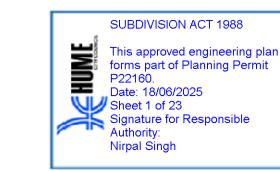
REDSTONE ESTATE STAGE 18A HUME CITY COUNCIL



HUME CITY COUNCIL GENERAL NOTES

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH V.P.A. AND HUME CITY COUNCIL STANDARD DRAWINGS, SPECIFICATIONS, APPROVED PLANS AND TO THE SATISFACTION OF THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE.
- COUNCIL TO BE NOTIFIED SEVEN (7) CLEAR WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORKS WITH A PRE-COMMENCEMENT MEETING BEING HELD BETWEEN HUME CITY COUNCIL. THE CONSULTANT AND THE CONTRACTOR BEFORE WORKS COMMENCE. A SITE MANAGEMENT PLAN IS TO BE SUBMITTED PRIOR TO COMMENCEMENT OF WORKS AND PRIOR TO AN ONSITE PRE-COMMENCEMENT MEETING.
- PRIOR TO COMMENCEMENT OF THE WORKS, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION:
- a. SOURCE OF QUARRY MATERIAL b. N.A.T.A. APPROVED TESTS RESULTS FOR THE F.C.R. THAT IS TO BE USED.
- c. IF THE SOURCE OF THE QUARRY MATERIAL IS CHANGED DURING THE COURSE OF THE WORKS, THEN NEW TEST
- PRIOR TO COMMENCEMENT OF WORKS ON SITE, THE CONTRACTOR MUST ENSURE THAT ALL MATTERS RELATING TO THE OCCUPATIONAL HEALTH AND SAFETY ACT 2004 AND O.H.S. REGULATIONS 2007 HAVE BEEN AND WILL BE COMPLIED
- ON COMMENCEMENT OF CONSTRUCTION WORKS. THE CONTRACTOR MUST COMPLY WITH THE RECOMMENDATIONS OF THE ENVIRONMENT PROTECTION AUTHORITY PUBLICATION "CONSTRUCTION TECHNIQUES FOR SEDIMENT POLLUTION CONTROL." APPROPRIATE SILTATION CONTROL IS TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND
- THE DISPOSAL SITE FOR SPOIL REMOVAL FROM SITE AND TRUCK ROUTE IS TO BE SUBMITTED TO AND APPROVED BY THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE IN WRITING PRIOR TO THE COMMENCEMENT OF ANY
- WHERE WORKS ARE IN THE VICINITY OF EXISTING SERVICES, THESE SERVICES ARE TO BE LOCATED AND EXPOSED/PROVED PRIOR TO COMMENCEMENT OF WORKS, AND THE RELEVANT AUTHORITIES NOTIFIED SEVEN (7) CLEAR DAYS PRIOR TO THE COMMENCEMENT OF THE WORKS.
- 8. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE
- 9. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (A.H.D.).
- 10. ALL CO-ORDINATES ARE TO MAP GRID OF AUSTRALIA MGA 2020 ZONE 55
- 11. THE CONTRACTOR MUST ARRANGE THE REQUISITE INSPECTIONS OF THE WORKS WITH THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE AS PER THE HOLD POINTS IN THE V.P.A. MANUAL AND HUME CITY COUNCIL
- 12. FILL AREAS TO BE STRIPPED OF TOPSOIL, FILLED AND TOPSOIL REPLACED TO OBTAIN FINAL FILL LEVELS AS SHOWN ON PLAN. FILLING IS TO BE CLEAN CLAY COMPACTED TO A DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY VALUE DETERMINED BY THE STANDARD COMPACTION TEST IN ACCORDANCE WITH A.S.1289.5.1.1-2003.
- 13. FILLING TO COMPLY WITH A.S.3798-2007, LEVEL 1 UNLESS SPECIFIED OTHERWISE.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL IMPORTED FILL MATERIAL, INCLUDING TOPSOIL, SATISFIES THE DESCRIPTION FOR CLEAN FILL MATERIAL IN EPA BULLETIN PUBLICATION NO 448 (SEPT '95) AND SUBSEQUENT REVISIONS. THE CONTRACTOR SHALL IF REQUIRED PROVIDE VERIFICATION INCLUDING TEST CERTIFICATES TO THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE.
- 15. WHERE, AS A CONDITION OF THE PLANNING PERMIT OR AS A RESULT OF THE PRE-CONSTRUCTION MEETING, FENCING OF AREAS CONTAINING TREES, NATIVE GRASSES AND SHRUBS IS REQUIRED, A THREE STRAND STAR PICKET AND WIRE FENCE SHALL BE CONSTRUCTED.
- 16. NO TREE OR NATIVE VEGETATION IS TO BE DISTURBED OR REMOVED WITHOUT PRIOR APPROVAL FROM COUNCILS SUSTAINABLE ENVIRONMENT DEPARTMENT, ANY TREES REMOVED. VEGETATION OR OTHER MATERIALS ARE NOT TO BE BURNT ON SITE
- 17. BEFORE COMMENCING WORK ON TRENCHES IN EXCESS OF 1.5m DEEP, NOTICE OF SUCH PROPOSAL IS TO BE FORWARDED BY THE CONTRACTOR TO WORKSAFE VICTORIA.
- 18. THE CONTRACTOR IS TO OBTAIN A BUILDING PERMIT FOR ANY STRUCTURES / FENCES AND FOR ANY RETAINING WALLS
- OVER 1.0m IN HEIGHT. ANY INFRASTRUCTURE DAMAGE DURING THE DEFECTS LIABILITY PERIOD IS THE RESPONSIBILITY OF THE DEVELOPER OR HIS REPRESENTATIVE AND IS TO BE REINSTATED TO THE SATISFACTION OF THE CHIEF EXECUTIVE OFFICER OR HIS
- 20. PRIOR TO STATEMENT OF COMPLIANCE ALL DISTURBED AREAS (INCLUDING NATURE STRIPS, BATTERS, ALLOTMENTS WITH GRADES OF 1:5 AND GREATER, AND RESERVES) ARE TO BE REINSTATED TO A CLEAN, TIDY CONDITION, TOP DRESSED (100MM LOAMY TOP SOIL FREE OF RUBBISH, DEBRIS, CLUMPS, SODS AND CLAY LUMPS), LIGHTLY COMPACTED
- AND HYDRO MULCHED. HYDROMULCH AND SEED MIX TO BE:
- 40KG/HA KIKUYU
- 200KG/HA TURF TYPE PERENNIAL RYE
- 100KG/HA CREEPING RED FESCUE
- 1,500KG/HA OF CELLULOSE FIBRE • SOIL BINDER, SPECIFICALLY MANUFACTURED FOR HYDROMULCHING, USED AT MANUFACTURERS RECOMMENDED
- RATES. (E.G. ORGANIC GAUR TACKIFIERS @ 20 30 KG/HA, BASED ON, SITE CONDITIONS). GRASS IS TO BE ESTABLISHED PRIOR TO THE END OF THE MAINTENANCE PERIOD, UNLESS OTHERWISE AGREED IN
- 21. FOOTPATHS ARE TO BE 50mm OFFSET FROM TITLE BOUNDARIES UNLESS NOTED OTHERWISE. VEHICLE CROSSING
- ALIGNMENTS ARE GENERALLY TO BE PARALLEL TO THE SIDE BOUNDARY.
- 22. ALL NEW CONCRETE WORKS SHALL BE JOINED INTO ABUTTING EXISTING CONCRETE WITH 450mm LONG Y20 DOWEL BARS @ 600 CENTRES, UNLESS OTHERWISE SPECIFIED.
- 23. ANY EXPOSED AGGREGATE CONCRETE WORKS TO BE ACHIEVED BY SAND-BLASTING ONLY. WASHING AGGREGATE OFF
- WITH WATER IS NOT PERMITTED. 24. ALL SERVICE CONDUITS TRENCHES UNDER ROAD PAVEMENTS ARE TO BE BACKFILLED WITH 20mm 3% CEMENT TREATED CLASS 3 CRUSHED ROCK COMPACTED TO A DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY VALUE
- DETERMINED BY THE MODIFIED COMPACTION TEST IN ACCORDANCE WITH A.S.1289.5.2.1-2003. ALL SERVICE CONDUITS TRENCHES UNDER FOOTPATH, VEHICULAR CROSSINGS, PARKING BAYS AND WITHIN 750MM OF PARKING BAYS TO BE BACKFILLED WITH CLASS 3 CRUSHED ROCK. 25. ALL STORMWATER DRAINS ARE TO BE CLASS 2 R.C. OR RIGID F.R.C PIPES WITH ADCOL FLEXIBLE COLLARS UNLESS
- NOTED OTHERWISE. ALL PIPES UP TO AND INCLUDING 750mm DIAMETER ARE TO BE RUBBER RING JOINTED. INTERLOCKING / FLUSH JOINTS WITH EXTERNAL BANDS CAN ONLY BE USED ON PIPE SIZES OVER 750mm DIAMETER.
- 26. WHERE NEW ASPHALT, CONCRETE KERB & CHANNEL, PATHS AND DRIVEWAYS MATCH INTO EXISTING, THE EXISTING SURFACE IS TO BE SAW CUT AND MATCHED NEATLY.
- 27. ALL REDUNDANT ASSETS ARE TO BE REMOVED AND DISPOSED OFF SITE.
- 28. ALL TREES AND SHRUBS ARE TO BE RETAINED UNLESS OTHERWISE SHOWN OR DIRECTED BY THE CHIEF EXECUTIVE
- OFFICER AND/OR THEIR REPRESENTATIVE.
- 29. AT THE COMPLETION OF ALL WORKS, ALL RUBBISH, DEBRIS AND SURPLUS SPOIL SHALL BE REMOVED AND THE SITE SHALL BE CLEARED TO THE SATISFACTION OF THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE. 30. ALL DRAINS BEHIND KERB AND CHANNEL SHALL BE BACKFILLED TO MATCH PAVEMENT SUBGRADE LEVEL WITH 20mm CLASS 3 F.C.R. COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY VALUE DETERMINED BY THE MODIFIED COMPACTION
- DRY DENSITY VALUE DETERMINED BY THE MODIFIED COMPACTION TEST IN ACCORDANCE WITH A.S.1289.5.2.1-2003. PAVEMENT DEPTH SPECIFIED IS A MINIMUM DEPTH AND MAY BE VARIED BY THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE. SOFT SPOTS SHALL BE EXCAVATED TO A PROOF ROLLED BASE AND BACKFILLED WITH APPROVED MATERIAL COMPACTED IN 150mm LAYERS TO ACHIEVE TO A DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY VALUE DETERMINED BY THE STANDARD COMPACTION TEST IN ACCORDANCE WITH A.S.1289.5.1.1-2003.

