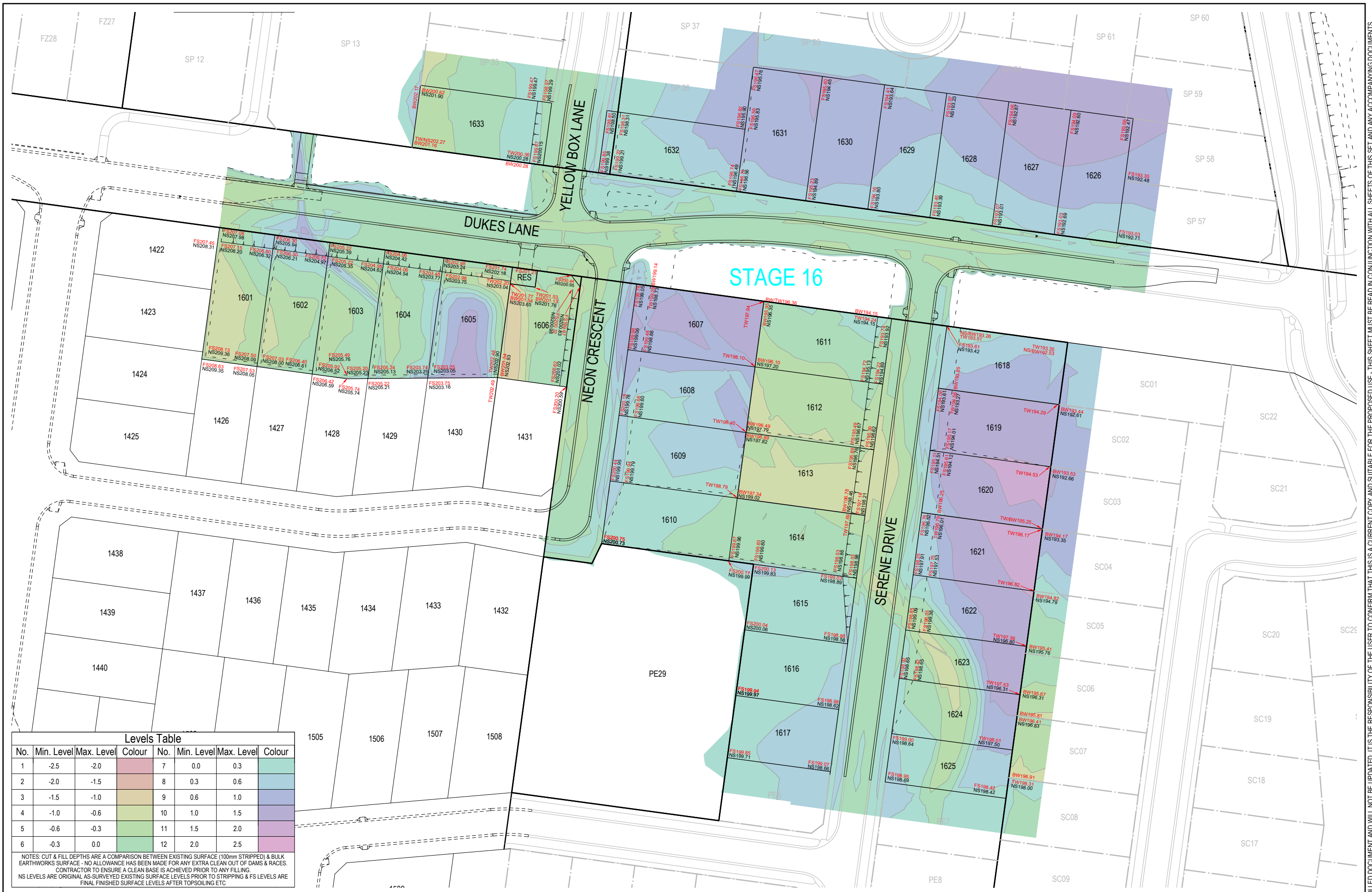
COMPASS ASSURANCE
 ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
 CONSTRUCTION LAYOUT PLAN (SHEET 2 OF 2)

CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD

DWG STATUS: PROJECT & DWG No: **FOR CONSTRUCTION** 1065316R06 / 35

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\12\DATA\1065316\1205011065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_2862ENG000\CAD\CURRENT\1065316 R-D PLANS REV.G.DWG



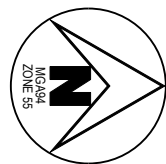
Levels Table

No.	Min. Level	Max. Level	Colour	No.	Min. Level	Max. Level	Colour
1	-2.5	-2.0	Red	7	0.0	0.3	Light Green
2	-2.0	-1.5	Orange	8	0.3	0.6	Light Blue
3	-1.5	-1.0	Yellow	9	0.6	1.0	Light Purple
4	-1.0	-0.6	Light Green	10	1.0	1.5	Light Blue
5	-0.6	-0.3	Green	11	1.5	2.0	Light Purple
6	-0.3	0.0	Light Green	12	2.0	2.5	Light Purple

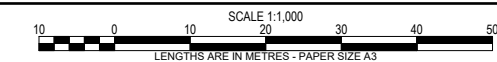
NOTES: CUT & FILL DEPTHS ARE A COMPARISON BETWEEN EXISTING SURFACE (100mm STRIPPED) & BULK EARTHWORKS SURFACE - NO ALLOWANCE HAS BEEN MADE FOR ANY EXTRA CLEAN OUT OF DAMS & RACES. CONTRACTOR TO ENSURE A CLEAN BASE IS ACHIEVED PRIOR TO ANY FILLING. NS LEVELS ARE ORIGINAL AS-SURVEYED EXISTING SURFACE LEVELS PRIOR TO STRIPPING & FS LEVELS ARE FINAL FINISHED SURFACE LEVELS AFTER TOPSOILING ETC.

REV	DESCRIPTION	DES	DWG	CHK	ATH	DATE
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22

DES	DWG	CHK	ATH	DATE
NJB	SA	HB	AR	29/11/22
NJB	SR	HB	AR	17/11/22
NJB	SA	HB	AR	07/11/22
NJB	SA	HB	AR	18/08/22
NJB	NJB	NJB	AR	08/08/22
NJB	ZD	AR	AR	31/05/22



Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM



© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.



IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
CUT & FILL DEPTH RANGE & LOT LEVELS
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD
DWG STATUS: PROJECT & DWG No: 1065316R07 / 35
FOR CONSTRUCTION

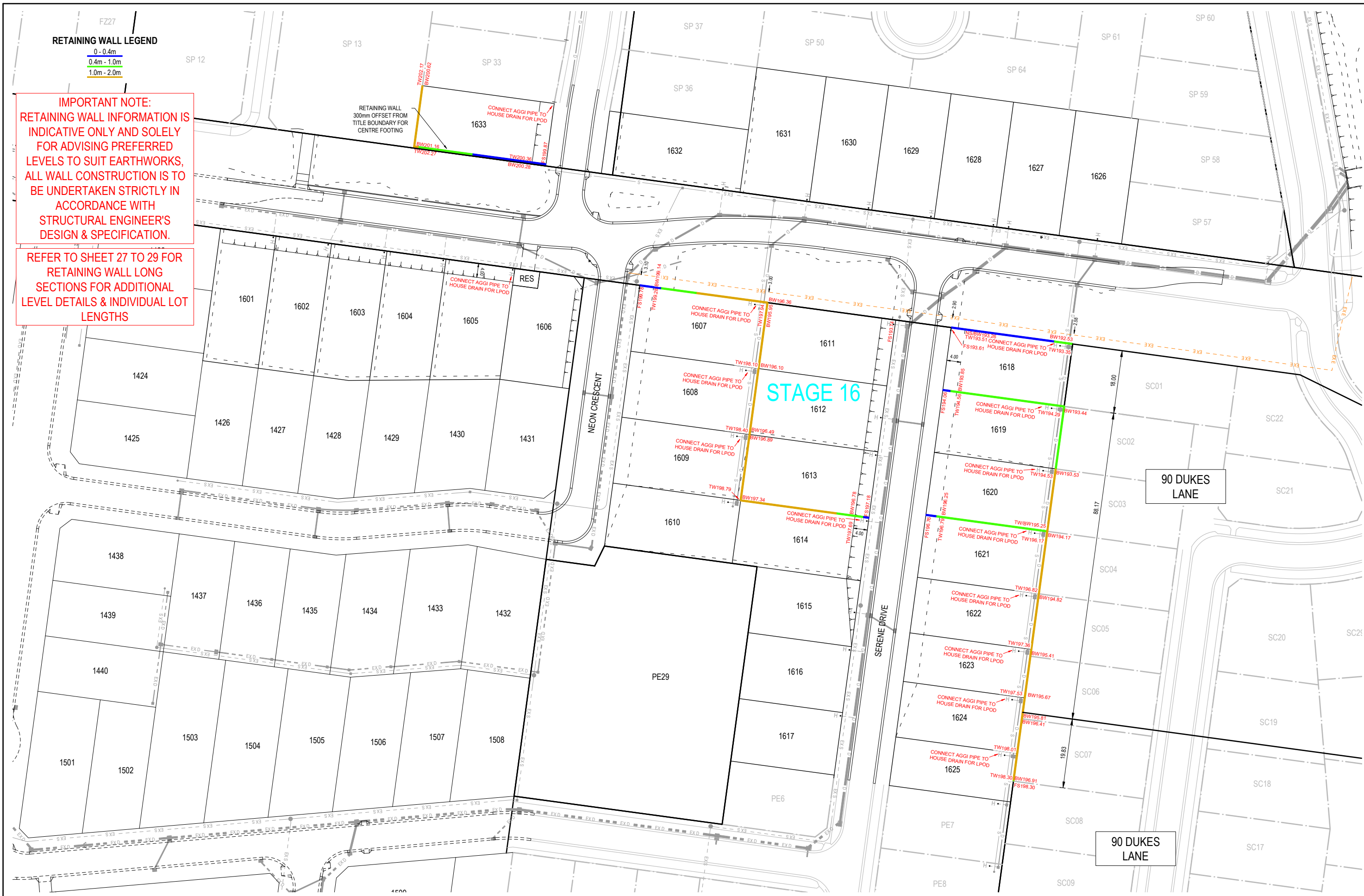
NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\TZ\DATA\TOMKINSON\1065316 - STRATHFIELDSAYE - IMAGINE STAGE 16 - 2882ENG000\CURRENT\1065316 R-D PLANS REV.G.DWG

RETAINING WALL LEGEND

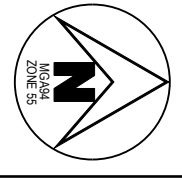
- 0 - 0.4m
- 0.4m - 1.0m
- 1.0m - 2.0m

IMPORTANT NOTE:
RETAINING WALL INFORMATION IS INDICATIVE ONLY AND SOLELY FOR ADVISING PREFERRED LEVELS TO SUIT EARTHWORKS, ALL WALL CONSTRUCTION IS TO BE UNDERTAKEN STRICTLY IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DESIGN & SPECIFICATION.

REFER TO SHEET 27 TO 29 FOR RETAINING WALL LONG SECTIONS FOR ADDITIONAL LEVEL DETAILS & INDIVIDUAL LOT LENGTHS



G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE



Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM



SCALE 1:1,000
LENGTHS ARE IN METRES - PAPER SIZE A3

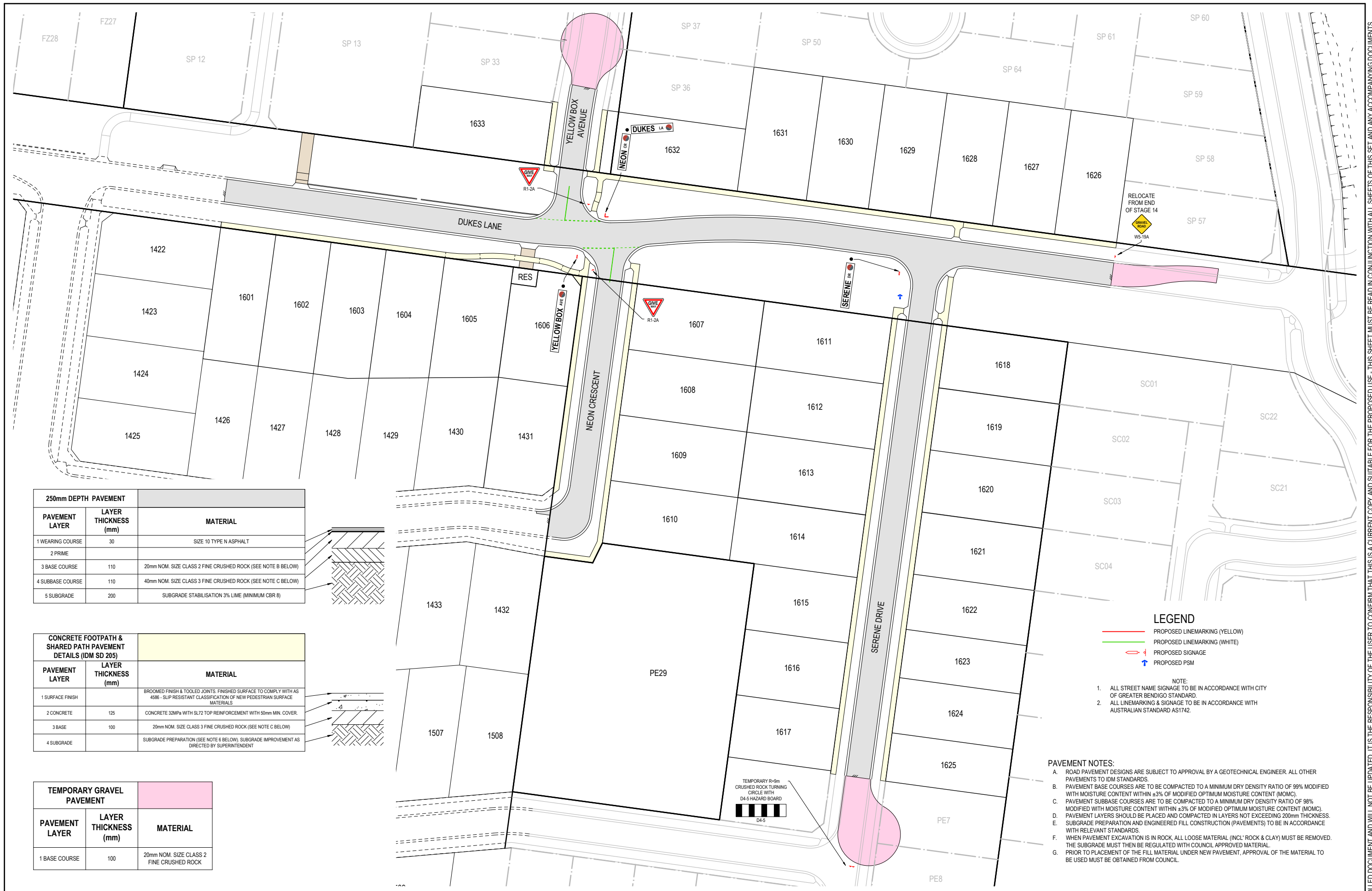
© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.

DIAL BEFORE YOU DIG
www.1100.com.au

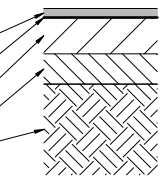
COMPASS ASSURANCE
ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
RETAINING WALL PLAN
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD
DWG STATUS: PROJECT & DWG No: REV:
FOR CONSTRUCTION 1065316R08 / 35 G

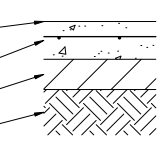
NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS.
PLOT DATE: 28/11/2022 FILE: C:\12\DATA\1065316-1\1065316-1\STRATHFIELDSAYE - IMAGINE STAGE 16 - 2882ENG000\CURRENT\1065316 R-D PLANS REV.DWG



250mm DEPTH PAVEMENT		
PAVEMENT LAYER	LAYER THICKNESS (mm)	MATERIAL
1 WEARING COURSE	30	SIZE 10 TYPE N ASPHALT
2 PRIME		
3 BASE COURSE	110	20mm NOM. SIZE CLASS 2 FINE CRUSHED ROCK (SEE NOTE B BELOW)
4 SUBBASE COURSE	110	40mm NOM. SIZE CLASS 3 FINE CRUSHED ROCK (SEE NOTE C BELOW)
5 SUBGRADE	200	SUBGRADE STABILISATION 3% LIME (MINIMUM CBR 8)



CONCRETE FOOTPATH & SHARED PATH PAVEMENT DETAILS (IDM SD 205)		
PAVEMENT LAYER	LAYER THICKNESS (mm)	MATERIAL
1 SURFACE FINISH		BROOMED FINISH & TOOLED JOINTS. FINISHED SURFACE TO COMPLY WITH AS 4586 - SLIP RESISTANT CLASSIFICATION OF NEW PEDESTRIAN SURFACE MATERIALS
2 CONCRETE	125	CONCRETE 32MPa WITH SL72 TOP REINFORCEMENT WITH 50mm MIN. COVER
3 BASE	100	20mm NOM. SIZE CLASS 3 FINE CRUSHED ROCK (SEE NOTE C BELOW)
4 SUBGRADE		SUBGRADE PREPARATION (SEE NOTE 6 BELOW). SUBGRADE IMPROVEMENT AS DIRECTED BY SUPERINTENDENT



TEMPORARY GRAVEL PAVEMENT		
PAVEMENT LAYER	LAYER THICKNESS (mm)	MATERIAL
1 BASE COURSE	100	20mm NOM. SIZE CLASS 2 FINE CRUSHED ROCK

- LEGEND**
- PROPOSED LINEMARKING (YELLOW)
 - PROPOSED LINEMARKING (WHITE)
 - PROPOSED SIGNAGE
 - PROPOSED PSM
- NOTE:
- ALL STREET NAME SIGNAGE TO BE IN ACCORDANCE WITH CITY OF GREATER BENDIGO STANDARD.
 - ALL LINEMARKING & SIGNAGE TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1742.

- PAVEMENT NOTES:**
- ROAD PAVEMENT DESIGNS ARE SUBJECT TO APPROVAL BY A GEOTECHNICAL ENGINEER. ALL OTHER PAVEMENTS TO IDM STANDARDS.
 - PAVEMENT BASE COURSES ARE TO BE COMPACTED TO A MINIMUM DRY DENSITY RATIO OF 99% MODIFIED WITH MOISTURE CONTENT WITHIN ±3% OF MODIFIED OPTIMUM MOISTURE CONTENT (MOMC).
 - PAVEMENT SUBBASE COURSES ARE TO BE COMPACTED TO A MINIMUM DRY DENSITY RATIO OF 98% MODIFIED WITH MOISTURE CONTENT WITHIN ±3% OF MODIFIED OPTIMUM MOISTURE CONTENT (MOMC).
 - PAVEMENT LAYERS SHOULD BE PLACED AND COMPACTED IN LAYERS NOT EXCEEDING 200mm THICKNESS.
 - SUBGRADE PREPARATION AND ENGINEERED FILL CONSTRUCTION (PAVEMENTS) TO BE IN ACCORDANCE WITH RELEVANT STANDARDS.
 - WHEN PAVEMENT EXCAVATION IS IN ROCK, ALL LOOSE MATERIAL (INCL. ROCK & CLAY) MUST BE REMOVED. THE SUBGRADE MUST THEN BE REGULATED WITH COUNCIL APPROVED MATERIAL.
 - PRIOR TO PLACEMENT OF THE FILL MATERIAL UNDER NEW PAVEMENT, APPROVAL OF THE MATERIAL TO BE USED MUST BE OBTAINED FROM COUNCIL.

REV	REVISION	DES	DWG	CHK	ATH	DATE
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22



Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT

HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM



SCALE 1:1,000
LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.

DIAL BEFORE YOU DIG
www.1100.com.au

COMPASS ASSURANCE
ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
PAVEMENT, SIGNAGE & LINEMARKING PLAN

CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD

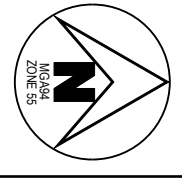
DWG STATUS: **FOR CONSTRUCTION** PROJECT & DWG No: 1065316R09 / 35 REV: G

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\12\DATA\1065316\1065316 - STRATHFIELDSAYE - IMAGINE STAGE 16 - 2882ENG000\CAD\CURRENT\1065316 R-D PLANS REV.G.DWG

NOTE:
 STREET TREES & ELECTRICAL
 CONDUITS SHOWN ON THIS PLAN
 ARE INDICATIVE ONLY AND
 STRICTLY FOR THE PURPOSE OF
 SERVICE COORDINATION. THIS IS
 NOT A FORMAL LANDSCAPING
 PLAN AND DO NOT USE THIS PLAN
 FOR THE INSTALLATION OF
 ELECTRICAL INFRASTRUCTURE.



G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE



Tomkinson
 SURVEY > ENGINEERING > PLANNING > PROJECT MANAGEMENT
 HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM



SCALE 1:1,000
 LENGTHS ARE IN METRES - PAPER SIZE A3

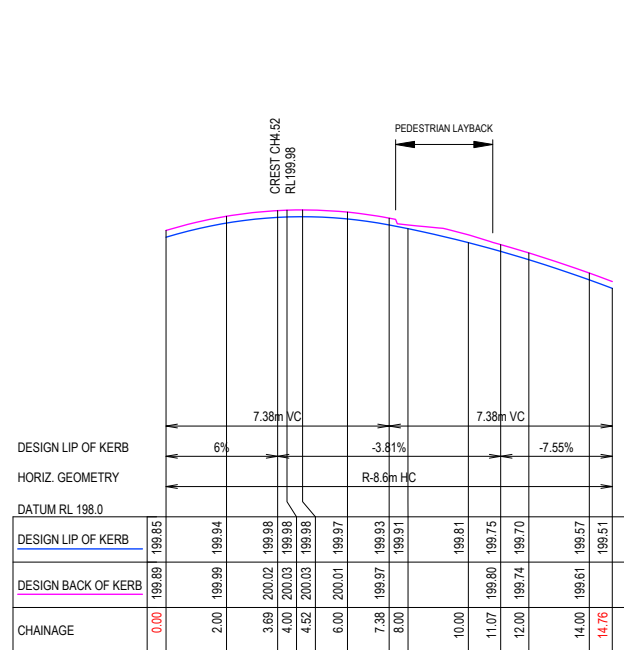
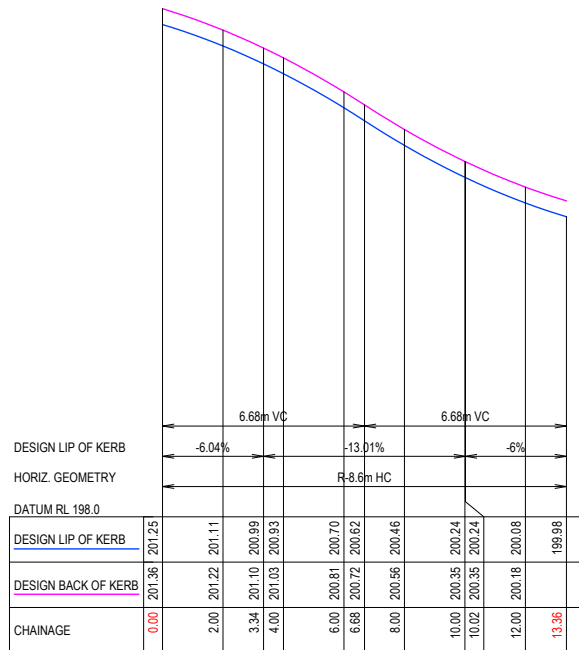
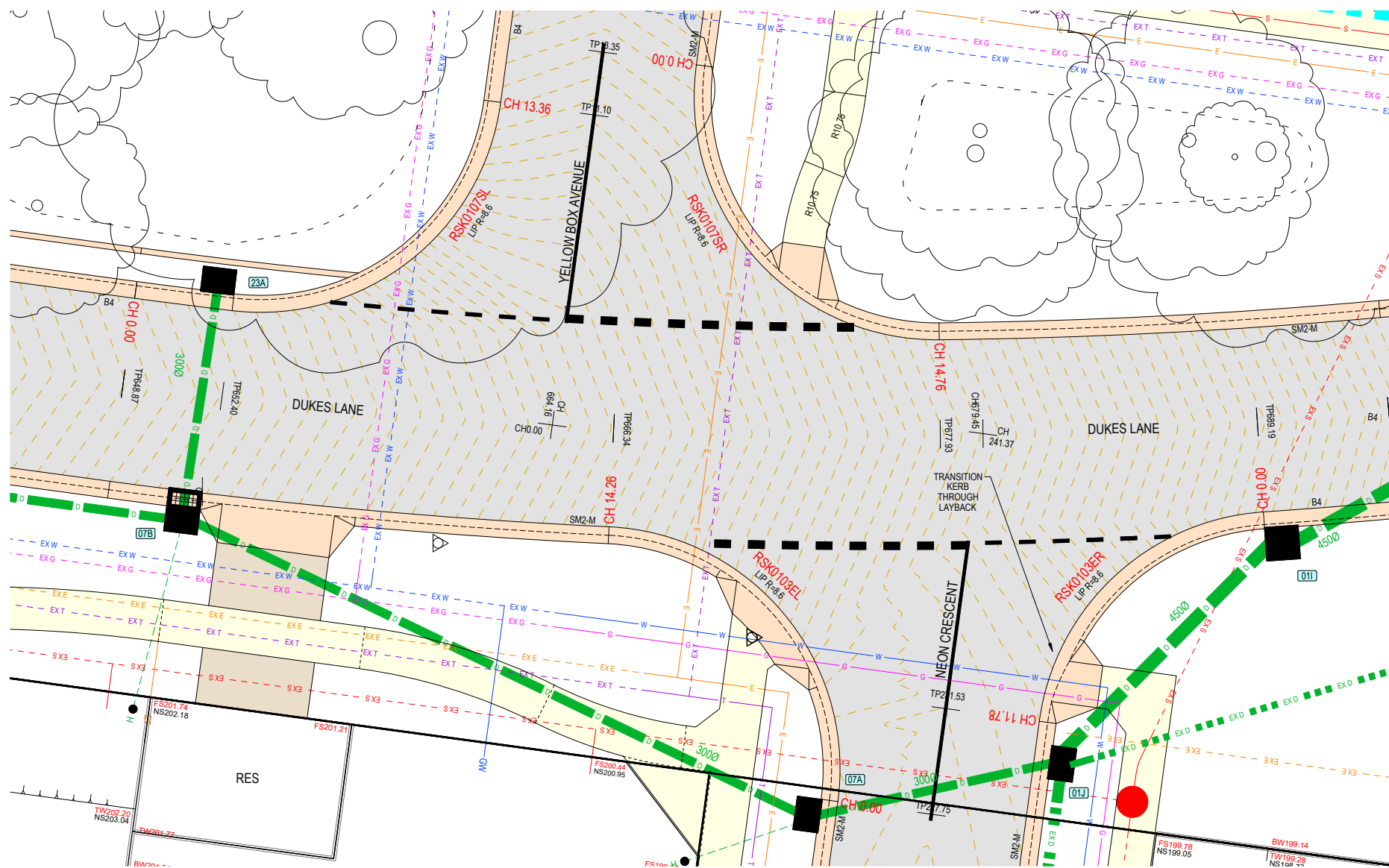
© COPYRIGHT
 THE INFORMATION CONTAINED
 ON THIS DRAWING IS THE
 INTELLECTUAL PROPERTY OF
 TOMKINSON GROUP. COPYING
 OR USING THIS DRAWING IN
 WHOLE OR IN PART WITHOUT
 THE EXPRESS WRITTEN
 PERMISSION OF TOMKINSON
 GROUP INFRINGES COPYRIGHT

DIAL BEFORE YOU DIG
 www.100.com.au

COMPASS ASSURANCE
 ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
STREET TREE CONCEPT PLAN
 CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD
 DWG STATUS: PROJECT & DWG No: REV:
FOR CONSTRUCTION 1065316R10 / 35 G

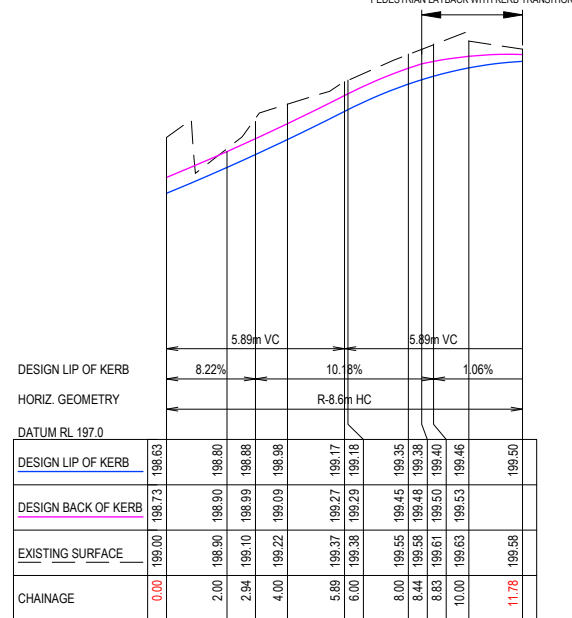
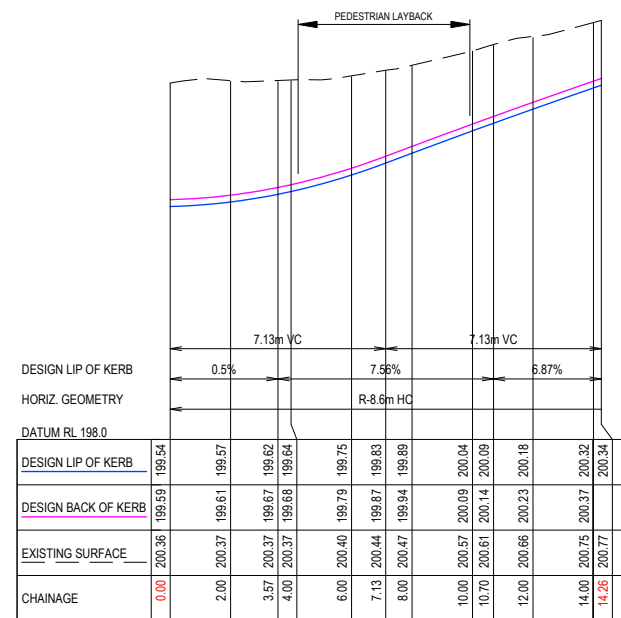
NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS.
 PLOT DATE: 28/11/2022 FILE: C:\12\DATA\TOMKINSON\1205011065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_28281ENG000\CURRENT\1065316 R-D PLANS REV.G.DWG



GENERAL DESIGN DETAIL PLAN NOTES
APPLIES IN ALL CASES UNLESS STATED OTHERWISE

- KERB TYPES:
 - SM2-M (MODIFIED SM2) AS PER IDM SD 100
 - NEON CRESCENT
 - SERENE DRIVE
 - DUKES LANE (EAST KERB) STH OF NEON CRESCENT
 - DUKES LANE (WEST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (NORTH KERB)
 - B4 (600 WIDE B2) AS PER CoB SD 109
 - DUKES LANE (WEST KERB) STH OF NEON CRESCENT
 - DUKES LANE (EAST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (SOUTH KERB)
- ALL SPECIFIED RADI TO CENTRELINE OR LIP OF KERB
 - ALL DRIVEWAYS AS PER IDM SD 240 & 245
 - ALL PATHS CONCRETE & 1.5m WIDE @ 0.05m O/S AS PER IDM SD 205
 - ALL EASEMENT DRAINAGE PIPES & PITS ARE 1.0m O/S BL & SIDE BOUNDARIES
 - LEVEL 1 SUPERVISION REQUIRED FOR LOT EARTHWORKS UNLESS SPECIFIED OTHERWISE - REFER GENERAL NOTES
 - ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR BOUNDARIES
 - CONTOUR INTERVAL 0.5m @ 1:1000 & 0.05m @ 1:200 / 1:250 (A3) WHERE SHOWN

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.



RSK0107SL
SCALE H 1 : 250 V 1 : 50

RSK0107SR
SCALE H 1 : 250 V 1 : 50

RSK0103EL
SCALE H 1 : 250 V 1 : 50

RSK0103ER
SCALE H 1 : 250 V 1 : 50

G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE



Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT

HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

imagine
STRATHFIELDSAYE

SCALE 1:200
LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT

DIAL BEFORE YOU DIG
www.1100.com.au

COMPASS ASSURANCE
ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
INTERSECTION DETAILS (SHEET 1 OF 2)

CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD

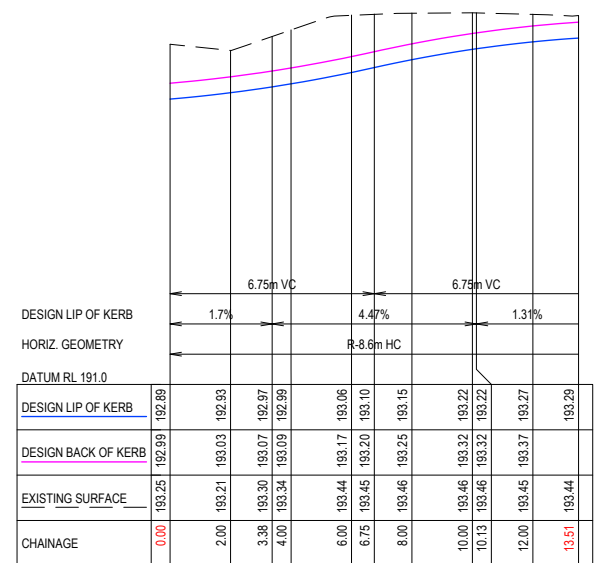
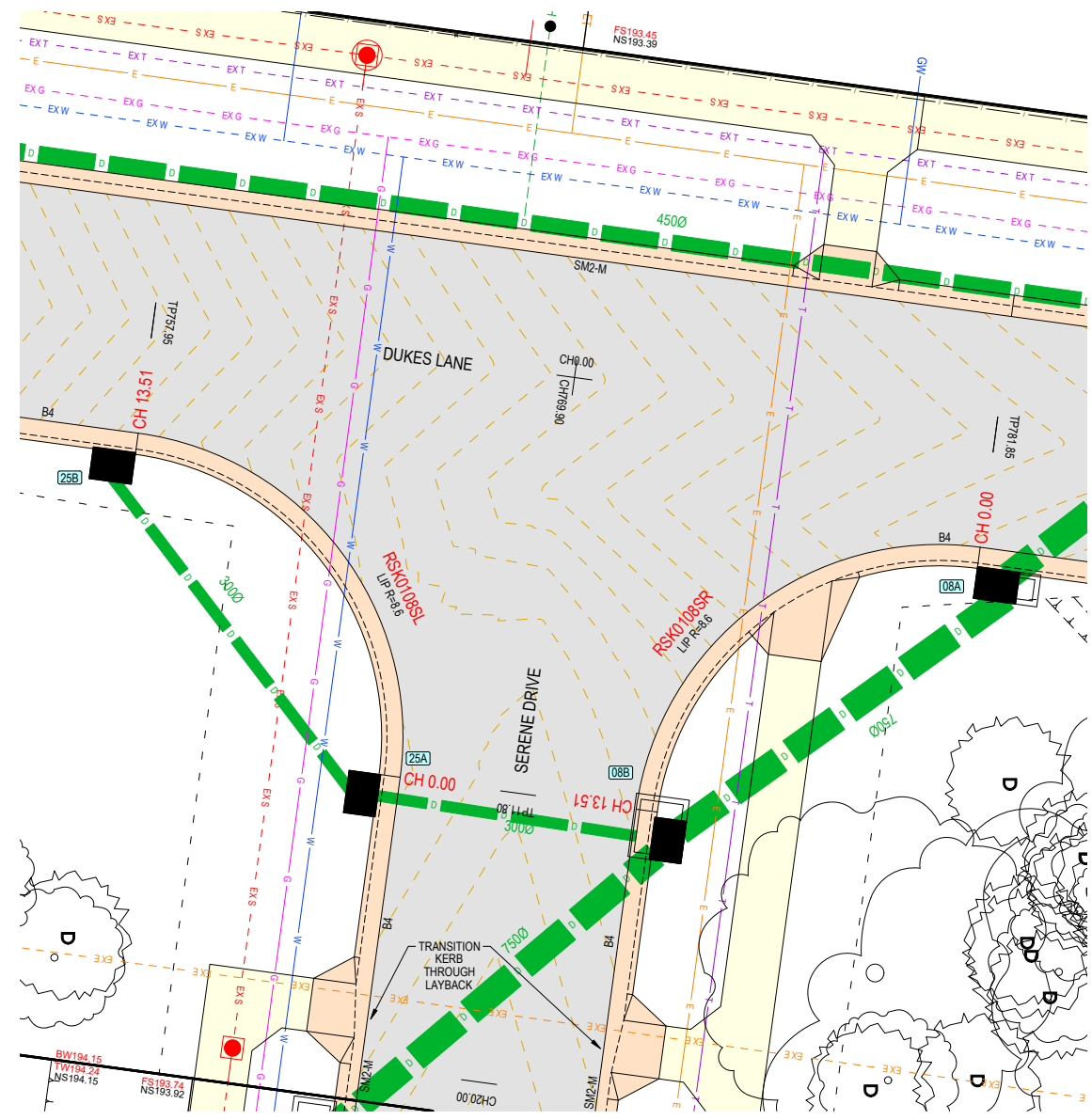
DWG STATUS: PROJECT & DWG No: 1065316R11 / 35