TEST IN ACCORDANCE WITH A.S. 1289.5.2.1–2003. ALL DRAINS, SEWERS, GAS & WATER MAINS LAID THROUGH THE ROAD

PAVEMENT (EXCEPT CONDUITS) ARE TO BE BACKFILLED WITH 20mm CLASS 2 FCR COMPACTED TO 98% OF THE MAXIMUM

- 32. ALL EXISTING ASSETS AFFECTED BY THE WORKS; E.G. SIGNS, VEHICLE CROSSINGS, FOOTPATHS, KERB AND LINEMARKING SHALL BE REINSTATED BY THE CONTRACTOR PRIOR TO THE COMPLETION OF THE WORKS TO THE SATISFACTION OF THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE.
- 33. PRIOR TO THE COMPLETION OF THE WORKS ALL FIRE HYDRANTS ARE TO BE MARKED IN ACCORDANCE WITH "IDENTIFICATION OF STREET HYDRANTS FOR FIREFIGHTING PURPOSES" PUBLICATION (DEVELOPED BY C.F.A, M.F.B. & E.S.B). MARKINGS TO BE VIA BLUE PAVEMENT MARKER AND A (RED TOPPED) WHITE POST
- 34. AGRICULTURAL DRAINS ARE TO BE PLACED BEHIND ALL KERB AND CHANNEL, KERB ONLY AND EDGE STRIPS IN ACCORDANCE WITH COUNCIL STANDARD DRAWING SD202.
- 35. ALL TABLE DRAINS AND VERGES ARE TO BE REINSTATED UPON COMPLETION OF WORKS TO THE SATISFACTION OF THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE.
- STREET NAME SIGNS ARE TO BE IN ACCORDANCE WITH COUNCIL STANDARD DRAWING SD408. 37. ALL LINEMARKING PAINT SHALL BE LONG LIFE TYPE IN ACCORDANCE WITH SECTION 95C OF THE HUME CITY COUNCIL SPECIFICATIONS. LATERAL WORKS AND ARROWS BEING COLD APPLIED PLASTIC TROWELLED INTO PLACE (MATERIAL

36. ALL TRAFFIC CONTROL MEASURES, SIGNS AND LINEMARKING SHALL BE IN ACCORDANCE WITH A.S.1742 – 1, 2 & 3.

- DEGADUR PLASTELINE) AND LONGITUDINAL LINES BEING EXTRUDED THERMOPLASTIC MATERIAL 38. ALL SIGNS TO BE CLASS 1 HIGH INTENSITY TYPE AND TO COMPLY WITH THE REQUIREMENTS OF A.S.1743 –2001. 39. HOUSE DRAIN CONNECTIONS TO 150mm DIAMETER PIPES TO BE VIA A MANUFACTURED JUNCTION PIECE. 150mm DIAMETER STORMWATER PIPES ARE TO BE HEAVY DUTY SEWER GRADE. PVC PIPES SHALL BE BACKFILLED WITH 10mm MINUS F.C.R.
- TO 150mm ABOVE TOP OF PIPE IN ALL LOCATIONS. 40. 100mm HOUSE DRAIN CONNECTIONS TO BE LAID AT AN OFFSET OF 5.5m FROM THE LOW SIDE TITLE BOUNDARY AND
- PROPERTY INLETS 1.0m FROM THE LOW SIDE OF TITLE BOUNDARY REAR EASEMENTS UNLESS OTHERWISE SHOWN. 41. BLASTING GENERALLY IS NOT ENCOURAGED, HOWEVER BLASTING MAY BE REQUIRED AS A LAST RESORT DEPENDING ON GROUND CONDITIONS. COUNCIL IS TO BE NOTIFIED IN WRITING IF ANY BLASTING IS NECESSARY. RESIDENTS LIKELY TO BE AFFECTED BY THE BLASTING AND ALL SERVICE AUTHORITIES SHALL BE NOTIFIED IN WRITING PRIOR TO WORKS COMMENCING. COPIES OF THESE NOTIFICATIONS ARE TO BE SUBMITTED TO COUNCIL.
- RESIDENT NOTIFICATION LETTER IS TO INCLUDE BLASTING GUIDELINES, FIRING AND MISFIRE PROCEDURES AND CONTRACTOR AND CONSULTANT CONTACT NAMES AND PHONE NUMBERS.
- ALL BLASTING IS TO BE WITHIN THE LIMITS FOR AIR AND GROUND VIBRATION LEVELS AS SET DOWN IN A.S.2187.2-1993. ALL BLASTS SHALL BE MONITORED FOR AIR AND NOISE VIBRATION AT POTENTIALLY AFFECTED RESIDENCES. "FORM A" FROM A.S. 2187.2-1993, AND WAVE TRACE COPIES ARE TO BE SUBMITTED TO COUNCIL FOR EACH BLAST. BLASTING IS TO BE RESTRICTED TO BETWEEN 9:00am AND 3:30pm.
- BLASTING IS NOT TO OCCUR ON WEEKENDS OR PUBLIC HOLIDAYS
- BLASTING AREA SIGNS ARE TO BE PLACED AT ALL ENTRANCES TO THE SITE. 42. FENCING TO BE PROVIDED ALONG LOT BOUNDARIES ABUTTING RESERVES TO THE SATISFACTION OF THE RESPONSIBLI
- AUTHORITY 43. WHERE SODIC SOILS ARE ENCOUNTERED, SODIC SOIL INVESTIGATIONS SHOULD BE CARRIED OUT BY A QUALIFIED SOIL
- SCIENTIST AND THE RECOMMENDATIONS OF THE REPORT SHOULD BE APPLIED DURING ROAD & DRAINAGE DESIGN AND CONSTRUCTION.