FOR CONSTRUCTION

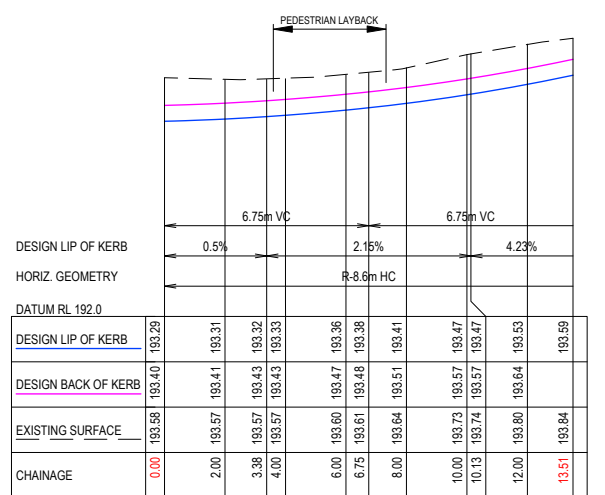
NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\1065316 R-D PLANS REV.G.DWG

- GENERAL DESIGN DETAIL PLAN NOTES**
 APPLIES IN ALL CASES UNLESS STATED OTHERWISE
- KERB TYPES:
 - SM2-M (MODIFIED SM2) AS PER IDM SD 100
 - NEON CRESCENT
 - SERENE DRIVE
 - DUKES LANE (EAST KERB) STH OF NEON CRESCENT
 - DUKES LANE (WEST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (NORTH KERB)
 - B4 (600 WIDE B2) AS PER CoGB SD 109
 - DUKES LANE (WEST KERB) STH OF NEON CRESCENT
 - DUKES LANE (EAST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (SOUTH KERB)
 - ALL SPECIFIED RADII TO CENTRELINE OR LIP OF KERB
 - ALL DRIVEWAYS AS PER IDM SD 240 & 245
 - ALL PATHS CONCRETE & 1.5m WIDE @ 0.05m O/S AS PER IDM SD 205
 - ALL EASEMENT DRAINAGE PIPES & PITS ARE 1.0m O/S BL & SIDE BOUNDARIES
 - LEVEL 1 SUPERVISION REQUIRED FOR LOT EARTHWORKS UNLESS SPECIFIED OTHERWISE - REFER GENERAL NOTES
 - ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR BOUNDARIES
 - CONTOUR INTERVAL 0.5m @ 1:1000 & 0.05m @ 1:200 (1:250 (A3) WHERE SHOWN)

WARNING
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.



RSK0108SL
 SCALE H 1:250 V 1:50



RSK0108SR
 SCALE H 1:250 V 1:50

REV	DES	DWG	CHK	ATH	DATE
G	NB	SA	HB	AR	29/11/22
F	NB	SR	HB	AR	17/11/22
E	NB	SA	HB	AR	07/11/22
D	NB	SA	HB	AR	18/08/22
C	NB	NB	NB	AR	08/08/22
B	NB	ZD	AR	AR	31/05/22



Tomkinson
 SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT
 HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM



SCALE 1:200
 LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT
 THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT

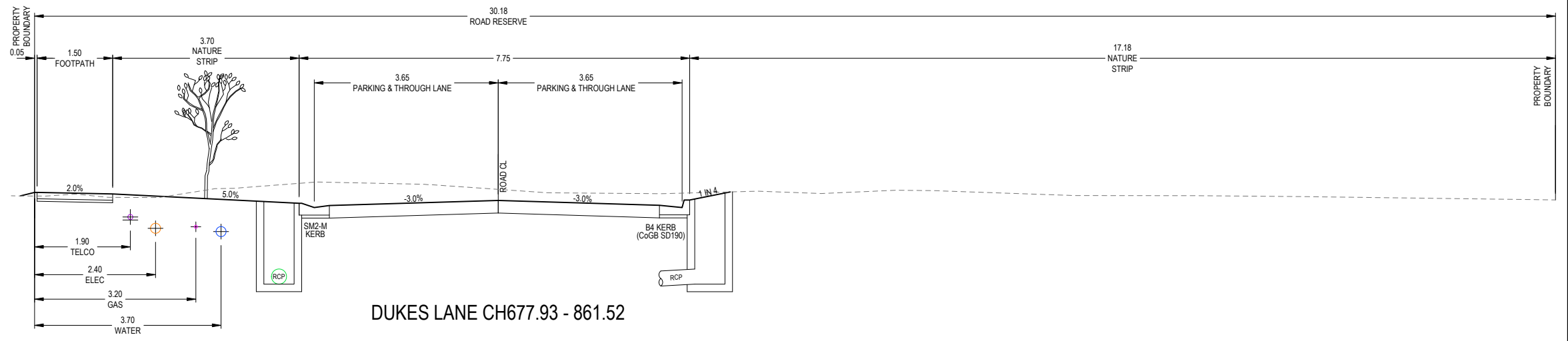
DIAL BEFORE YOU DIG
 www.1100.com.au

COMPASS ASSURANCE
 ISO 9001 QUALITY

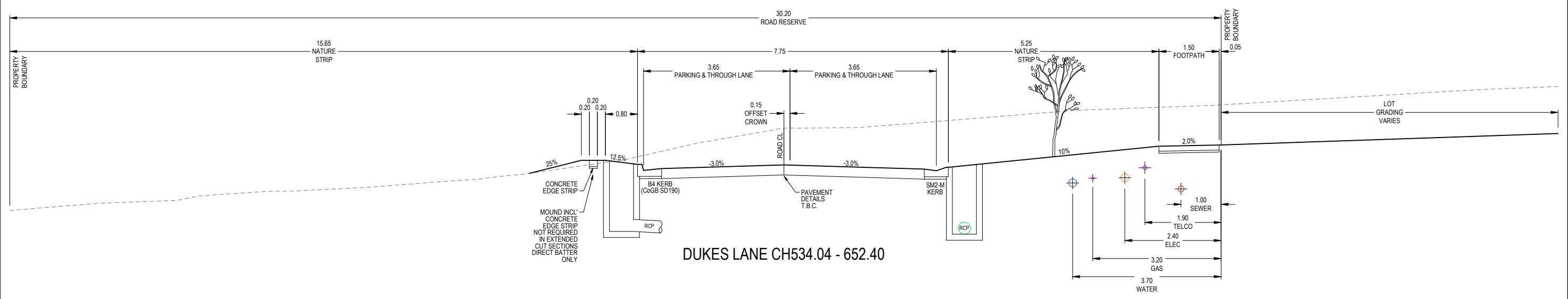
IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
 INTERSECTION DETAILS (SHEET 2 OF 2)
 CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD

DWG STATUS: PROJECT & DWG No: 1065316R12 / 35
FOR CONSTRUCTION

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS.
 PLOT DATE: 28/11/2022 FILE: C:\12\DATA\TOMKINSON\1065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_28281ENG00\CAD\CURRENT\1065316 R-D PLANS REV.G.DWG



DUKES LANE CH677.93 - 861.52



DUKES LANE CH534.04 - 652.40

REV	DES	DWG	CHK	ATH	DATE
G	NJB	SA	HB	AR	29/11/22
F	NJB	SR	HB	AR	17/11/22
E	NJB	SA	HB	AR	07/11/22
D	NJB	SA	HB	AR	18/08/22
C	NJB	NJB	NJB	AR	08/08/22
B	NJB	ZD	AR	AR	31/05/22

Tomkinson
SURVEY > ENGINEERING > PLANNING > PROJECT MANAGEMENT
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

imagine
STRATHFIELDSAYE

SCALE 1:100
LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT

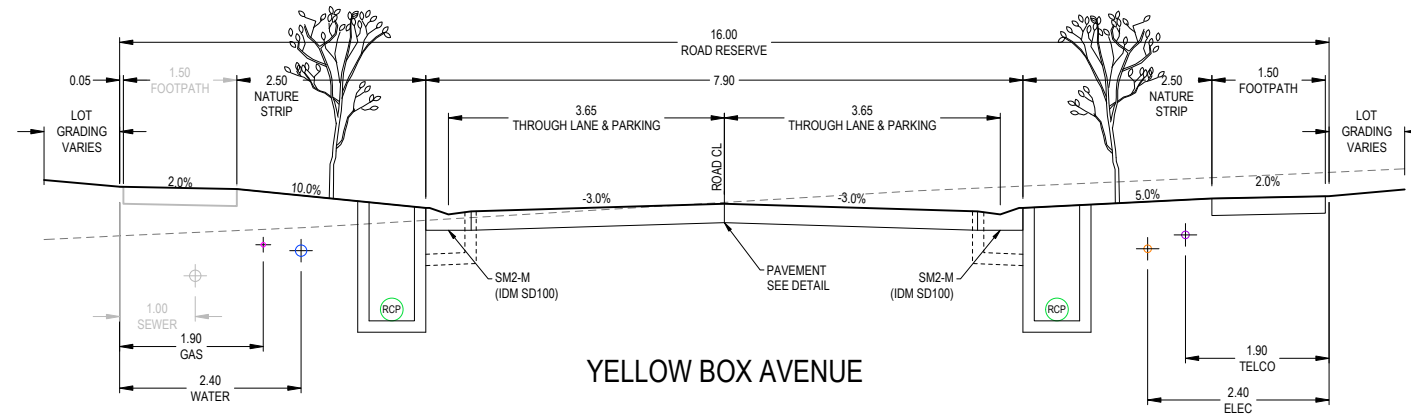
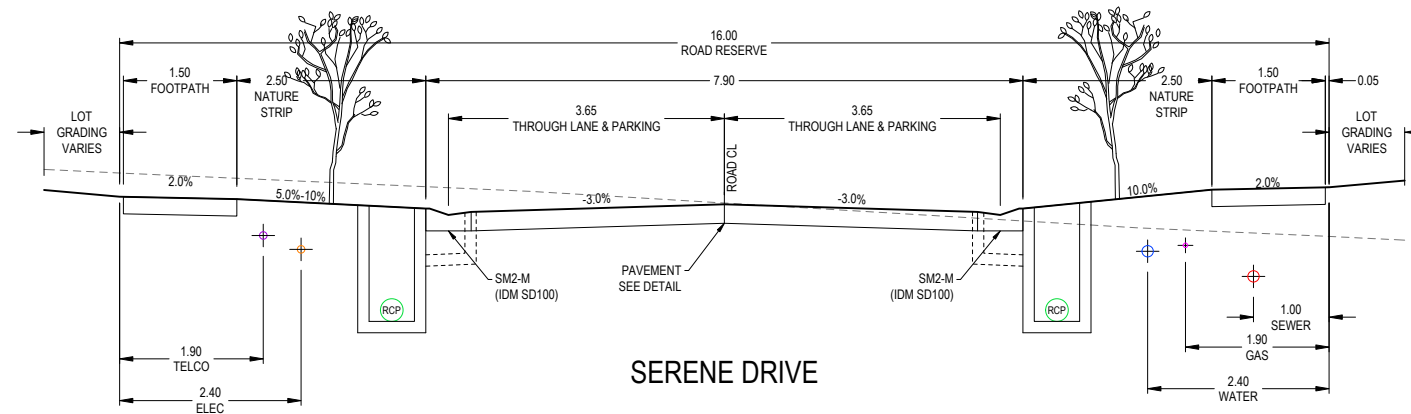
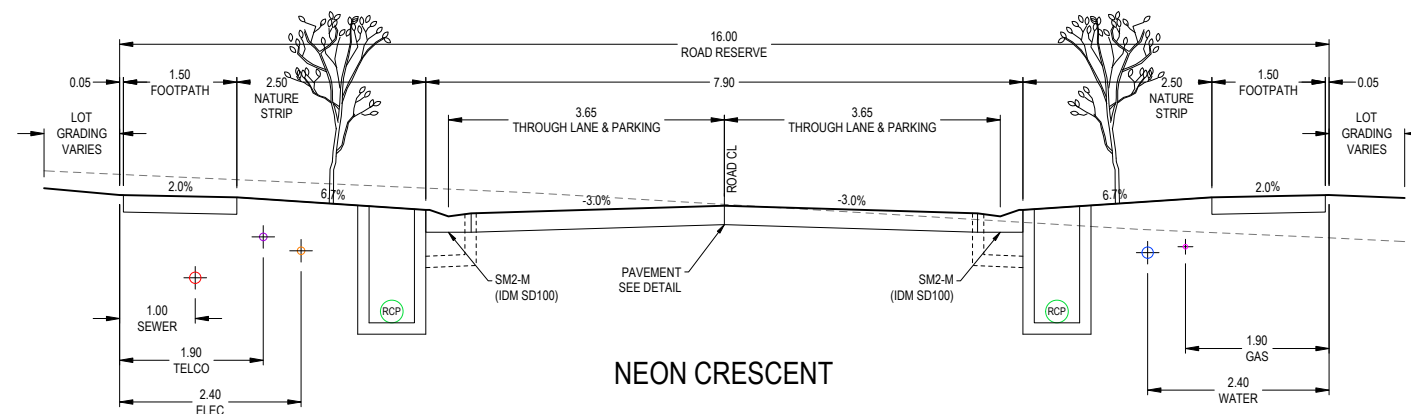
DIAL BEFORE YOU DIG
www.100.com.au

COMPASS ASSURANCE
ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
TYPICAL SECTIONS (SHEET 1 OF 2)
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD

DWG STATUS: **FOR CONSTRUCTION** PROJECT & DWG No: 1065316R13 / 35 REV: G

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS
PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\STRATHFIELDSAYE - IMAGINE STAGE 16_2822ENGIN000\CAD\CURRENT\1065316 R-D PLANS REV.G.DWG



G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE

Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

imagine
STRATHFIELDSAYE

SCALE 1:100
LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT

DIAL BEFORE YOU DIG
www.100.com.au

COMPASS ASSURANCE
ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
TYPICAL SECTIONS (SHEET 2 OF 2)
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD
DWG STATUS: PROJECT & DWG No: 1065316R14 / 35
FOR CONSTRUCTION

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS
PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\1065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_2828ENGIN000\CAD\CURRENT\1065316 R-D PLANS REV.G.DWG

GENERAL DESIGN DETAIL PLAN NOTES

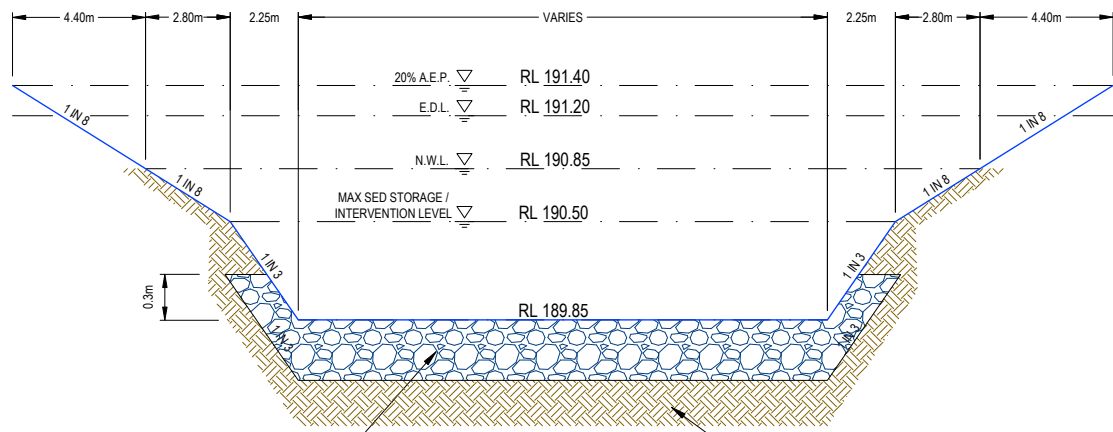
- APPLIES IN ALL CASES UNLESS STATED OTHERWISE
- KERB TYPES:
 - SM2-M (MODIFIED SM2) AS PER IDM SD 100
 - NEON CRESCENT
 - SERENE DRIVE
 - DUKES LANE (EAST KERB) STH OF NEON CRESCENT
 - DUKES LANE (WEST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (NORTH KERB)
 - B4 (600 WIDE B2) AS PER CxGB SD 109
 - DUKES LANE (WEST KERB) STH OF NEON CRESCENT
 - DUKES LANE (EAST KERB) NTH OF NEON CRESCENT
 - YELLOW BOX AVENUE (SOUTH KERB)
 - ALL SPECIFIED RADII TO CENTRELINE OR LIP OF KERB
 - ALL DRIVEWAYS AS PER IDM SD 240 & 245
 - ALL PATHS CONCRETE & 1.5m WIDE @ 0.05m O/S AS PER IDM SD 205
 - ALL EASEMENT DRAINAGE PIPES & PITS ARE 1.0m O/S BL & SIDE
- BOUNDARIES
- LEVEL 1 SUPERVISION REQUIRED FOR LOT EARTHWORKS UNLESS SPECIFIED OTHERWISE - REFER GENERAL NOTES
 - ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR BOUNDARIES
 - CONTOUR INTERVAL 0.5m @ 1 : 1000 & 0.05m @ 1 : 200 (1 : 250 (A3) WHERE SHOWN

WARNING

BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

BASIN AREAS
N.W.L.: 1584m²
E.D.L.: 4344m²

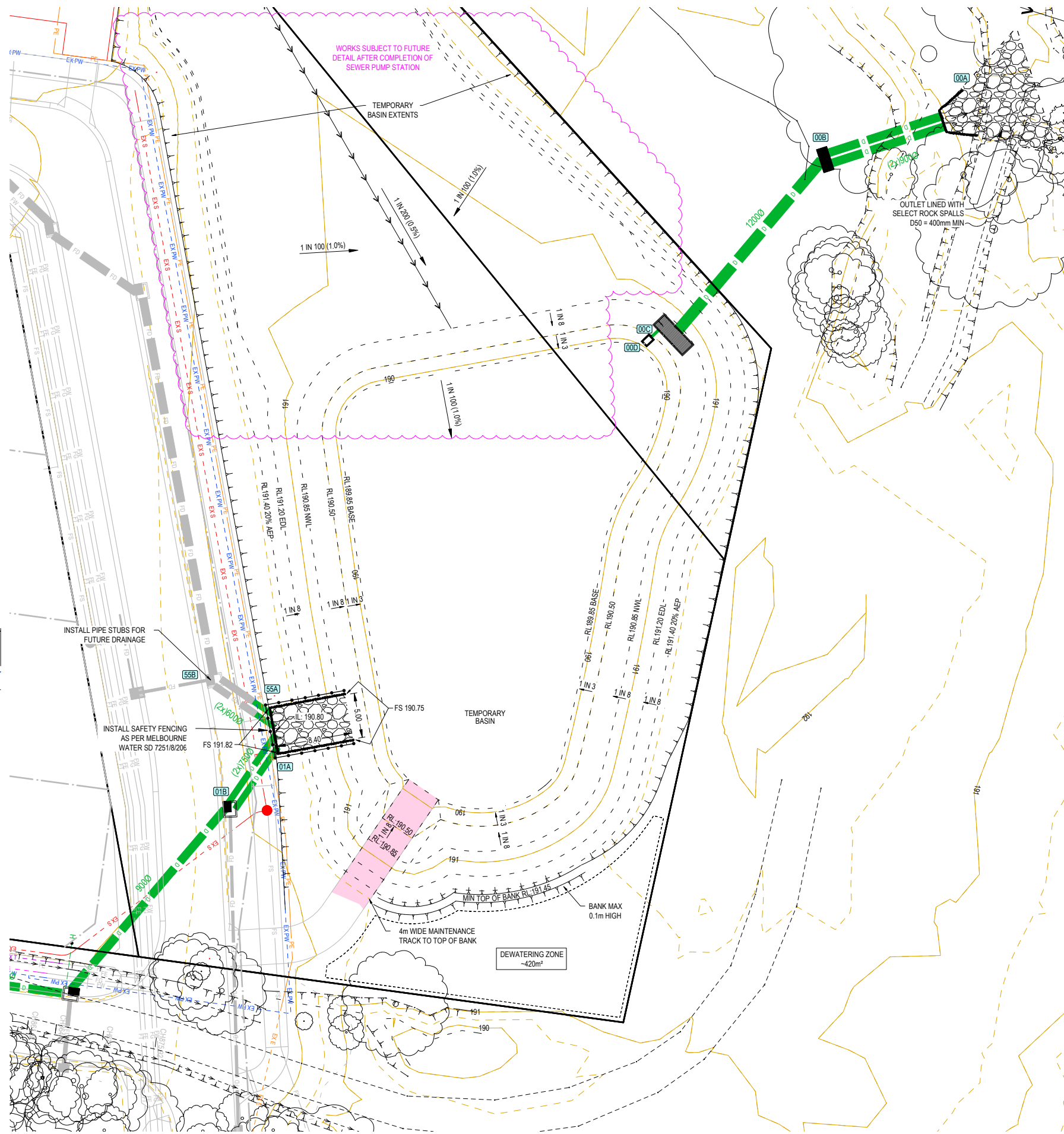
BASIN VOLUMES
OVERFLOW LEVEL: 3905m³
20% AEP: 3631m³
E.D.L.: 2660m³
N.W.L.: 1584m³
SEDIMENT: 940m³



BASIN TYPICAL DETAIL
SCALE H 1 : 250 V 1 : 50

SEDIMENTATION BASIN BASE TO BE 400mm THICK CRUSHED ROCK. REFER SEDIMENT POND HARD BASE PROFILE OPTION 2 NW SD 7251/12/12

300mm THICK IMPERMEABLE CLAY LINER TO NWL



REV	DESCRIPTION	DES	DWG	CHK	ATH	DATE
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22



Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT

HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

imagine
STRATHFIELDSAYE

SCALE 1:500
LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT

DIAL BEFORE YOU DIG
www.1100.com.au

COMPASS ASSURANCE
ISO 9001 QUALITY

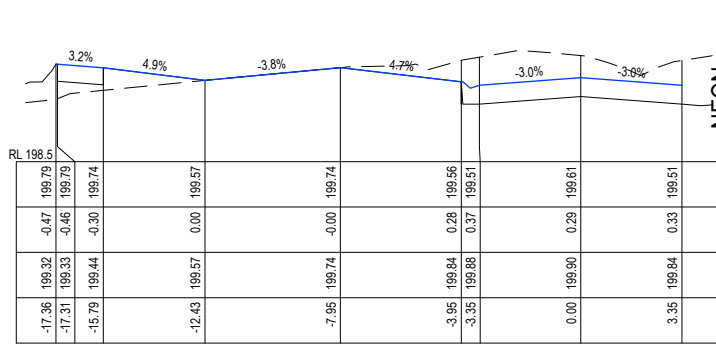
IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
TEMPORARY BASIN DETAILS

CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD

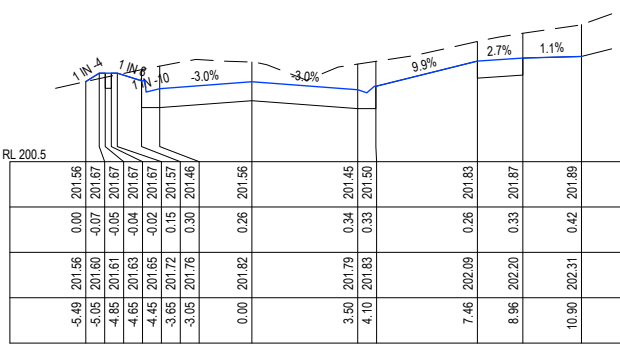
DWG STATUS: **FOR CONSTRUCTION** PROJECT & DWG No: 1065316R15 / 35

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS
PLOT DATE: 28/11/2022 FILE: C:\TZ\DATA\TOMKINSON\1205011065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_2822ENG000\CURRENT\1065316 R-D PLANS REV.G.DWG

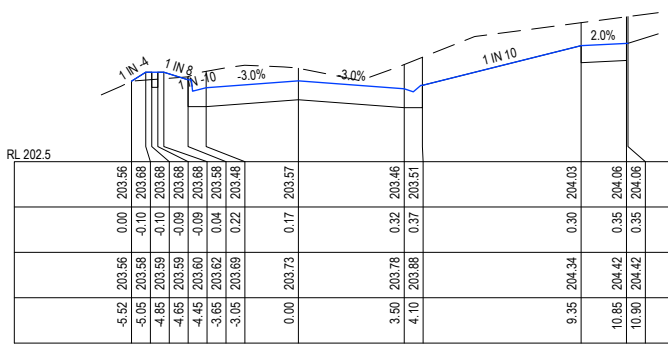
NEON
CRESCENT



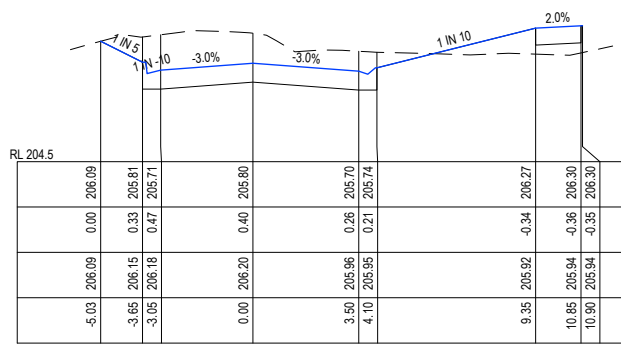
CH 677.93



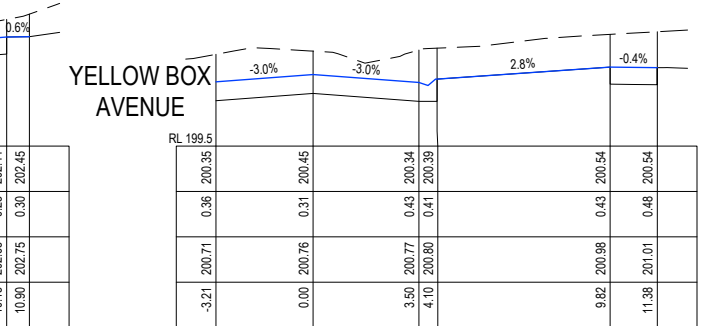
CH 648.87



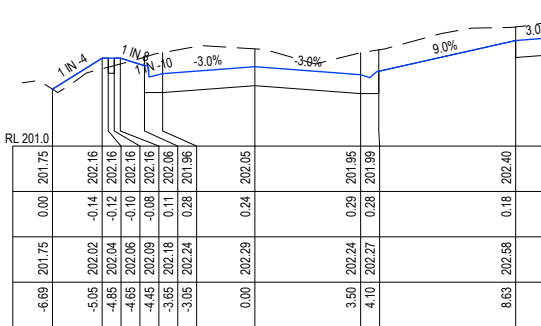
CH 614.47



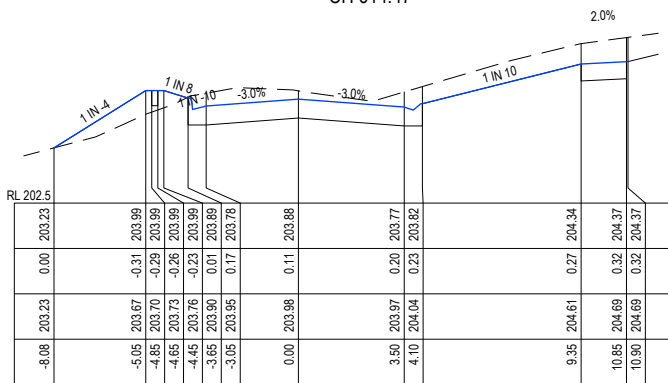
CH 582.47



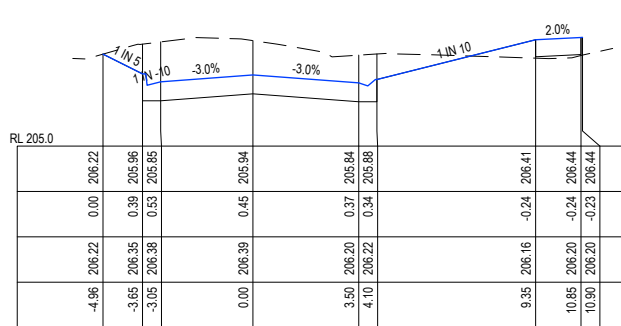
CH 666.34



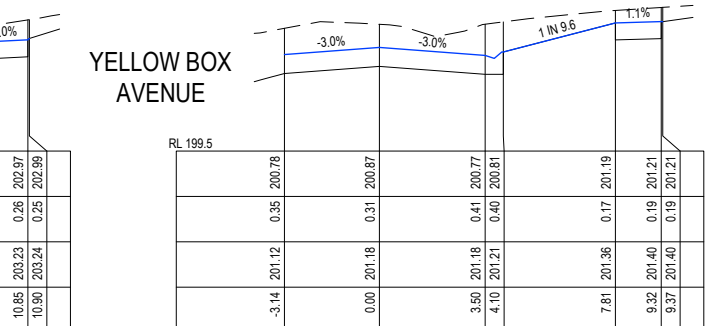
CH 640



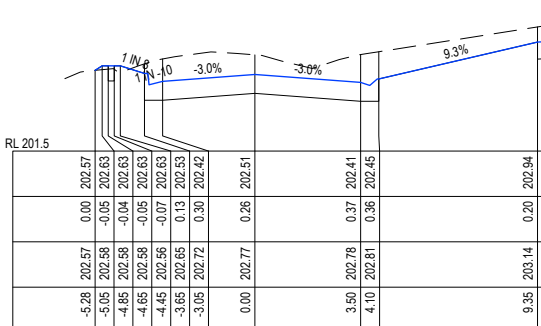
CH 610



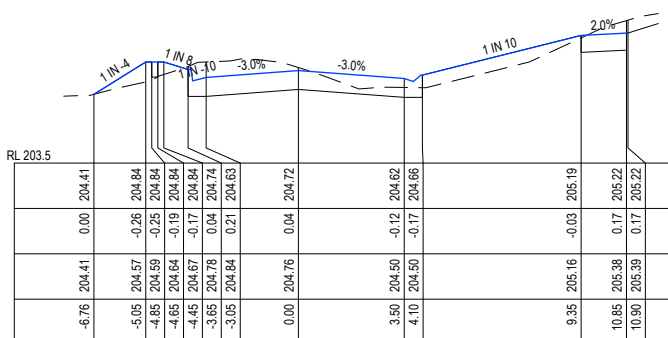
CH 580



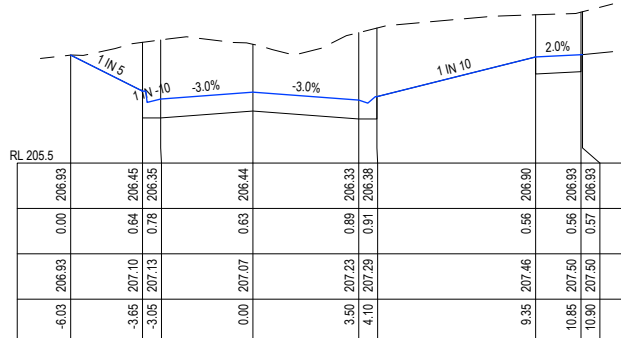
CH 660



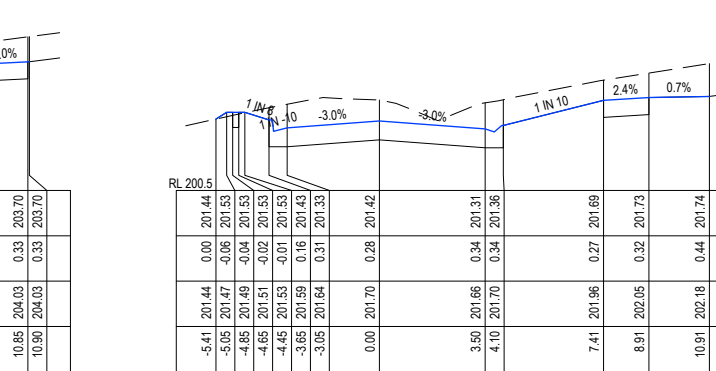
CH 631.47



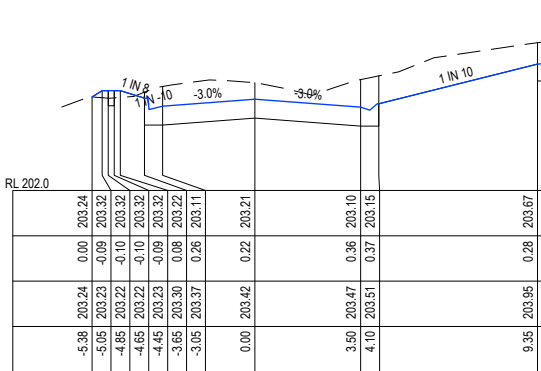
CH 598.47



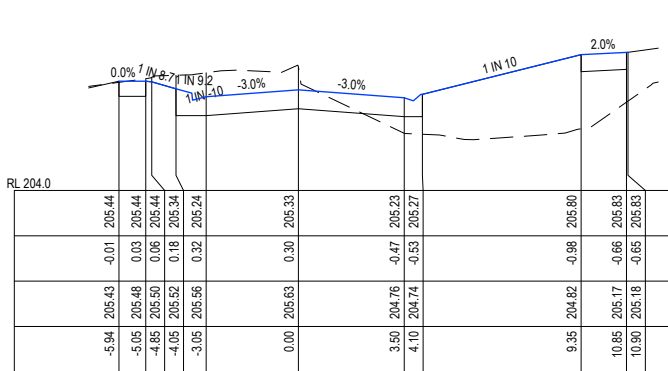
CH 570



CH 651.2

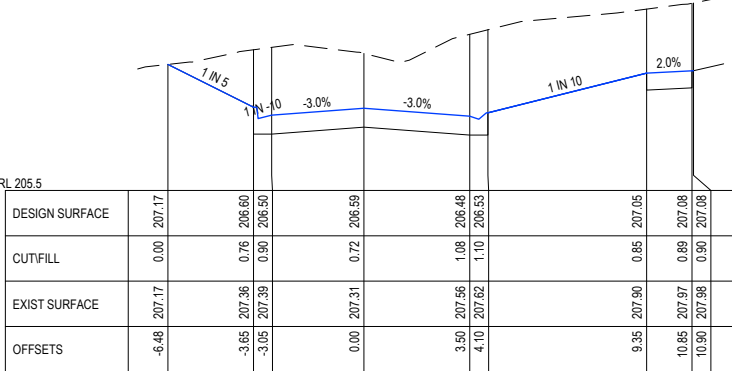


CH 620



CH 590

DUKES LN



CH 566.47

G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	NJB	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22
REV		DES	DWG	CHK	ATH	DATE

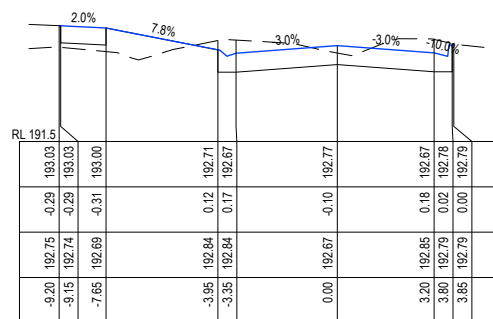
Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

imagine
STRATHFIELDSAYE

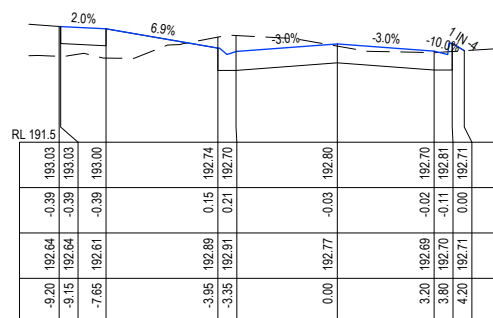
SCALE H 1:250 V 1:100
LENGTHS ARE IN METRES - PAPER SIZE A3
© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.
DIAL BEFORE YOU DIG
COMPASS ASSURANCE ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
DUKES LANE CROSS SECTIONS (SHEET 1 OF 3)
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD
PROJECT & DWG No: **1065316R17 / 35**
FOR CONSTRUCTION