SPIIRE GENERAL NOTES

- 44. ALL EXISTING SURFACE LEVELS SHOWN ON THE ENGINEERING DRAWINGS HAVE BEEN INTERPOLATED FROM A DIGITAL TERRAIN MODEL. THESE LEVELS HAVE BEEN USED AS THE BASIS FOR ALL ENGINEERING DESIGN AND DETERMINATION OF QUANTITIES AND ARE ACCURATE TO WITHIN ±0.05m.
- 45. ANY EXISTING SERVICES SHOWN ON THESE DRAWINGS ARE OFFERED AS A GUIDE ONLY AND ARE NOT GUARANTEED AS
- 46. WHERE REQUIRED ANY BUILDINGS TROUGHS, FENCES AND OTHER STRUCTURES ON SITE ARE TO BE REMOVED AS DIRECTED BY THE ENGINEER. THE COST OF REMOVAL IS TO BE INCLUDED IN THE OVERALL EARTHWORKS FIGURE UNLESS A SPECIFIC ITEM FOR REMOVAL IS DENOTED IN THE SCHEDULE
- 47. ALL FILLING ON LOTS AND WITHIN ROAD RESERVES GREATER THAN 200mm IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH A.S.3798-2007. FILLING MATERIAL IS TO BE IN ACCORDANCE WITH THE SPECIFICATION, A.S.3798-2007 & TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT.
- 48. ALL BATTERS SHALL BE 1 IN 6, UNLESS OTHERWISE SHOWN.
- 49. NO FILL OR STOCKPILING OF MATERIAL IS TO BE PLACED ON ANY RESERVE FOR PUBLIC OPEN SPACE UNLESS OTHERWISE DIRECTED OR APPROVED BY THE SUPERINTENDENT.
- 50. T.B.M.'S TO BE RE-ESTABLISHED BY THE LICENSED SURVEYOR IF FOUND TO BE MISSING AT THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF T.B.M.'S THEREAFTER.
- 51. AT LEAST THREE (3) DAYS PRIOR TO COMMENCING WORK ON EXCAVATIONS IN EXCESS OF 1.50m DEEP, A NOTIFICATION FORM MUST BE SENT TO WORKSAFE. THE CONTRACTOR IS TO COMPLY WITH WORKSAFE, THE MINES (TRENCHES) REGULATION 1982, THE MINES ACT 1958 AND OCCUPATIONAL HEALTH AND SAFETY ACT 1985, 2004.
- 52. WHERE REQUIRED, ALL EXISTING DAMS, DEPRESSIONS AND DRAINS ARE TO BE BREACHED, DRAINED, DE-SLUDGED AND SHALL BE EXCAVATED TO A CLEAN FIRM BASE. THE SURFACE SHALL BE INSPECTED, APPROVED AND LEVELLED BY THE ENGINEER PRIOR TO COMMENCEMENT OF FILLING. THE FILL SHALL BE APPROVED SELECTED ON SITE MATERIAL OR APPROVED IMPORTED MATERIAL. THE FILL SHALL BE PLACED UNDER CONTROLLED MOISTURE CONDITIONS IN ACCORDANCE WITH THE SPECIFICATION.
- 53. GAS AND WATER CONDUITS SIZES ARE AS FOLLOWS:
- Ø50mm CLASS 12 P.V.C. SINGLE SERVICE
- Ø100mm CLASS 12 P.V.C. DUAL SERVICE (DRINKING AND NON DRINKING WATER) WITH THE FOLLOWING MINIMUM COVER TO FINISHED SURFACE LEVELS:
- ROAD PAVEMENT 0.80m
- VERGE & FOOTPATHS 0.45m
- 54. A.G. / SUBSOIL DRAIN TO BE LAID BEHIND KERB & CHANNEL, KERB ONLY AND EDGE STRIPS WHERE REQUIRED IN ACCORDANCE WITH THE HUME CITY COUNCIL STANDARD DRAWING SD282 AND CONNECTED TO UNDERGROUND DRAINAGE.
- 55. CENTRE LINES OF ALL EASEMENT DRAINS ARE OFFSET 1.0m OR 2.2m (WHERE OUTSIDE OF SEWER) FROM THE PROPERTY LINE UNLESS SHOWN OTHERWISE.
- 56. WHERE CURVED PIPE ALIGNMENTS ARE SHOWN ON THE FACE PLANS THEY ARE TO BE LAID PARALLEL TO THE BACK OF KERB. EXCEPT WHERE A RADIUS HAS BEEN SPECIFICALLY NOMINATED. CURVED PIPES ARE TO BE APPROVED BY COUNCIL AND IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- 57. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS2124-1992 GENERAL CONDITIONS OF CONTRACT.
- 58. TELSTRA IS TO BE NOTIFIED 7 DAYS PRIOR TO PLACEMENT OF CONCRETE WORKS.
- 59. PAVEMENT DEPTHS MAY BE MODIFIED AS DIRECTED BY THE SUPERINTENDENT. PAVEMENT TO BE BOXED OUT TO MINIMUM DEPTH DENOTED, INSPECTED AND IF SUBGRADE IS IN QUESTION, FURTHER TESTING CARRIED OUT TO DETERMINE FINAL PAVEMENT DEPTH.
- 60. WHERE PAVEMENT IS CONSTRUCTED ON FILLING, FILL MATERIAL IS TO BE APPROVED BY THE SUPERINTENDENT AND COUNCIL. FILLING TO BE CONSTRUCTED IN LAYERS 150mm THICK WITH COMPACTION ACHIEVING 95% AUSTRALIAN STANDARD DENSITY.
- 61. WHEN PAVEMENT EXCAVATION IS IN ROCK, ALL LOOSE MATERIAL (INCLUDING ROCKS AND CLAY) MUST BE REMOVED. THE SUB-GRADE MUST THEN BE REGULATED WITH COUNCIL APPROVED MATERIAL.
- 62. ALL TEMPORARY WARNING SIGNS USED DURING CONSTRUCTION SHALL BE SUPPLIED AND MAINTAINED IN ACCORDANCE
- 63. THE CONTRACTOR IS REQUIRED TO OBTAIN A 'PERMIT TO WORK' FROM MELBOURNE WATER'S SURVEILLANCE OFFICER AT THE PRE-COMMENCEMENT MEETING. THE CONTRACTOR IS REQUIRED TO ENSURE THAT THE 'PERMIT TO WORK' IS KEPT UP TO DATE FOR THE DURATION OF THE CONTRACT.
- 64. CONTRACTOR TO ENSURE SEWER MANHOLES ARE WHOLLY LOCATED IN PROPOSED FOOTPATHS.