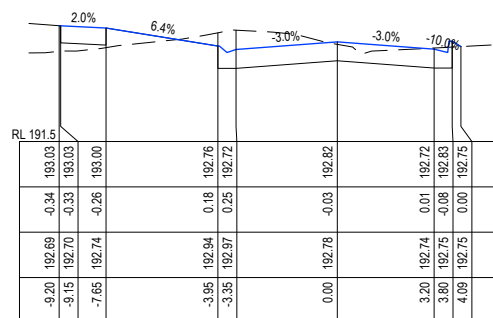
NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\1205011065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_2862ENG000\CAD\CURRENT\1065316 R-D PLANS REV.DWG



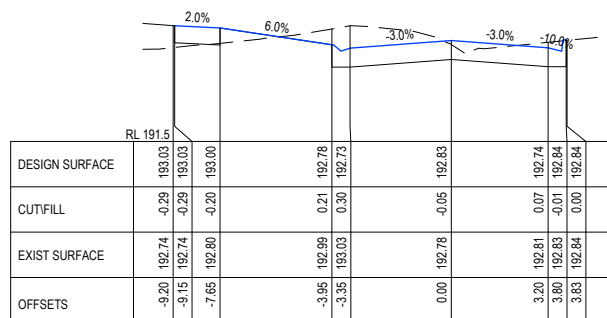
CH 820



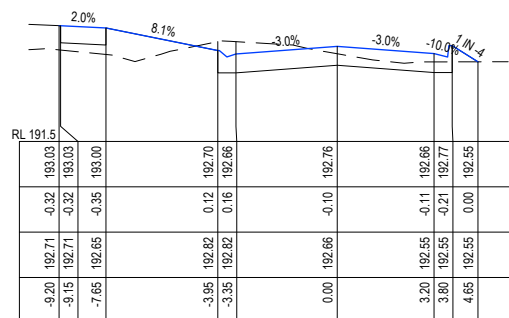
CH 810



CH 804.9



CH 800



CH 822.9

DUKES LN

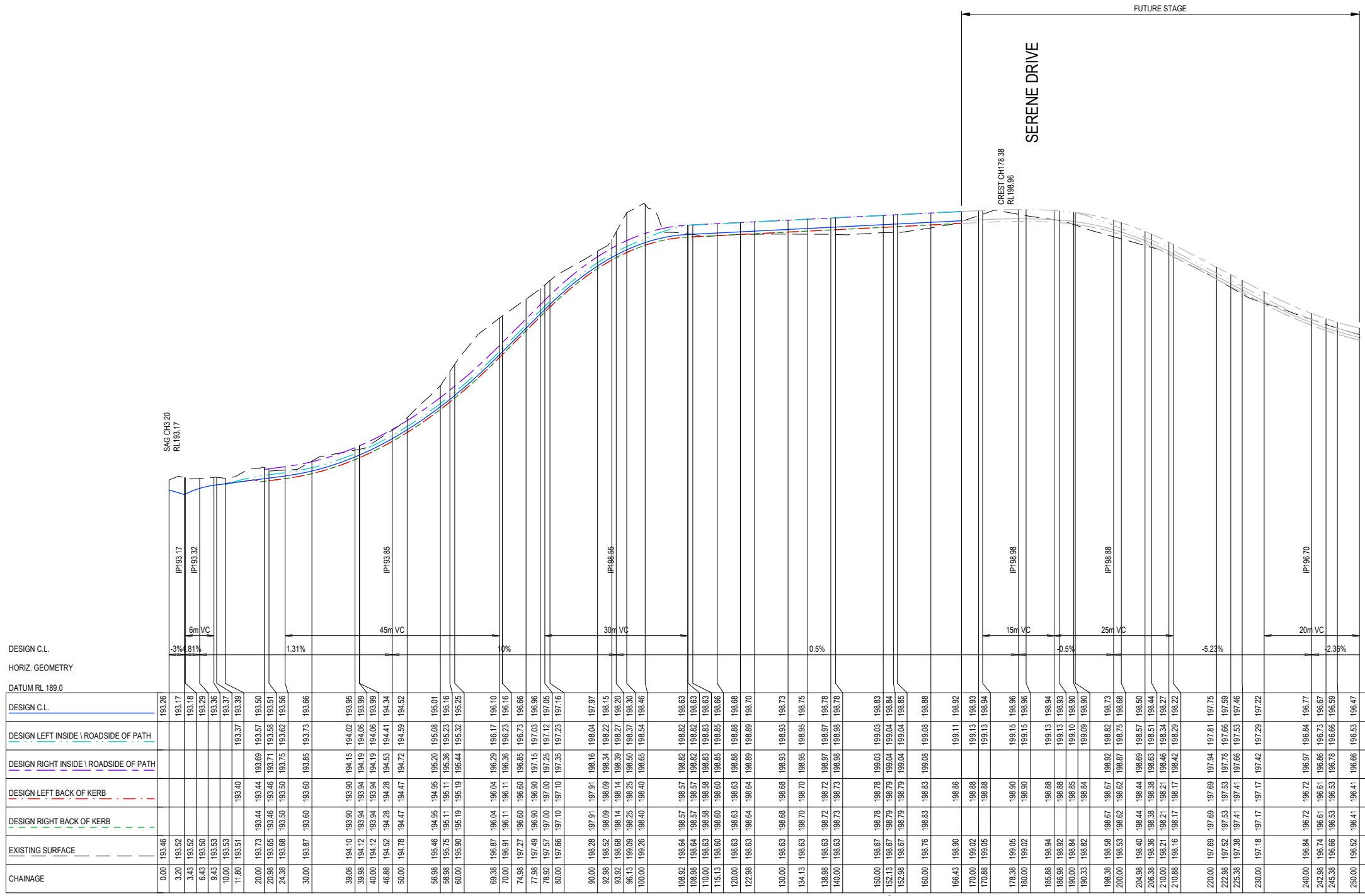
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC. SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE

Tomkinson
SURVEY > ENGINEERING > PLANNING > PROJECT MANAGEMENT
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM



SCALE H 1:250 V 1:100
LENGTHS ARE IN METRES - PAPER SIZE A3
© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.
DIAL BEFORE YOU DIG www.1100.com.au
COMPASS ASSURANCE ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
DUKES LANE CROSS SECTIONS (SHEET 3 OF 3)
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD
DWG STATUS: PROJECT & DWG No: REV:
FOR CONSTRUCTION 1065316R19 / 35 G



CHAINAGE	EXISTING SURFACE	DESIGN LEFT BACK OF KERB	DESIGN RIGHT BACK OF KERB	DESIGN LEFT INSIDE \ ROADSIDE OF PATH	DESIGN RIGHT INSIDE \ ROADSIDE OF PATH	DESIGN C.L.
0.00	193.46					193.26
3.20	193.52					193.17
6.43	193.50					193.18
9.43	193.53					193.29
10.00	193.53					193.36
11.00	193.51					193.37
11.80	193.51					193.39
20.00	193.73					193.60
20.38	193.65					193.51
24.38	193.68					193.56
30.00	193.87					193.66
39.06	194.10					193.95
39.98	194.12					193.94
40.00	194.12					193.94
46.88	194.52					194.34
50.00	194.78					194.52
56.98	195.46					195.01
58.98	195.75					195.16
60.00	195.90					195.25
69.38	196.87					196.10
70.00	196.91					196.16
74.98	197.27					196.66
77.98	197.49					196.96
78.92	197.57					197.05
80.00	197.66					197.16
90.00	198.28					197.97
92.98	198.52					198.15
93.92	198.68					198.20
96.13	199.09					198.30
100.00	199.26					198.46
108.92	198.64					198.63
108.98	198.64					198.62
110.00	198.63					198.63
115.13	198.60					198.65
120.00	198.63					198.68
122.98	198.63					198.70
130.00	198.63					198.73
134.13	198.63					198.75
138.98	198.63					198.78
140.00	198.63					198.78
150.00	198.67					198.83
152.13	198.67					198.84
152.98	198.67					198.85
160.00	198.76					198.88
166.43	198.90					198.92
170.00	199.02					198.93
170.88	199.05					198.94
178.38	199.05					198.96
180.00	199.02					198.96
185.88	198.94					198.94
186.88	198.92					198.93
190.00	198.84					198.90
190.33	198.82					198.89
198.98	198.58					198.73
200.00	198.53					198.68
204.98	198.40					198.50
206.38	198.38					198.44
210.00	198.21					198.27
210.88	198.16					198.22
220.00	197.69					197.75
222.98	197.52					197.66
225.38	197.38					197.46
230.00	197.18					197.22
240.00	196.84					196.77
242.98	196.74					196.67
245.38	196.66					196.59
250.00	196.52					196.47

SERENE DR
SCALE H 1:1000 V 1:100

REV	REVISION	DES	DWG	CHK	ATH	DATE
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22

Tomkinson
SURVEY | ENGINEERING | PLANNING | PROJECT MANAGEMENT
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

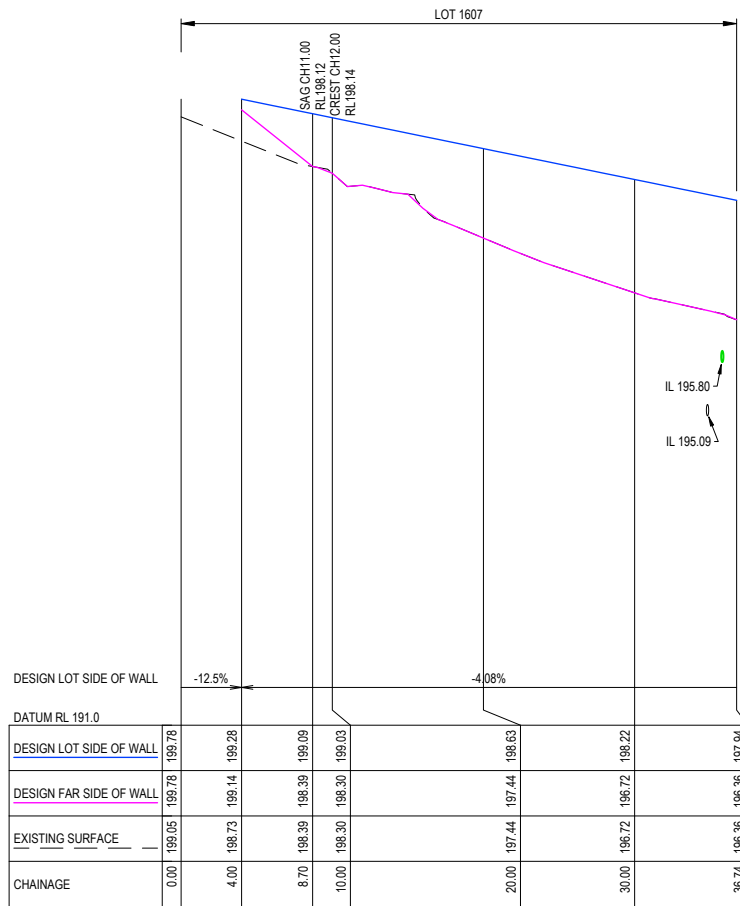
imagine
STRATHFIELDSAYE

SCALE H 1:1000 V 1:100
LENGTHS ARE IN METRES - PAPER SIZE A3

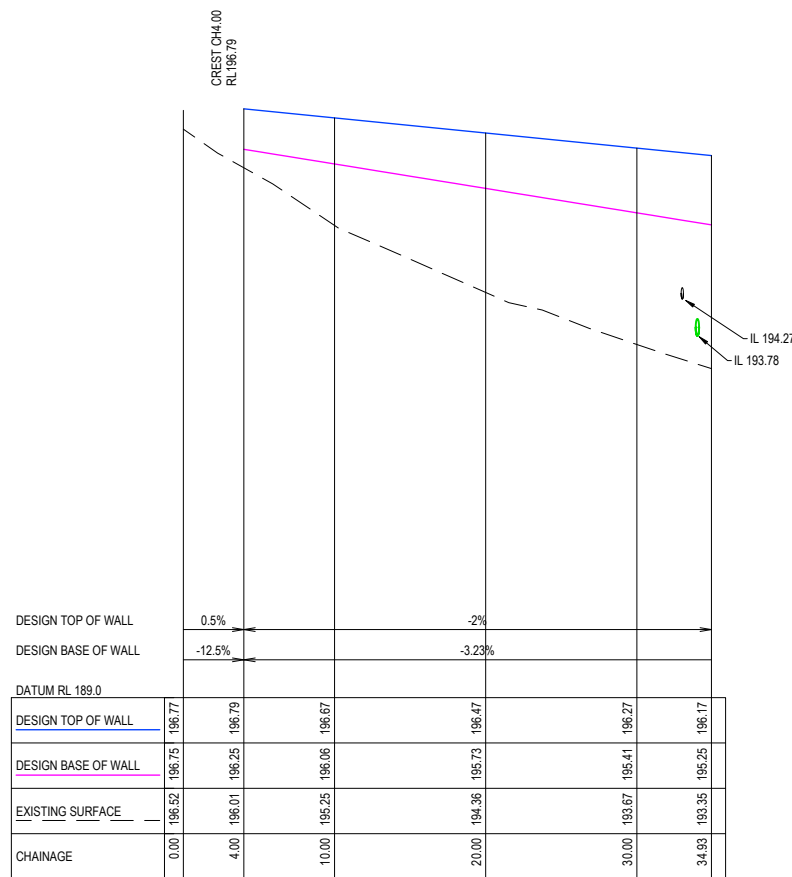
© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
SERENE DRIVE LONG SECTION
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD
DWG STATUS: PROJECT & DWG No: REV:
FOR CONSTRUCTION 1065316R22 / 35 G

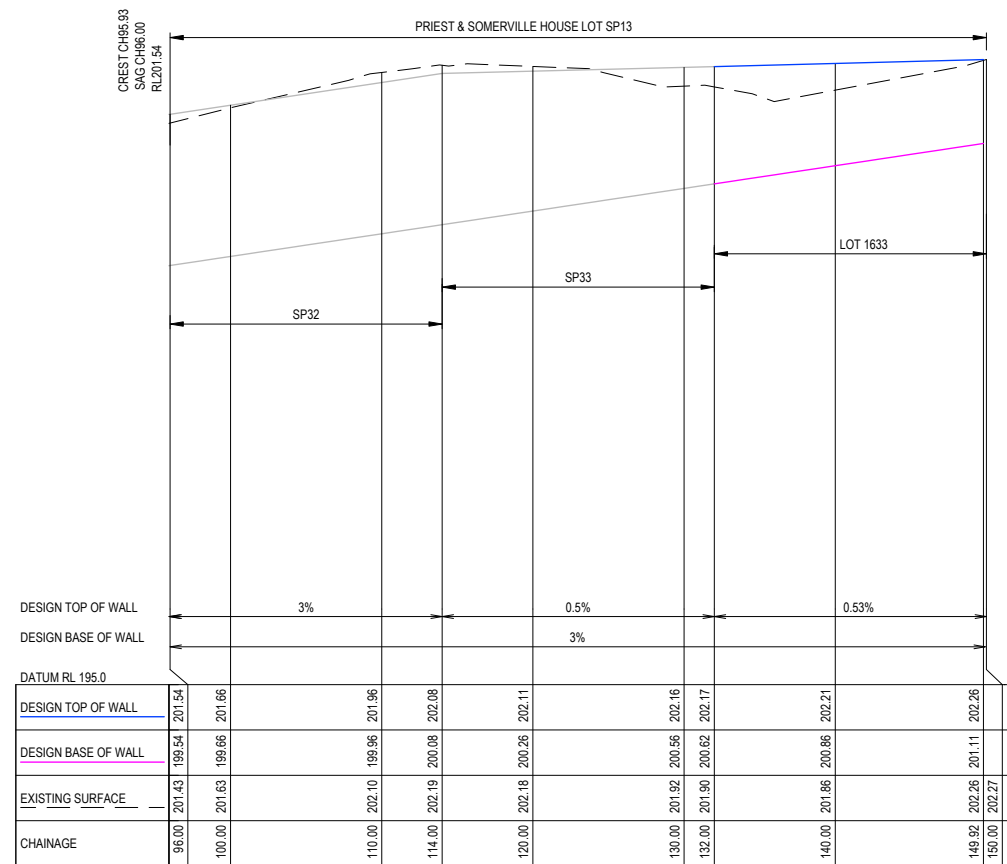
NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS
PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\2025011065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_282EING000\CURRENT\1065316 R-D PLANS REV.DWG



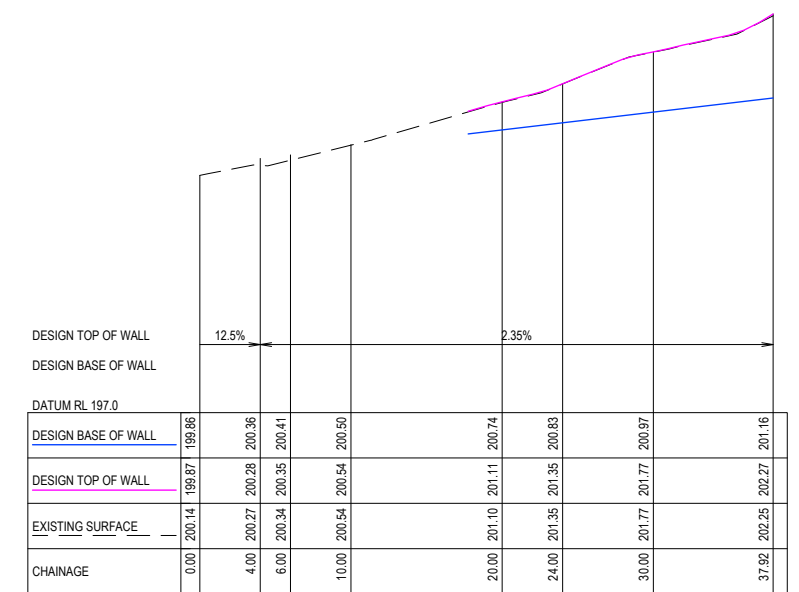
1607+1611 RW



1620-1621 RW



1633 SOUTHERN RW



1633 EASTERN RW

IMPORTANT NOTE:
RETAINING WALL INFORMATION IS INDICATIVE ONLY AND SOLELY FOR ADVISING PREFERRED LEVELS TO SUIT EARTHWORKS, ALL WALL CONSTRUCTION IS TO BE UNDERTAKEN STRICTLY IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DESIGN & SPECIFICATION.