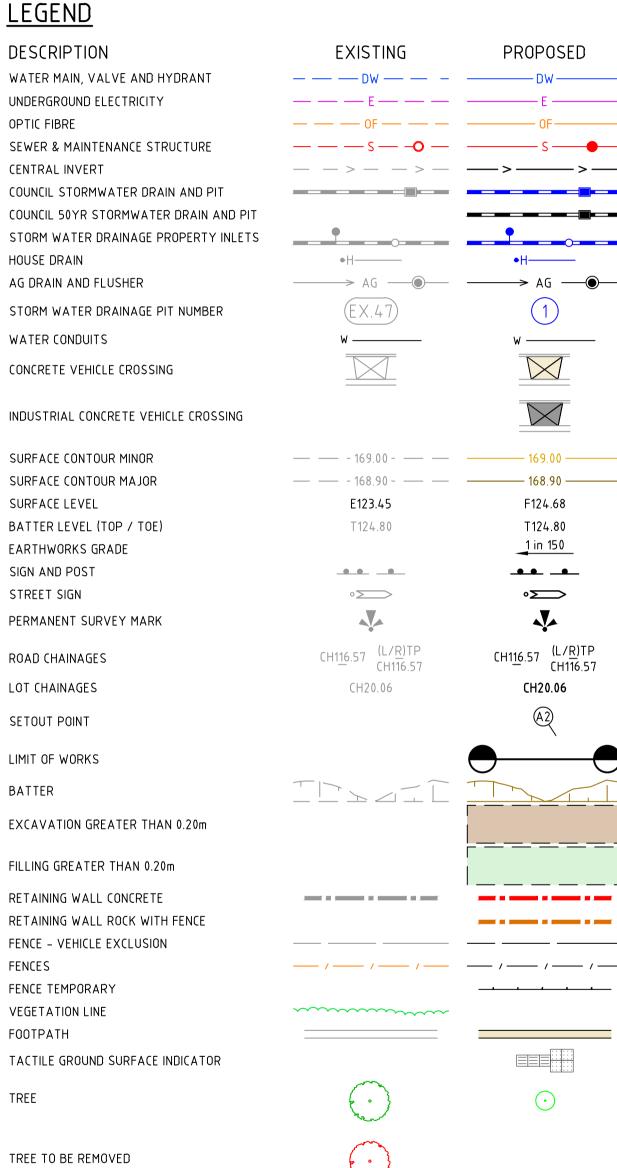


DRAWING SCHEDULE

| DRAWING | DESCRIPTION | SHEET No. | REVISION |
|---------|-------------------------------------|-----------|----------|
| CR100 | FACE SHEET | 1 | 0 |
| CR200 | FACE PLAN | 2 | 0 |
| CR201 | SERVICES PLAN | 3 | 0 |
| CR202 | EXISTING SITE PLAN | 4 | 0 |
| CR300 | ROAD LONG SECTIONS | 5 | 0 |
| CR400 | TYPICAL ROAD CROSS SECTIONS | 6 | 0 |
| CR401 | ROAD CROSS SECTIONS - SHEET 1 | 7 | 0 |
| CR402 | ROAD CROSS SECTIONS – SHEET 2 | 8 | 0 |
| CR500 | INTERSECTION DETAILS | 9 | 0 |
| CR600 | DRAINAGE LONG SECTIONS – SHEET 1 | 10 | 0 |
| CR601 | DRAINAGE LONG SECTIONS – SHEET 2 | 11 | 0 |
| CR602 | DRAINAGE PIT SCHEDULE AND SETOUT | 12 | 0 |
| CR700 | PAVEMENT AND TYPICAL DETAILS | 13 | 0 |
| CR800 | SIGNAGE AND LINEMARKING | 14 | 0 |
| CR900 | RETAINING WALL PLAN | 15 | 0 |
| CR901 | RETAINING WALL SECTIONS AND DETAILS | 16 | 0 |



ZONE 55





WARNING

BEWARE OF UNDERGROUND/OVERHEAD SERVICES THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

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H.HOGGARD M.RANJANAN J.POYNER

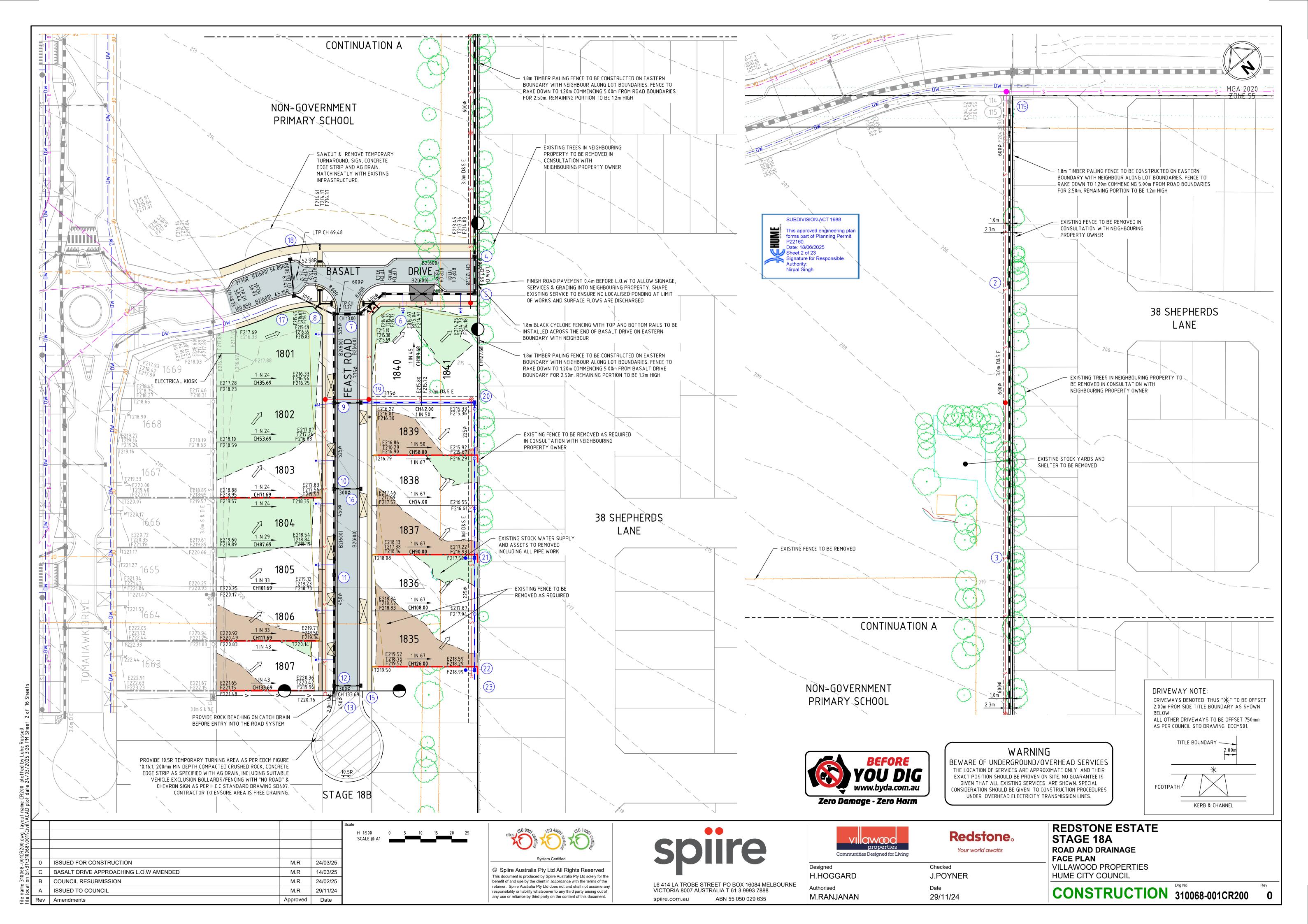
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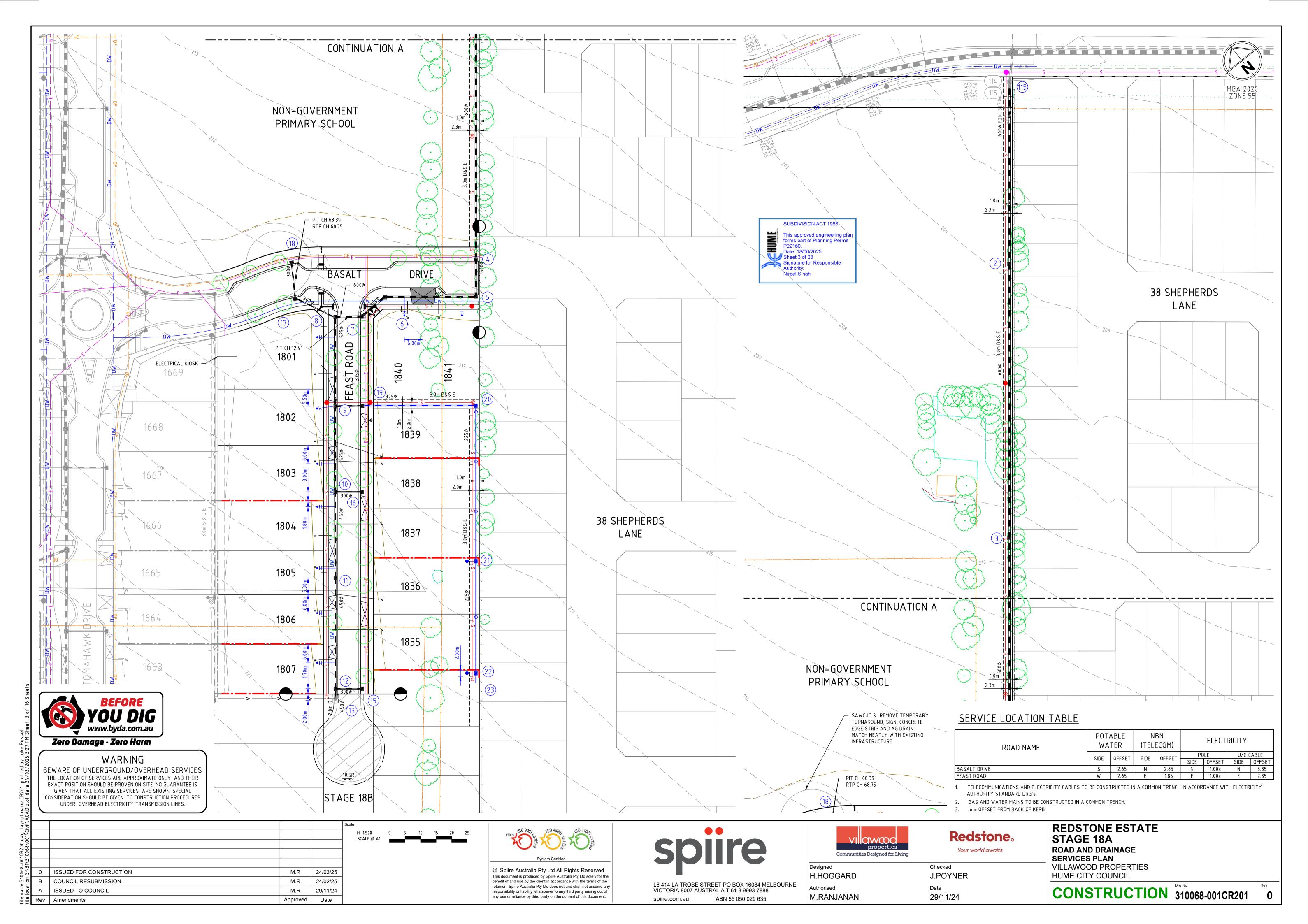
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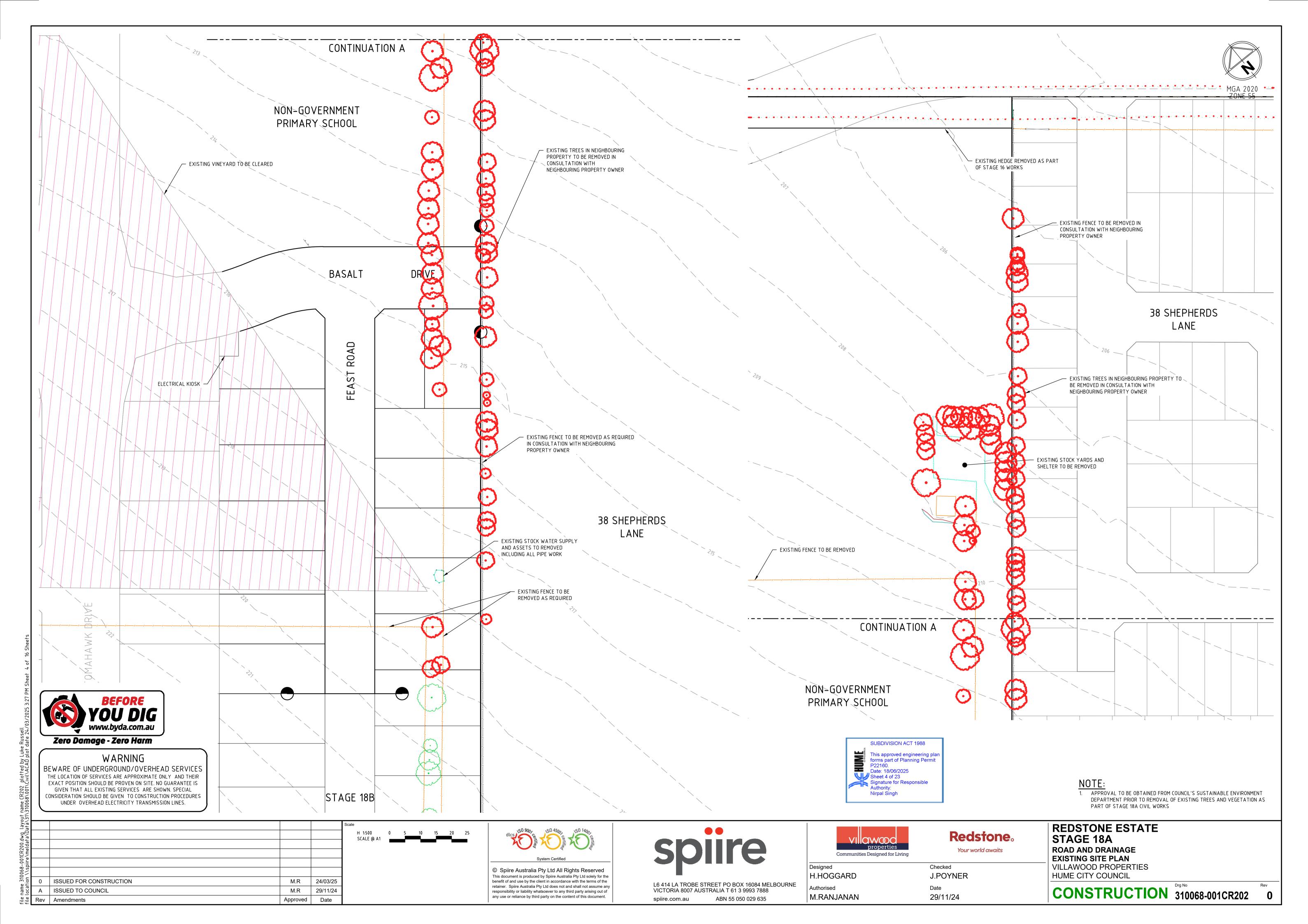