REV	REVISION	DES	DWG	CHK	ATH	DATE
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22

Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

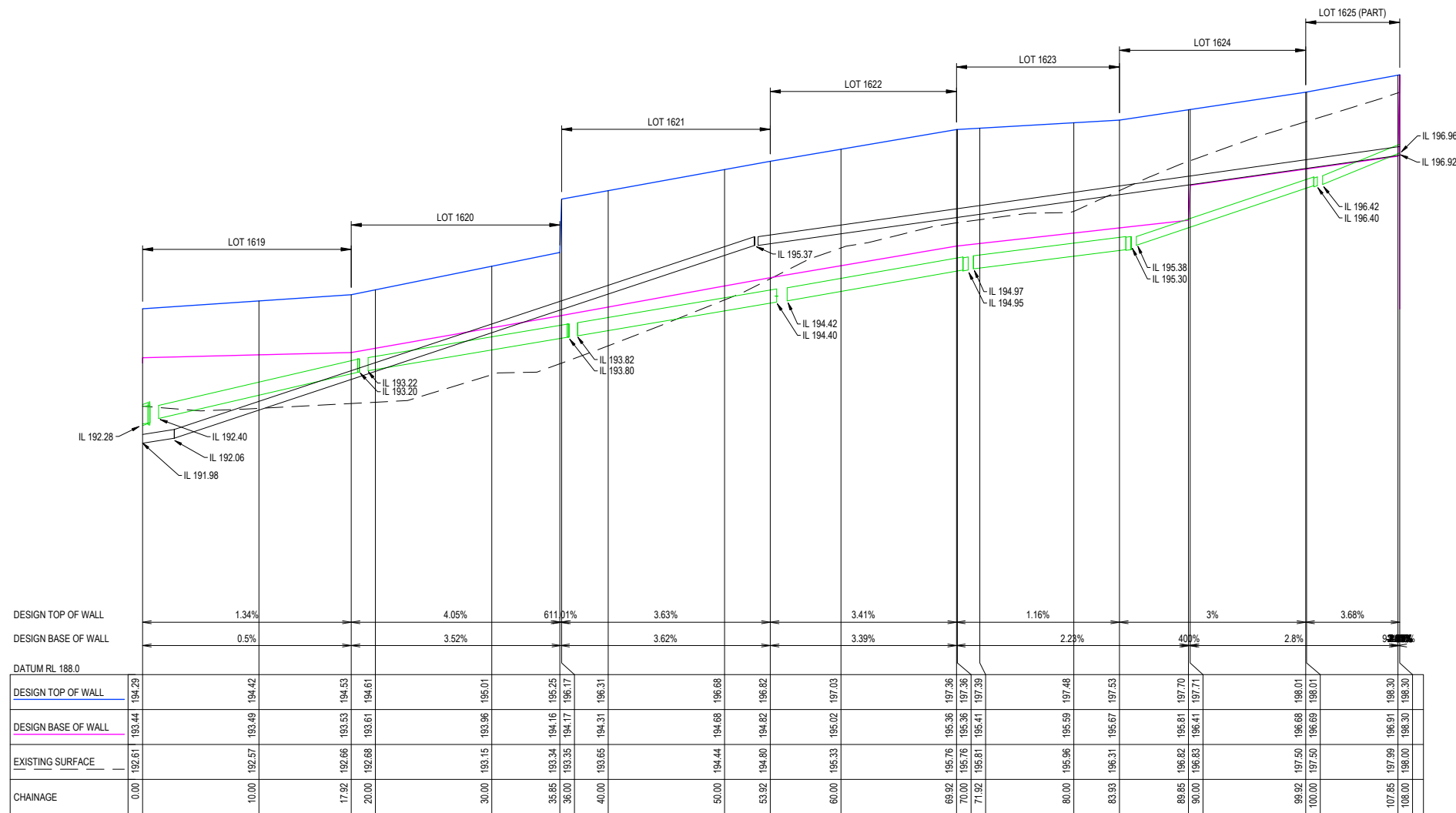


SCALE H 1:500 V 1:100
LENGTHS ARE IN METRES - PAPER SIZE A3
© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.
DIAL BEFORE YOU DIG www.100.com.au
COMPASS ASSURANCE ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
RETAINING WALL LONG SECTIONS (SHEET 2 OF 3)
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD
DWG STATUS: PROJECT & DWG No: REV:
FOR CONSTRUCTION 1065316R28 / 35 G

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS.
PLOT DATE: 28/11/2022 FILE: C:\12\DATA\TOMKINSON\1065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_2822\ENG\00\CAD\CURRENT\1065316 R-D PLANS REV.DWG

IMPORTANT NOTE:
 RETAINING WALL INFORMATION IS
 INDICATIVE ONLY AND SOLELY
 FOR ADVISING PREFERRED
 LEVELS TO SUIT EARTHWORKS,
 ALL WALL CONSTRUCTION IS TO
 BE UNDERTAKEN STRICTLY IN
 ACCORDANCE WITH
 STRUCTURAL ENGINEER'S
 DESIGN & SPECIFICATION.



1619-1624 RW

REV	REVISION	DES	DWG	CHK	ATH	DATE
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22

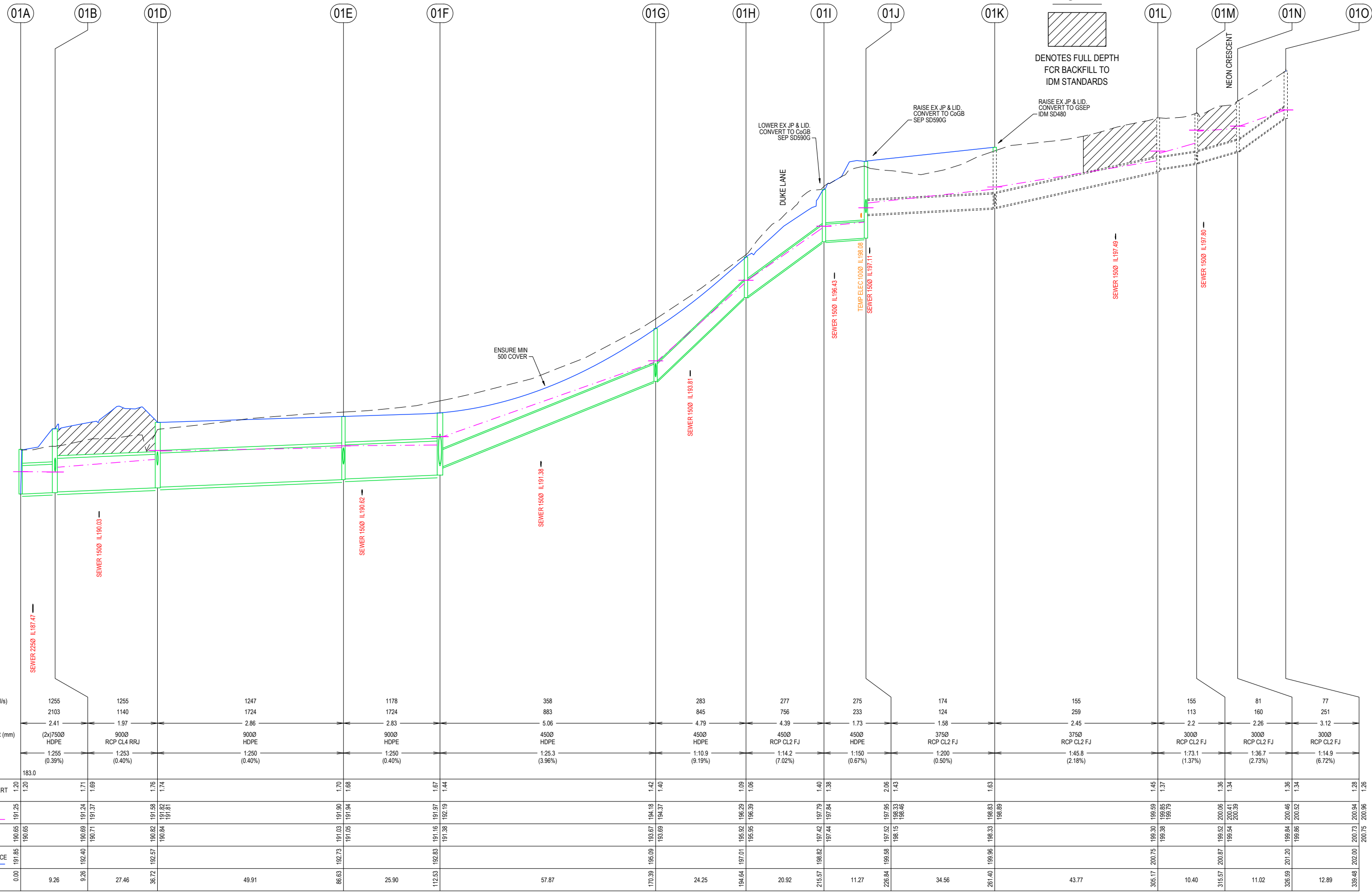
Tomkinson
 SURVEY > ENGINEERING > PLANNING > PROJECT MANAGEMENT
 HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM



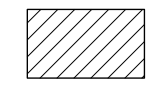
SCALE H 1:500 V 1:100
 LENGTHS ARE IN METRES - PAPER SIZE A3
 © COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.
 DIAL BEFORE YOU DIG www.100.com.au
 COMPASS ASSURANCE ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
RETAINING WALL LONG SECTIONS (SHEET 3 OF 3)
 CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD
 DWG STATUS: **FOR CONSTRUCTION** PROJECT & DWG No: 1065316R29 / 35 REV: G

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\1065316 - STRATHFIELDSAYE HOLDINGS PTY LTD - STRATHFIELDSAYE - IMAGINE STAGE 16_2882ENGIN000\CAD\CURRENT\1065316 R-D PLANS REV.DWG



NOTE:



DENOTES FULL DEPTH FCR BACKFILL TO IDM STANDARDS

LOWER EX JP & LID CONVERT TO CoGB SEP SD590G

RAISE EX JP & LID CONVERT TO CoGB SEP SD590G

RAISE EX JP & LID CONVERT TO GSEP IDM SD480

DUKE LANE

ENSURE MIN 500 COVER

NEON CRESCENT

G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE

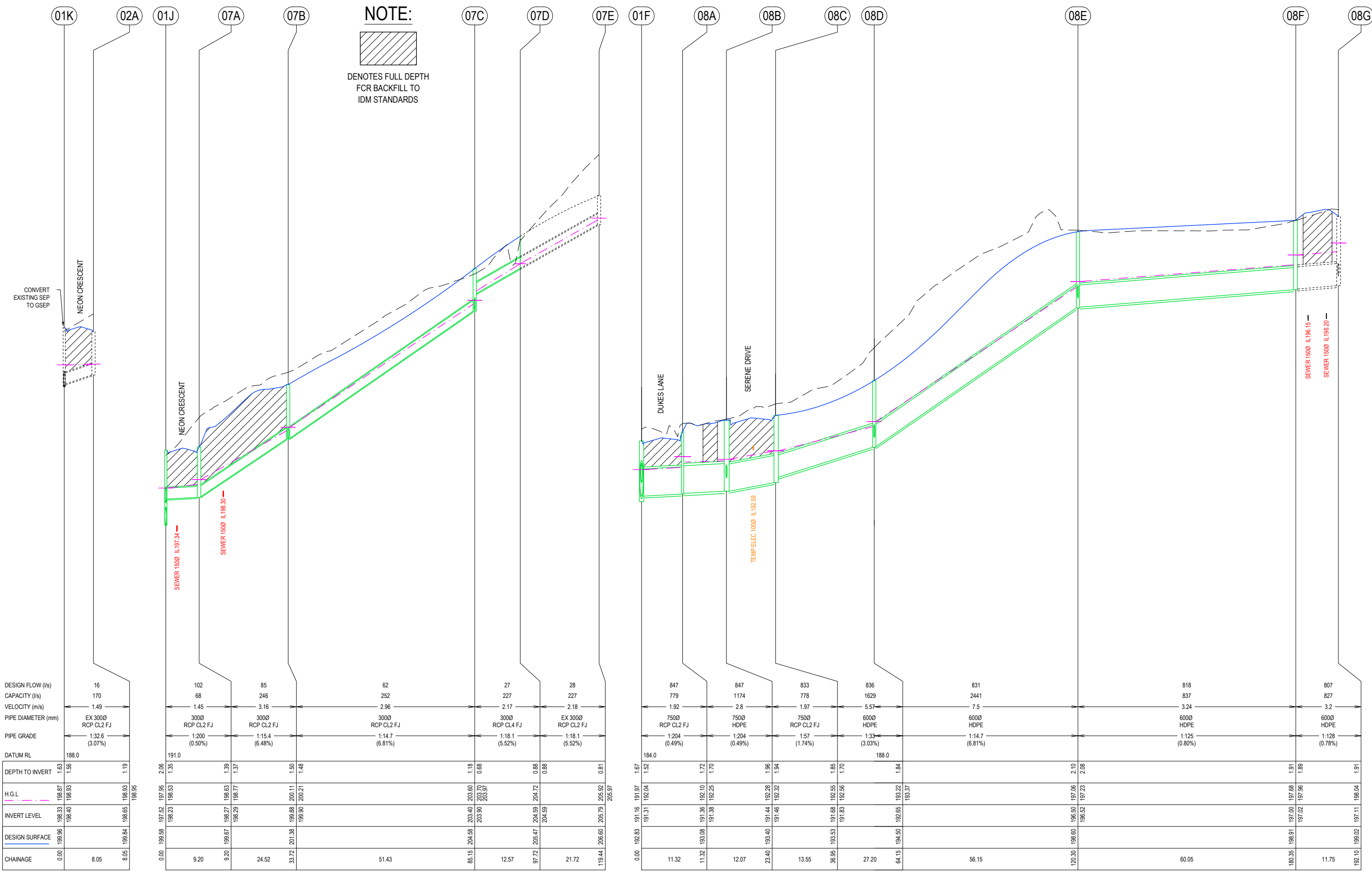
Tomkinson
 SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT
 HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM




SCALE H 1:1,000 V 1:100
 LENGTHS ARE IN METRES - PAPER SIZE A3
 © COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.
 DIAL BEFORE YOU DIG www.100.com.au
 COMPASS ASSURANCE ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
DRAINAGE LONG SECTIONS (SHEET 1 OF 4)
 CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD
 DWG STATUS: PROJECT & DWG No: 1065316R30 / 35
FOR CONSTRUCTION

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\1065316\1065316 R-D PLANS REV.DWG



NOTE:

 DENOTES FULL DEPTH
 FCR BACKFILL TO
 IDM STANDARDS

STATION	DESIGN FLOW (l/s)	CAPACITY (l/s)	VELOCITY (m/s)	PIPE DIAMETER (mm)	PIPE GRADE	DATUM RL	DEPTH TO INVERT	H.G.L.	INVERT LEVEL	DESIGN SURFACE	CHAINAGE
01K	16	170	1.49	EX 3000 RCP CL2 FJ	1:32.6 (3.07%)	188.0	1.63	198.33	198.87	198.93	0.00
02A							1.56	198.40	198.93	198.95	8.05
01J							2.05	197.52	197.95	198.95	8.05
07A	102	68	1.45	3000 RCP CL2 FJ	1:200 (0.50%)	191.0	1.35	198.23	198.53	198.53	9.20
07B	85	246	3.16	3000 RCP CL2 FJ	1:15.4 (6.48%)		1.30	198.97	198.63	198.63	9.20
07C	62	252	2.96	3000 RCP CL2 FJ	1:14.7 (6.81%)		1.37	198.29	198.77	198.77	24.52
07D	27	227	2.17	3000 RCP CL4 FJ	1:18.1 (5.52%)		1.50	199.88	200.11	200.11	33.72
07E	28	227	2.18	EX 3000 RCP CL2 FJ	1:18.1 (5.52%)		1.48	199.90	200.21	200.21	33.72
01F	847	779	1.92	7500 RCP CL2 FJ	1:204 (0.49%)	184.0	1.18	203.40	203.60	203.60	85.15
08A	847	1174	2.8	7500 HDPE	1:204 (0.49%)		0.68	203.70	203.97	203.97	85.15
08B	833	778	1.97	7500 RCP CL2 FJ	1:57 (1.74%)		0.88	204.59	204.72	204.72	12.57
08C	836	1629	5.57	6000 HDPE	1:33 (3.03%)	188.0	0.88	204.59	204.69	204.69	12.57
08D	831	2441	7.5	6000 HDPE	1:14.7 (6.81%)		0.81	205.92	205.92	205.92	21.72
08E	818	837	3.24	6000 HDPE	1:125 (0.80%)		1.91	197.00	197.68	197.68	119.44
08F	807	827	3.2	6000 HDPE	1:128 (0.78%)		1.89	197.02	197.96	197.96	119.44
08G							1.91	197.11	198.04	198.04	119.44

REV	REVISION	DES	DWG	CHK	ATH	DATE
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22