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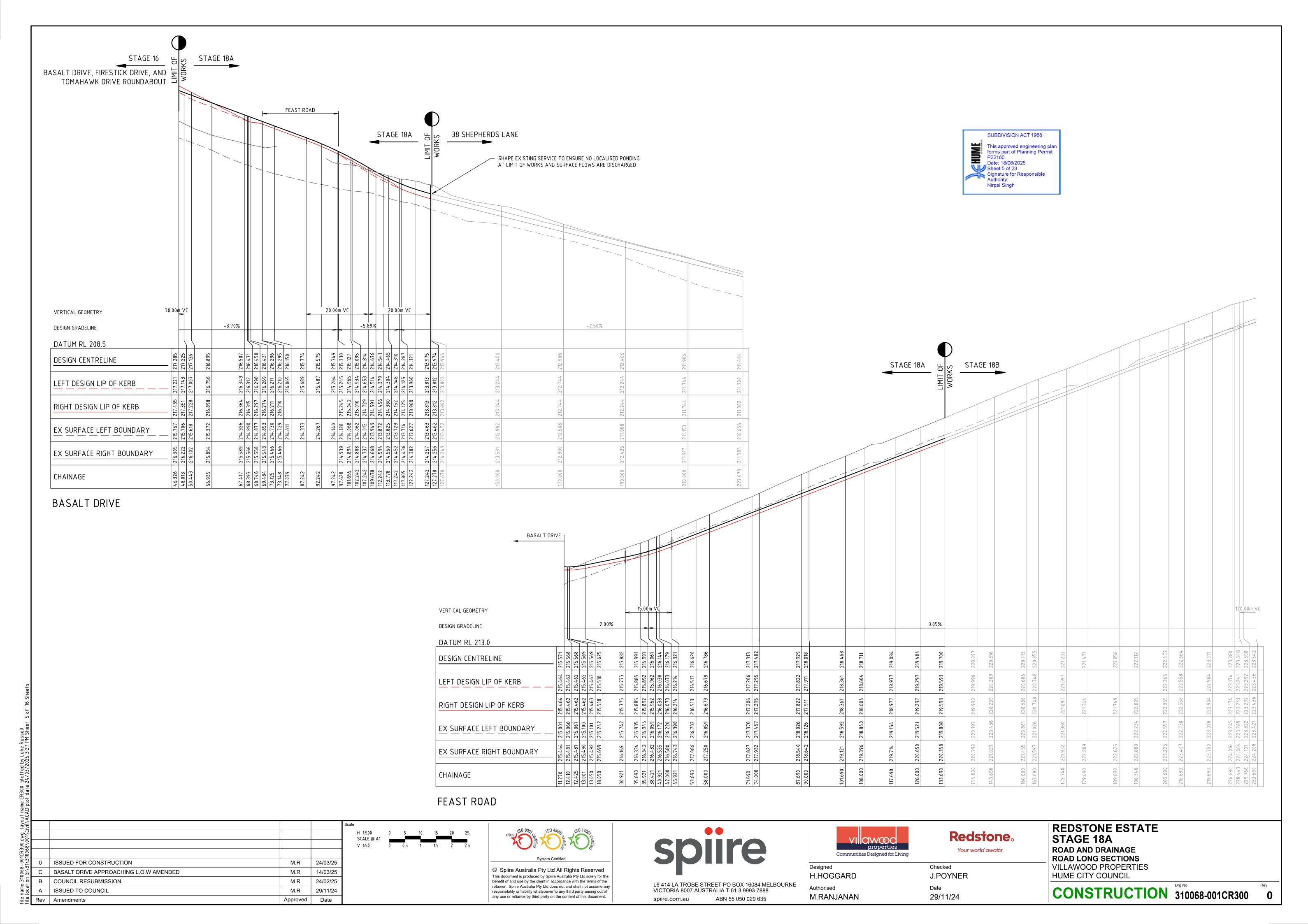
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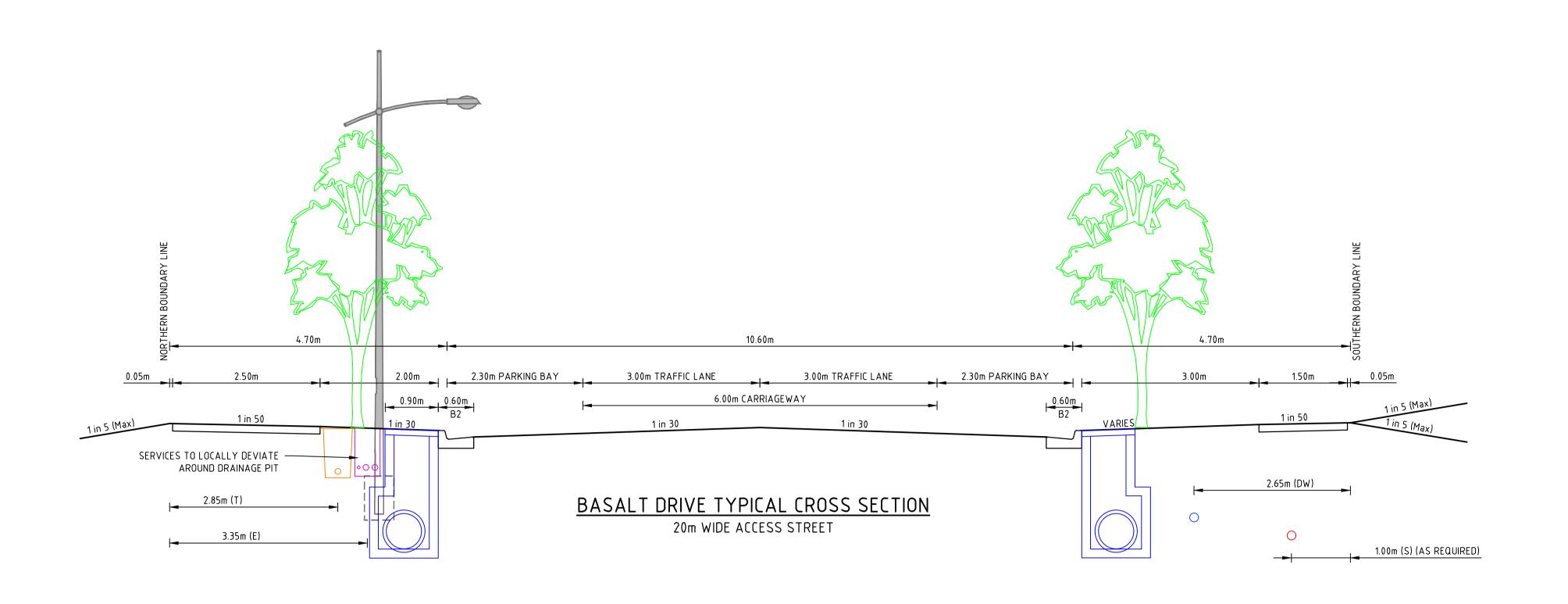
HUME CITY COUNCIL