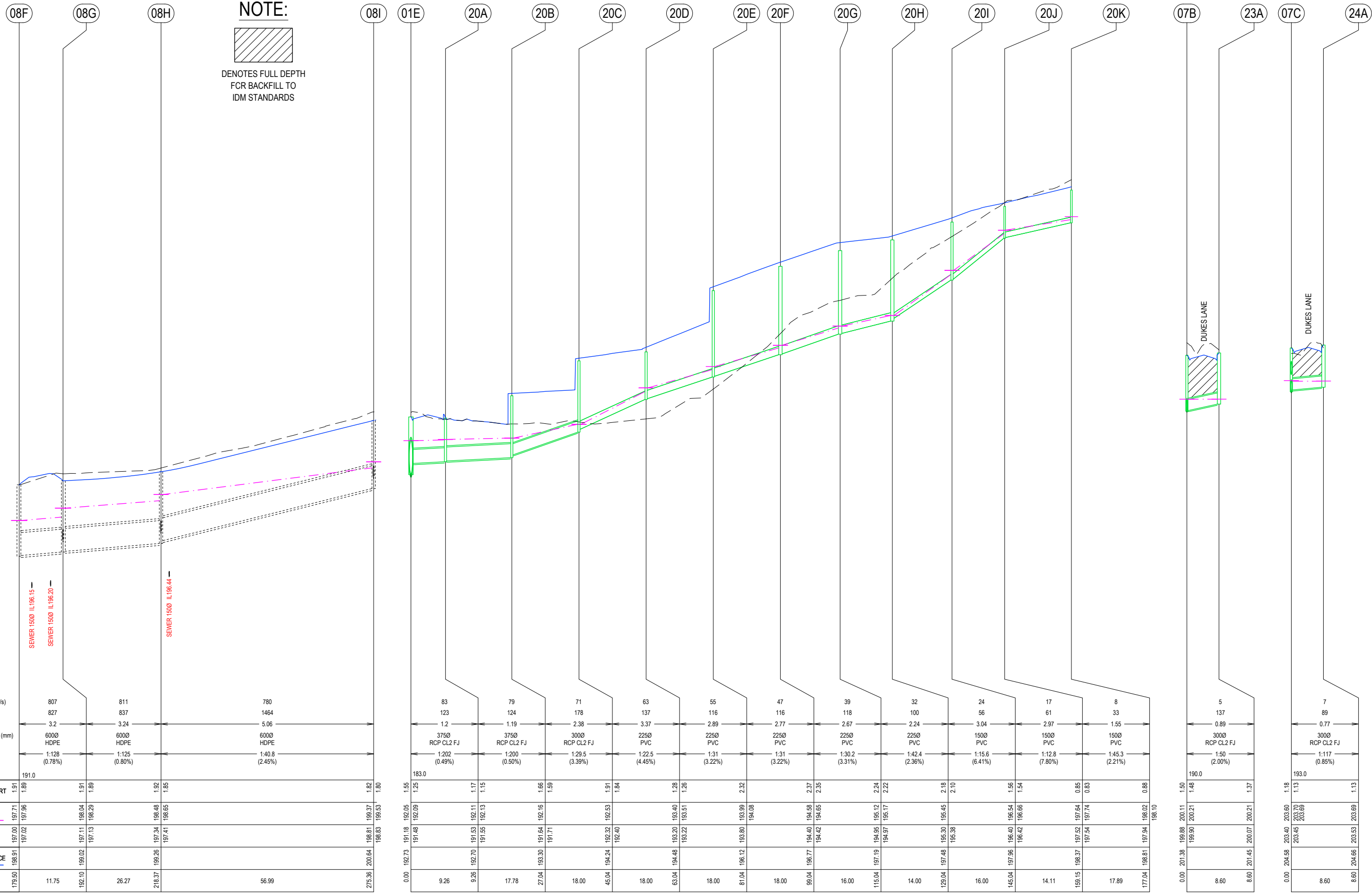
Tomkinson
 SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT
 HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
 ABN 11 103 336 358 WWW.TOMKINSON.COM

imagine
 STRATHFIELDSAYE

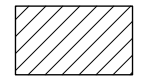
SCALE H 1:1,000 V 1:100
 LENGTHS ARE IN METRES - PAPER SIZE A3
 © COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT.
 DIAL BEFORE YOU DIG www.1100.com.au
 COMPASS ASSURANCE ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
DRAINAGE LONG SECTIONS (SHEET 2 OF 4)
 CITY OF GREATER BENDIGO REF: DS/188/216
 STRATHFIELDSAYE HOLDINGS PTY LTD
 DWG STATUS: PROJECT & DWG No: 1065316R31 / 35
FOR CONSTRUCTION

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS.
 PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\1065316-1\1065316-1\1065316 R-D PLANS REV.DWG



NOTE:



DENOTES FULL DEPTH FCR BACKFILL TO IDM STANDARDS

REV	REVISION	DES	DWG	CHK	ATH	DATE
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22

Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT

HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

imagine STRATHFIELDSAYE

SCALE H 1:1,000 V 1:100

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT

DIAL BEFORE YOU DIG www.100.com.au

COMPASS ASSURANCE ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
DRAINAGE LONG SECTIONS (SHEET 3 OF 4)

CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD

DWG STATUS: **FOR CONSTRUCTION** PROJECT & DWG No: 1065316R32 / 35 REV: G

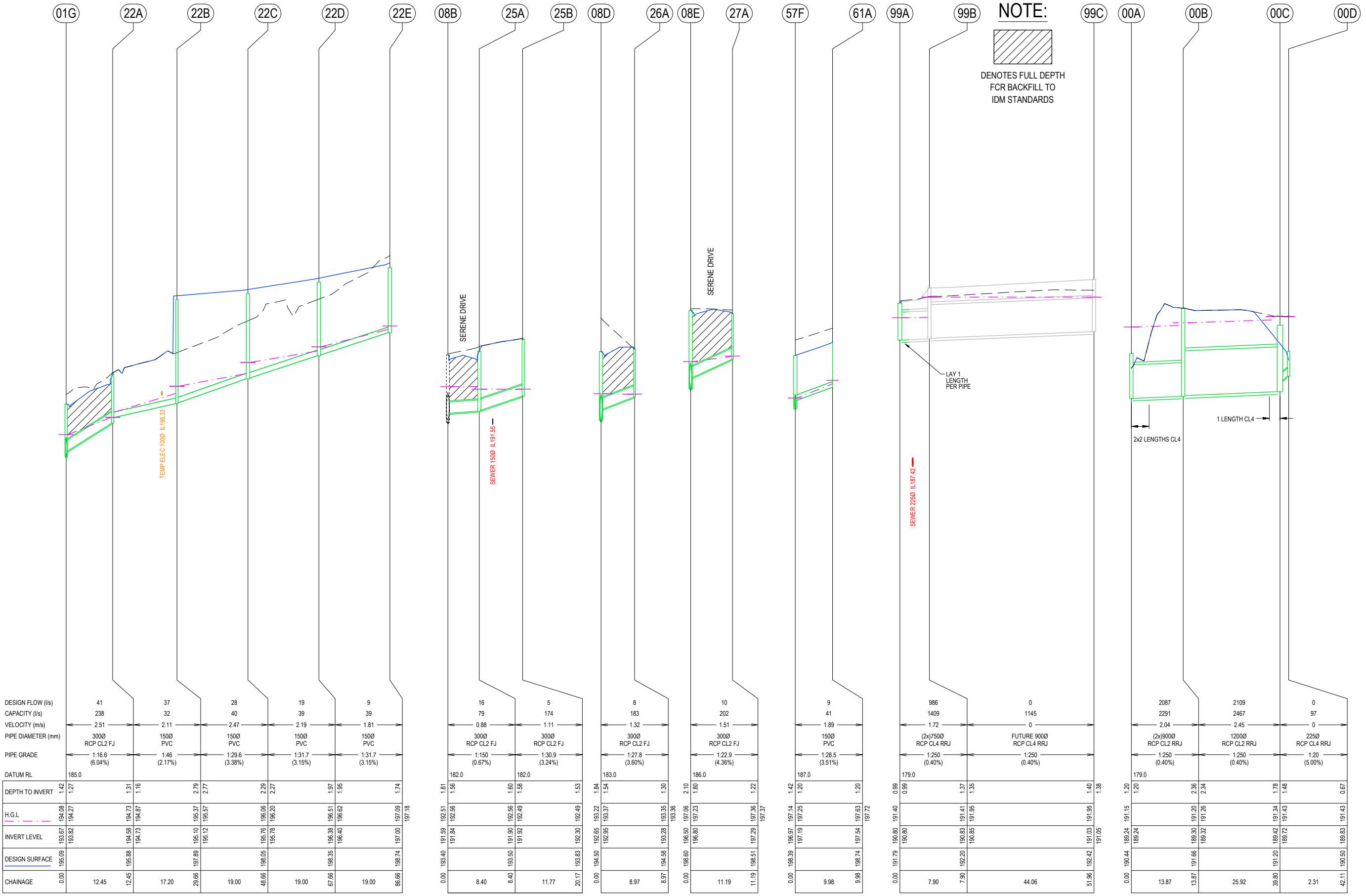
NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\1065316\1065316 R-D PLANS REV.DWG

01G 22A 22B 22C 22D 22E 08B 25A 25B 08D 26A 08E 27A 57F 61A 99A 99B 99C 00A 00B 00C 00D

NOTE:



DENOTES FULL DEPTH FCR BACKFILL TO IDM STANDARDS



DESIGN FLOW (l/s)	41	37	28	19	9
CAPACITY (l/s)	238	32	40	39	39
VELOCITY (m/s)	2.51	2.11	2.47	2.19	1.81
PIPE DIAMETER (mm)	3000 RCP CL2 FJ	1500 PVC	1500 PVC	1500 PVC	1500 PVC
PIPE GRADE	1:16.6 (6.04%)	1:46 (2.17%)	1:29.6 (3.38%)	1:31.7 (3.15%)	1:31.7 (3.15%)
DATUM RL	185.0				
DEPTH TO INVERT	1.42	1.27	2.79	1.97	1.74
H.G.L.	194.08	194.73	196.37	196.51	197.09
INVERT LEVEL	193.67	194.58	195.10	196.51	197.09
DESIGN SURFACE	195.09	195.88	197.89	198.35	198.74
CHAINAGE	0.00	12.45	29.66	48.66	86.66

DESIGN FLOW (l/s)	16	5	8	10	9
CAPACITY (l/s)	79	174	183	202	41
VELOCITY (m/s)	0.88	1.11	1.32	1.51	1.89
PIPE DIAMETER (mm)	3000 RCP CL2 FJ	3000 RCP CL2 FJ	3000 RCP CL2 FJ	3000 RCP CL2 FJ	1500 PVC
PIPE GRADE	1:150 (0.67%)	1:30.9 (3.24%)	1:27.8 (3.60%)	1:22.9 (4.36%)	1:28.5 (3.51%)
DATUM RL	182.0	182.0	183.0	186.0	187.0
DEPTH TO INVERT	1.81	1.60	1.84	2.10	1.42
H.G.L.	192.51	192.56	193.22	197.14	197.14
INVERT LEVEL	191.94	191.90	192.56	196.97	197.14
DESIGN SURFACE	193.50	193.50	194.50	198.39	198.39
CHAINAGE	8.40	11.77	20.17	31.19	40.17

DESIGN FLOW (l/s)	986	0
CAPACITY (l/s)	1409	1145
VELOCITY (m/s)	1.72	0
PIPE DIAMETER (mm)	(2x)7500 RCP CL4 RRJ	FUTURE 9000 RCP CL4 RRJ
PIPE GRADE	1:250 (0.40%)	1:250 (0.40%)
DATUM RL	179.0	
DEPTH TO INVERT	0.99	1.40
H.G.L.	190.80	191.05
INVERT LEVEL	190.80	191.05
DESIGN SURFACE	191.79	192.42
CHAINAGE	7.90	44.06

DESIGN FLOW (l/s)	2087	2109	0
CAPACITY (l/s)	2291	2467	97
VELOCITY (m/s)	2.04	2.45	0
PIPE DIAMETER (mm)	(2x)9000 RCP CL2 RRJ	12000 RCP CL2 RRJ	2250 RCP CL4 RRJ
PIPE GRADE	1:250 (0.40%)	1:250 (0.40%)	1:20 (5.00%)
DATUM RL	179.0		
DEPTH TO INVERT	1.20	2.34	0.67
H.G.L.	189.24	191.26	191.43
INVERT LEVEL	189.24	191.26	191.43
DESIGN SURFACE	190.44	191.15	191.05
CHAINAGE	13.87	25.92	42.11

REV	DESCRIPTION	DES	DWG	CHK	ATH	DATE
G	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NJB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NJB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NJB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NJB	NJB	NJB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NJB	ZD	AR	AR	31/05/22

Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

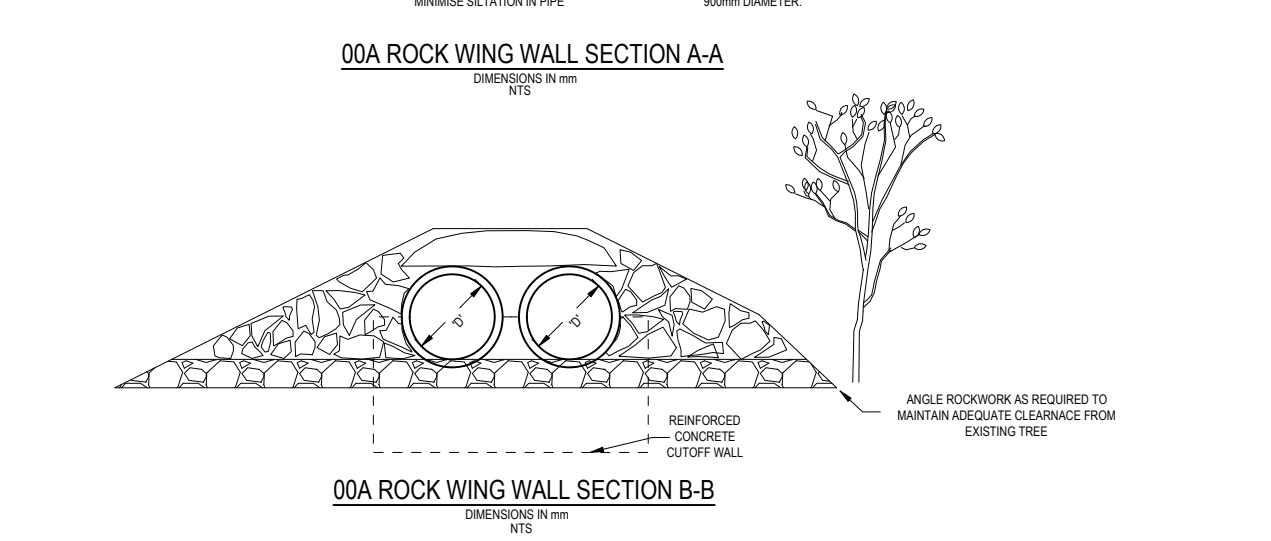
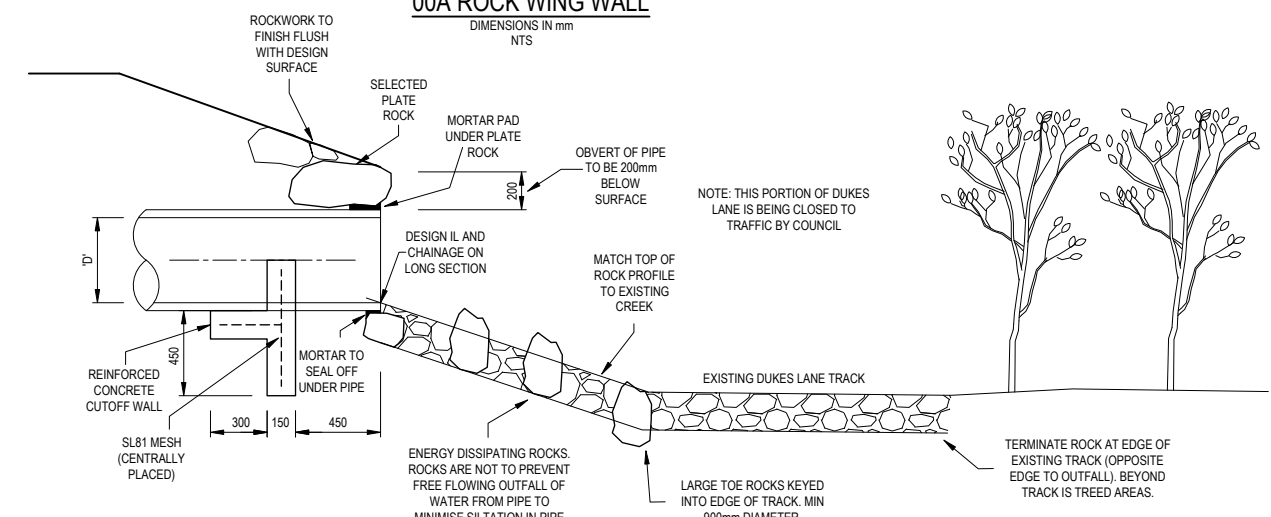
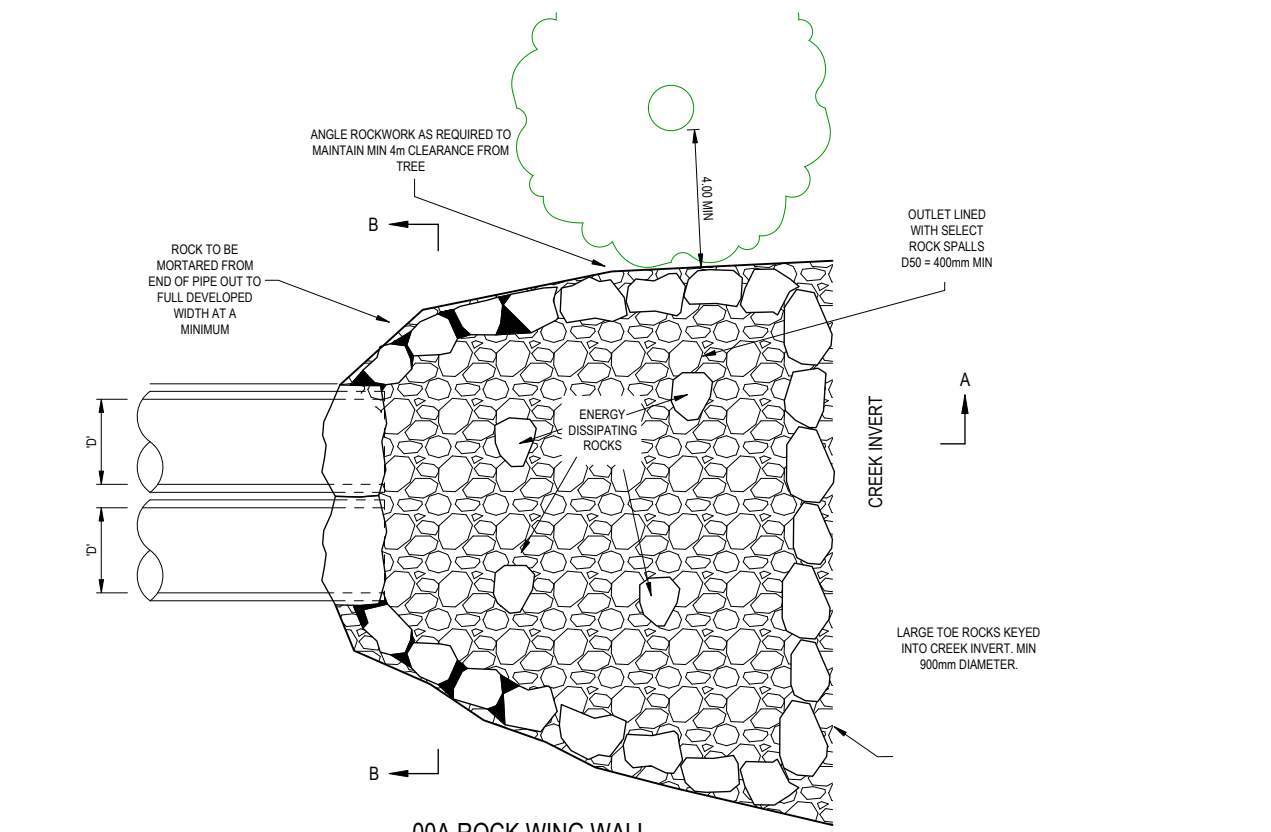
imagine
STRATHFIELDSAYE

SCALE H 1:1,000 V 1:100
LENGTHS ARE IN METRES - PAPER SIZE A
© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT
DIAL BEFORE YOU DIG www.1100.com.au
COMPASS ASSURANCE ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
DRAINAGE LONG SECTIONS (SHEET 4 OF 4)
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD
DWG STATUS: PROJECT & DWG No: REV: **FOR CONSTRUCTION** 1065316R33 / 35 G

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS. PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\1065316\1065316 R-D PLANS REV.DWG

PIT SCHEDULE												
PIT NAME	TYPE	EASTING	NORTHING	INTERNAL		INLET DIA	INV LEV	OUTLET DIA	INV LEV	PIT SETOUT RL	DEPTH	REMARKS
				WD	LEN							
01A/99A	WWALL	265627.991	5924027.867	600	900	2x(2x)750	190.650		190.65		1.200	DUAL TWIN PIPE ROCK WINGWALL REFER TYPICAL DETAILS
01B	JP	265635.406	5924022.626	1200	1500	900	190.710	(2x)750	190.690	192.401	1.710	IDM SD420 (FUTURE CoGB SEP SD590G)
01D	JP	265656.012	5924004.901	1200	1500	900	190.840	900	190.820	192.570	1.760	IDM SD420 (FUTURE CoGB SEP SD590G)
01E	GSEP	265649.323	5923955.441	1200	900	900	191.050	900	191.030	192.732	1.700	HAUNCHED IDM SD480+SD410
01F	GSEP	265645.847	5923929.774	1200	1500	450	191.383	900	191.160	192.828	1.670	HAUNCHED IDM SD480+SD410
01G	GSEP	265637.833	5923872.467	600	900	450	193.695	450	193.675	195.091	1.416	IDM SD480
01H	JP	265636.806	5923848.242	600	900	450	195.950	450	195.922	197.008	1.086	IDM SD420
01I	SEP	265646.657	5923829.889	900	900	450	197.440	450	197.420	198.821	1.401	CoGB SEP SD590G
01J	SEP	265654.489	5923822.070	600	900	375	198.153	450	197.515	199.579	2.064	CoGB SEP SD590G
01K	GSEP	265688.746	5923817.480	600	900	375	198.346	375	198.326	199.957	1.631	IDM SD480
02A	GJP IN KERB	265687.665	5923809.503	450	900			300	198.648	199.842	1.193	IDM SD481
07A	SEP	265656.285	5923813.047	600	900	300	198.294	300	198.274	199.665	1.391	CoGB SEP SD590G
07B	GSEP	265645.852	5923790.852	600	900	300	199.902	300	199.882	201.384	1.502	IDM SD480
07C	GSEP	265638.968	5923739.888	600	900	300	203.896	300	203.404	204.579	1.175	IDM SD480
07D	EX WWALL	265637.281	5923727.435	0	0	300	204.590	300	204.590	205.473	0.883	CAST INSITU IDM SD497
08A	SEP	265653.019	5923921.335	600	1500	750	191.380	750	191.360	193.079	1.720	CoGB SEP SD590BG
08B	SEP	265659.835	5923911.683	1200	1500	750	191.460	750	191.440	193.402	1.960	CoGB SEP SD590BG
08C	SEP	265668.621	5923901.814	900	1500	600	191.829	750	191.679	193.532	1.853	CoGB SEP SD590BG
08D	GSEP	265695.575	5923898.163	900	900	600	192.674	600	192.654	194.496	1.842	IDM SD480
08E	GSEP	265751.216	5923890.626	900	900	600	196.517	600	196.497	198.598	2.101	IDM SD480
08F	SEP	265810.730	5923882.616	900	1200	600	197.018	600	196.998	198.911	1.913	CoGB SEP SD590BG
08G	SEP	265817.775	5923873.538	900	1200	600	197.130	600	197.110	199.019	1.909	CoGB SEP SD590BG
08H	GSEP	265814.199	5923847.512	900	900	600	197.415	600	197.340	199.263	1.923	IDM SD480
20A	SEP	265656.952	5923950.372	600	900	375	191.550	375	191.530	192.703	1.173	CoGB SEP SD590G
20B	GJP	265674.572	5923947.985	600	900	300	191.714	375	191.639	193.300	1.661	IDM SD425 WITH GRATED INSERT
20C	GJP	265692.409	5923945.569	600	900	225	192.399	300	192.324	194.235	1.911	IDM SD425 WITH GRATED INSERT
20D	GJP	265710.246	5923943.153	600	900	225	193.220	225	193.200	194.476	1.276	IDM SD425 WITH GRATED INSERT
20E	GJP	265728.083	5923940.737	600	900	225	193.820	225	193.800	196.118	2.318	IDM SD425 WITH GRATED INSERT
20F	GJP	265745.920	5923938.321	600	900	225	194.420	225	194.400	196.768	2.368	IDM SD425 WITH GRATED INSERT
20G	GJP	265761.776	5923936.173	600	900	225	194.970	225	194.950	197.189	2.239	IDM SD425 WITH GRATED INSERT
20H	GJP	265775.649	5923934.294	600	900	150	195.375	225	195.300	197.475	2.175	IDM SD425 WITH GRATED INSERT
20I	GJP	265791.504	5923932.147	600	900	150	196.420	150	196.400	197.955	1.555	IDM SD425 WITH GRATED INSERT
20J	GJP	265805.377	5923930.267	450	450	150	197.540	150	197.520	198.374	0.853	IDM SD425 WITH GRATED INSERT
20K	GJP	265823.215	5923927.851	450	450	150	197.540	150	197.520	198.814	0.878	IDM SD425 WITH GRATED INSERT
22A	SEP	265645.709	5923863.064	600	900	150	194.726	300	194.576	195.881	1.305	CoGB SEP SD590G
22B	GJP	265662.757	5923860.760	600	900	150	195.120	150	195.100	197.890	2.790	IDM SD425 WITH GRATED INSERT
22C	GJP	265681.588	5923858.229	600	900	150	195.782	150	195.762	198.050	2.288	IDM SD425 WITH GRATED INSERT
22D	GJP	265700.416	5923855.679	600	900	150	196.401	150	196.381	198.350	1.969	IDM SD425 WITH GRATED INSERT
22E	GJP	265719.244	5923853.129	600	900	150	197.000	150	197.000	198.740	1.740	IDM SD425 WITH GRATED INSERT
23A	SEP	265637.347	5923792.156	600	900			300	200.074	201.447	1.372	CoGB SEP SD590G
24A	SEP	265630.445	5923741.042	600	900			300	203.528	204.658	1.130	CoGB SEP SD590G
25A	SEP	265658.856	5923903.339	600	900	300	191.919	300	191.899	193.503	1.604	CoGB SEP SD590G
25B	SEP	265649.630	5923896.314	600	900			300	192.300	193.826	1.526	CoGB SEP SD590G
26A	GJP IN KERB	265700.144	5923905.819	450	900			300	193.276	194.578	1.302	IDM SD481
27A	GJP IN KERB	265759.601	5923897.766	450	900			300	197.285	198.508	1.222	IDM SD481
00A	WWALL	265558.772	5924102.150	450	900	(2x)900	189.240					APPROVED PRECAST WINGWALL
00B	JP	265563.050	5924088.952	900	2400	1200	189.315	(2x)900	189.295	191.656	2.360	IDM SD420
00C	JP	265582.582	5924072.017	1500	4500	225	189.719	1200	189.419	191.200	1.781	TOP OF CONCRETE WALLS AT SPECIFIED RL WITH GRATE AS PER MELB WATER STD DWG 7251/8/423. REFER PIT DETAIL NEXT SHEET. FINISHED EARTHWORKS AT EDGE OF PIT TO BE MAX RL 190.85
00D	JP	265584.175	5924070.339	600	600			225	189.835	190.500	0.665	900X600 OPEN TOPPED BASIN OFFTAKE PIT AS PER MELB WATER STD DWG 7251/12/035 REFER PIT DETAIL NEXT SHEET



G	CHANGED RETAINING WALL NOTE	NB	SA	HB	AR	29/11/22
F	ADJUSTED PIPE DEPTH	NB	SR	HB	AR	17/11/22
E	CHANGED RETAINING WALL NOTE	NB	SA	HB	AR	07/11/22
D	REMOVED RETAINING WALL ALONG LOT 1611 BOUNDARY	NB	SA	HB	AR	18/08/22
C	REGRADE DUKES LN PIPES TO AVOID ELEC - SQUARE UP 01A WINGWALL - MOVE 1633 RET WALL INSIDE TITLE	NB	NB	NB	AR	08/08/22
B	AMENDMENTS AS PER COUNCIL COMMENTS	NB	ZD	AR	AR	31/05/22
REV	REVISION	DES	DWG	CHK	ATH	DATE

Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT

HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

imagine
STRATHFIELDSAYE

SCALE N/A
LENGTHS ARE IN METRES - PAPER SIZE A3

© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT

DIAL BEFORE YOU DIG
www.1100.com.au

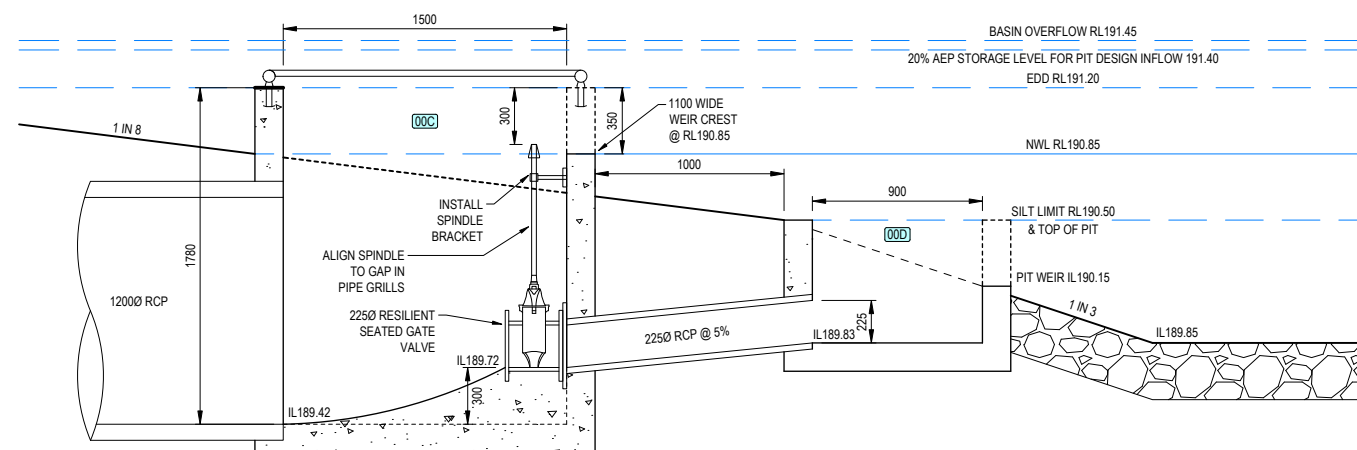
COMPASS ASSURANCE
ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
PIT SCHEDULE & PIT TYPICAL DETAILS (SHEET 1/2)

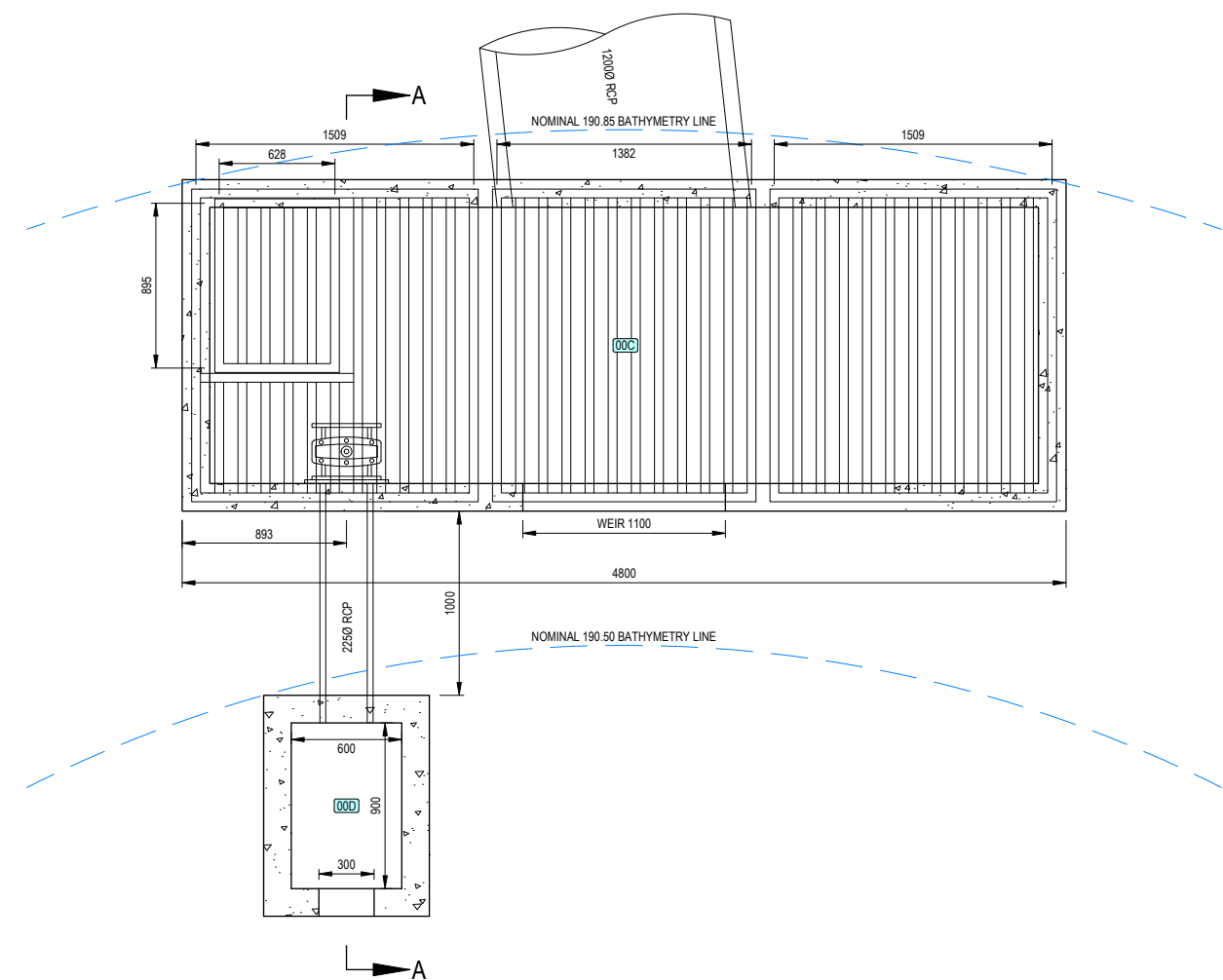
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD

DWG STATUS: PROJECT & DWG No: 1065316R34 / 35
FOR CONSTRUCTION

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS
PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\1205011065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_2822ENGIN000\CURRENT\1065316 R-D PLANS REV.DWG



SED BASIN - OUTLET PITS 00C & 00D SECTION A-A
SCALE 1:40 (A3)



SED BASIN - OUTLET PITS 00C & 00D SECTION B-B
SCALE 1:40 (A3)

REV	DES	DWG	CHK	ATH	DATE
G	NJB	SA	HB	AR	29/11/22
F	NJB	SR	HB	AR	17/11/22
E	NJB	SA	HB	AR	07/11/22
D	NJB	SA	HB	AR	18/08/22
C	NJB	NJB	NJB	AR	08/08/22
B	NJB	ZD	AR	AR	31/05/22

Tomkinson
SURVEY > ENGINEERING > PLANNING > PROJECT MANAGEMENT
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700
ABN 11 103 336 358 WWW.TOMKINSON.COM

imagine
STRATHFIELDSAYE

SCALE N/A
LENGTHS ARE IN METRES - PAPER SIZE A3
© COPYRIGHT THE INFORMATION CONTAINED ON THIS DRAWING IS THE INTELLECTUAL PROPERTY OF TOMKINSON GROUP. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF TOMKINSON GROUP INFRINGES COPYRIGHT
DIAL BEFORE YOU DIG
www.1100.com.au
COMPASS ASSURANCE ISO 9001 QUALITY

IMAGINE STAGE 16
DUKES LANE STRATHFIELDSAYE
PIT SCHEDULE & PIT TYPICAL DETAILS (SHEET 2/2)
CITY OF GREATER BENDIGO REF: DS/188/216
STRATHFIELDSAYE HOLDINGS PTY LTD
DWG STATUS: **FOR CONSTRUCTION** PROJECT & DWG No: 1065316R35 / 35
REV: G

NOTE: THIS IS AN UNCONTROLLED DOCUMENT AND WILL NOT BE UPDATED. IT IS THE RESPONSIBILITY OF THE USER TO CONFIRM THAT THIS IS A CURRENT COPY AND SUITABLE FOR THE PROPOSED USE. THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL SHEETS OF THIS SET AND ANY ACCOMPANYING DOCUMENTS
PLOT DATE: 28/11/2022 FILE: C:\TZD\DATA\TOMKINSON\1065316 - STRATHFIELDSAYE - IMAGINE STAGE 16_2822\ENGIN\000\CURRENT\1065316 R-D PLANS REV.G.DWG