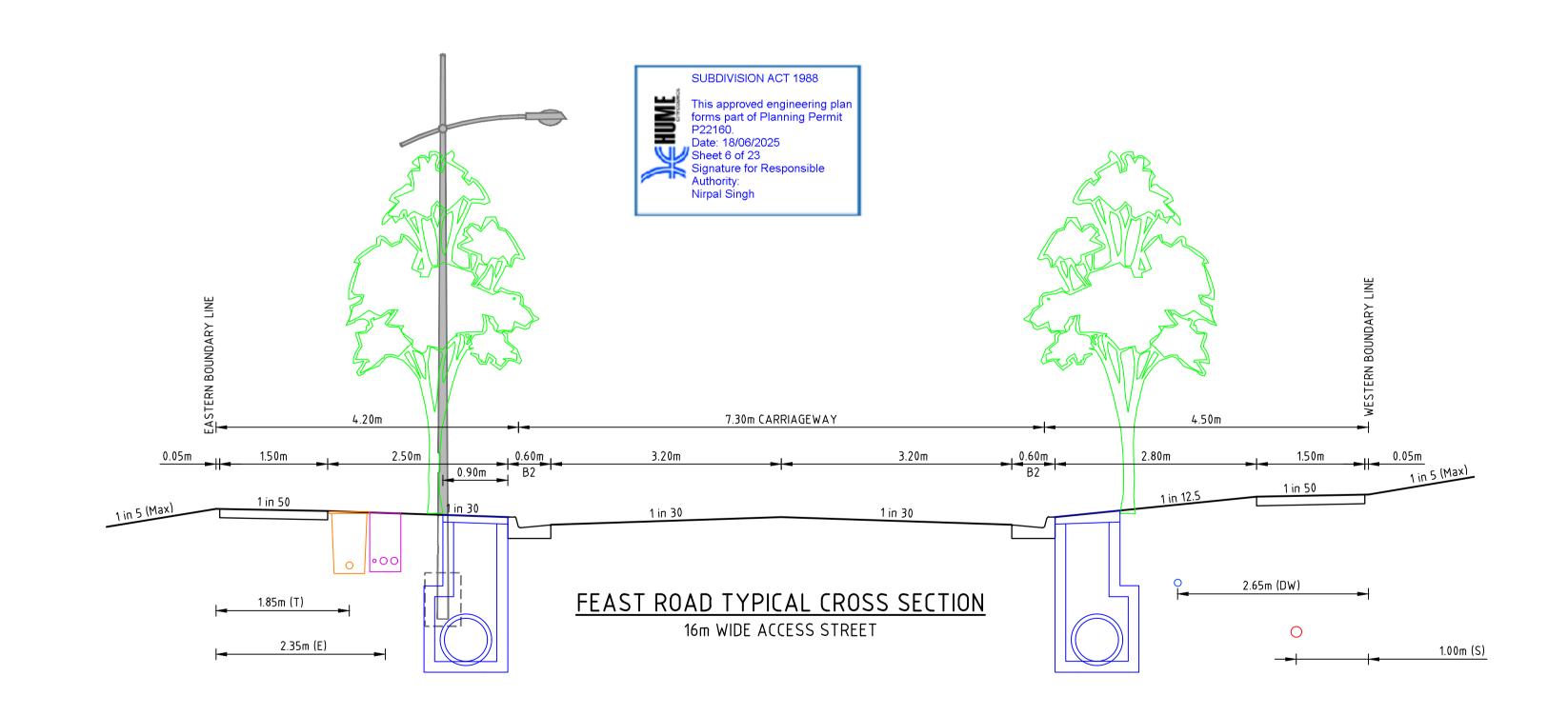




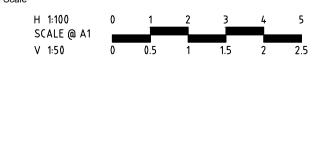








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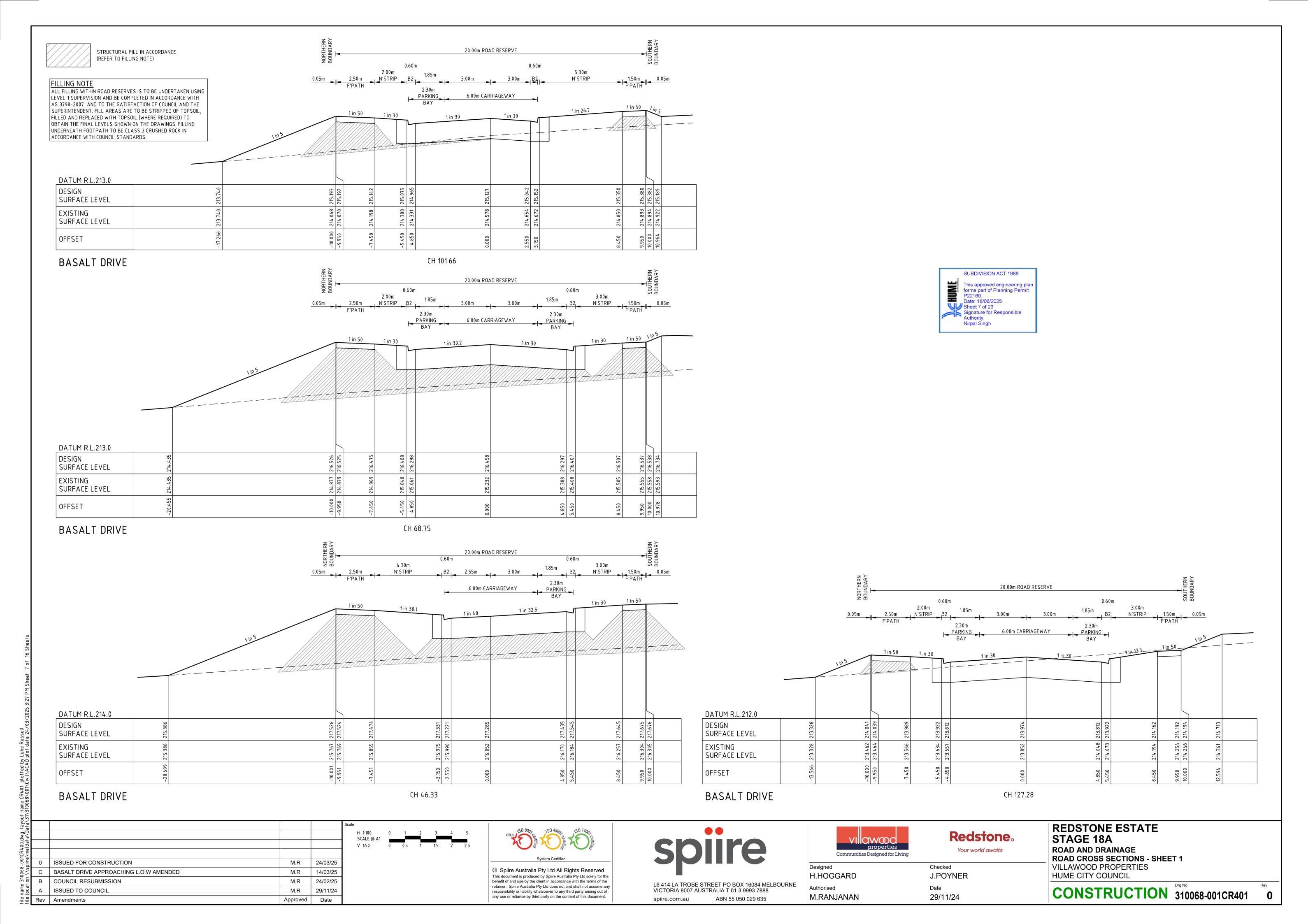
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Your world awaits Checked Designed H.HOGGARD J.POYNER Date Authorised

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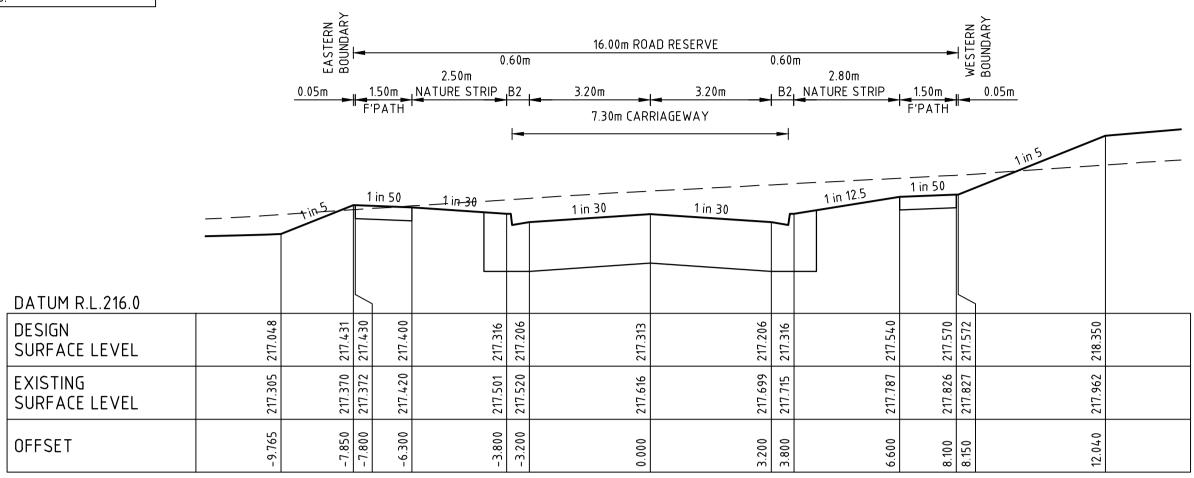
REDSTONE ESTATE STAGE 18A ROAD AND DRAINAGE TYPICAL ROAD CROSS SECTIONS
VILLAWOOD PROPERTIES HUME CITY COUNCIL



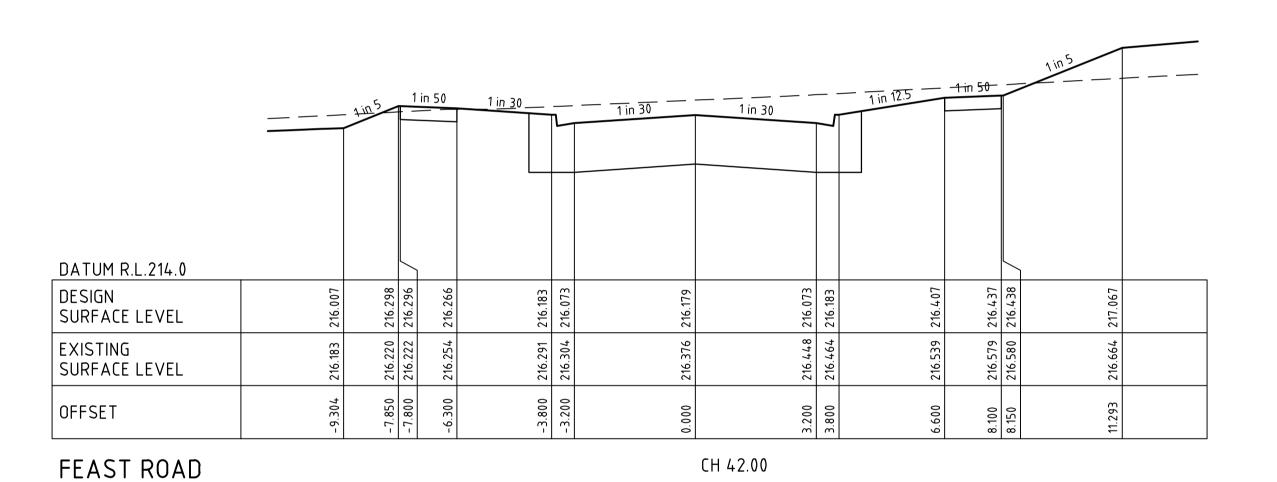
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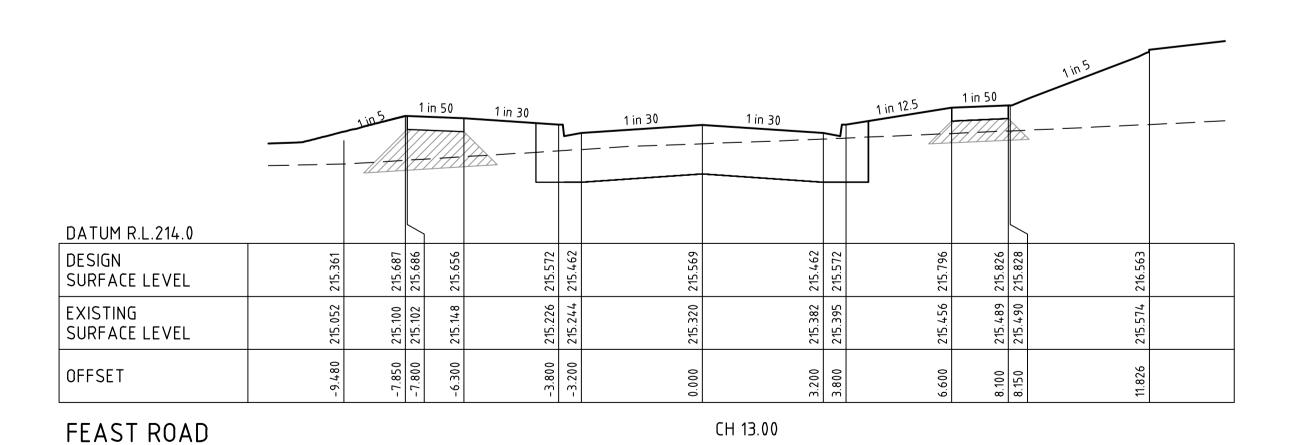
ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007 AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS. FILLING UNDERNEATH FOOTPATH TO BE CLASS 3 CRUSHED ROCK IN ACCORDANCE WITH COUNCIL STANDARDS.

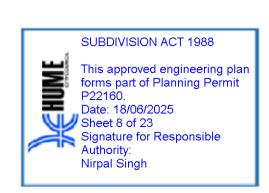
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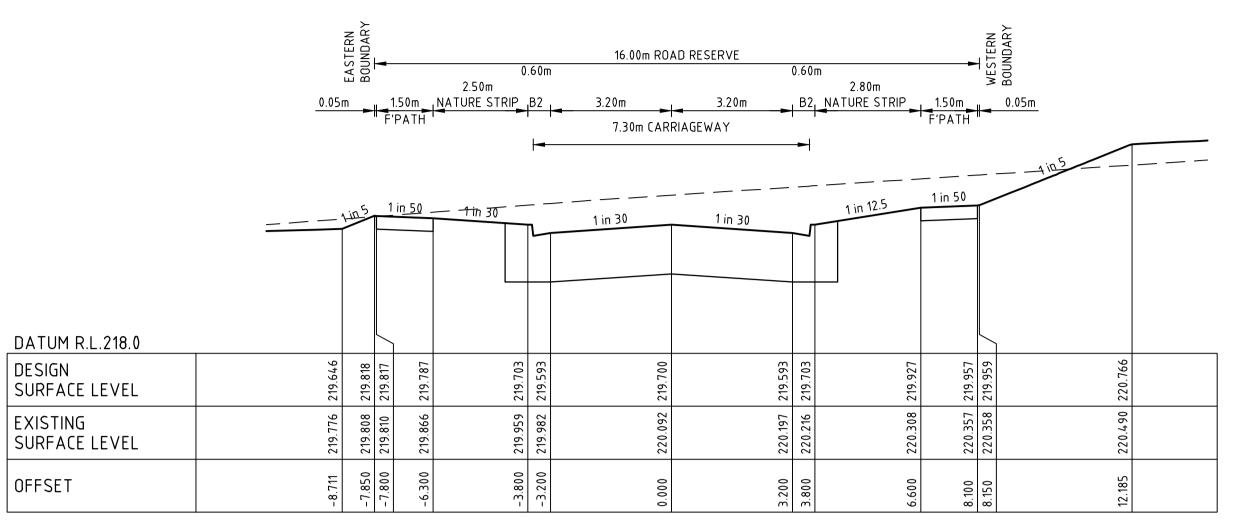


CH 71.69

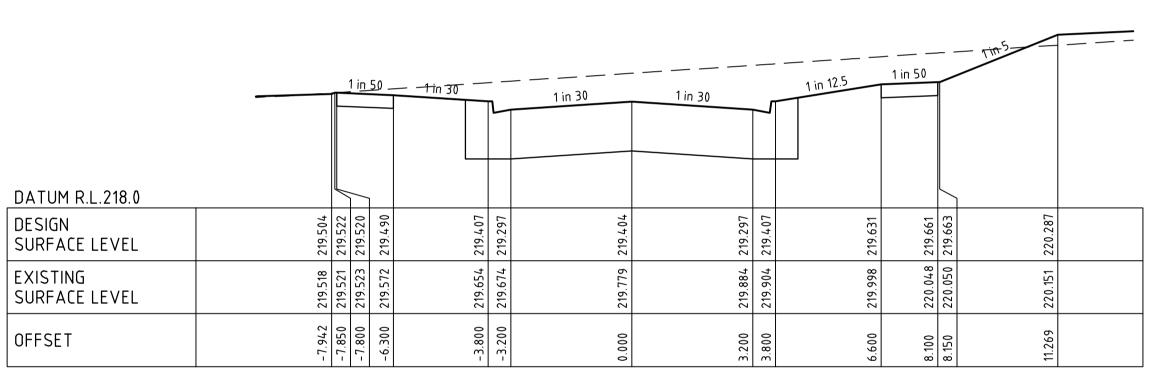




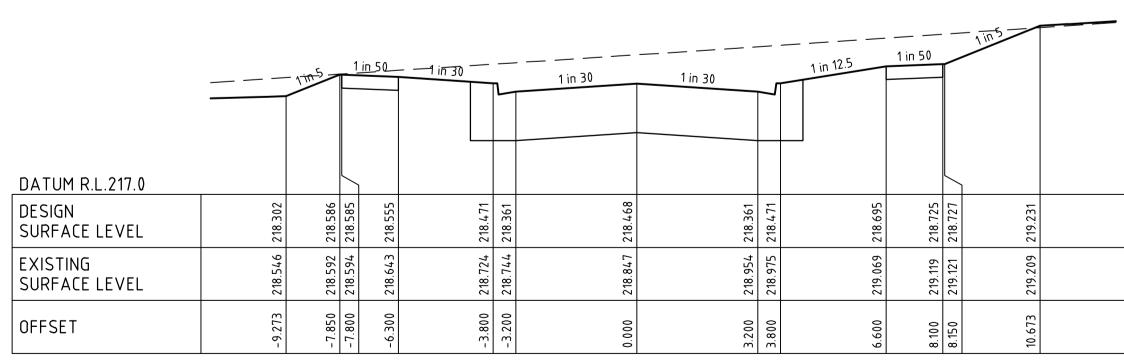




CH 133.69 FEAST ROAD

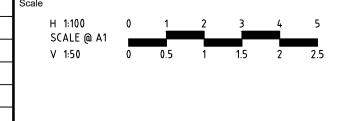


CH 126.00 FEAST ROAD



CH 101.69 FEAST ROAD

| $\frac{1}{2}$ | | | | |
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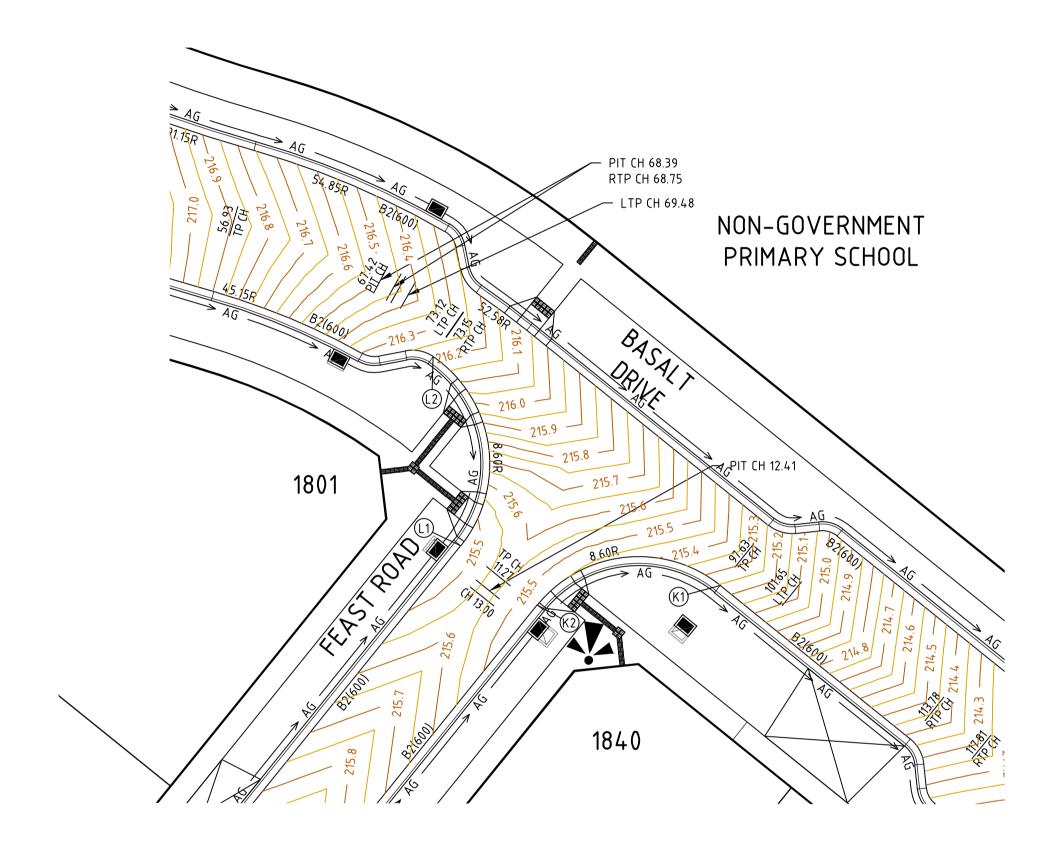


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| H.HOGGARD |
| Authorised |
| M.RANJANAN |

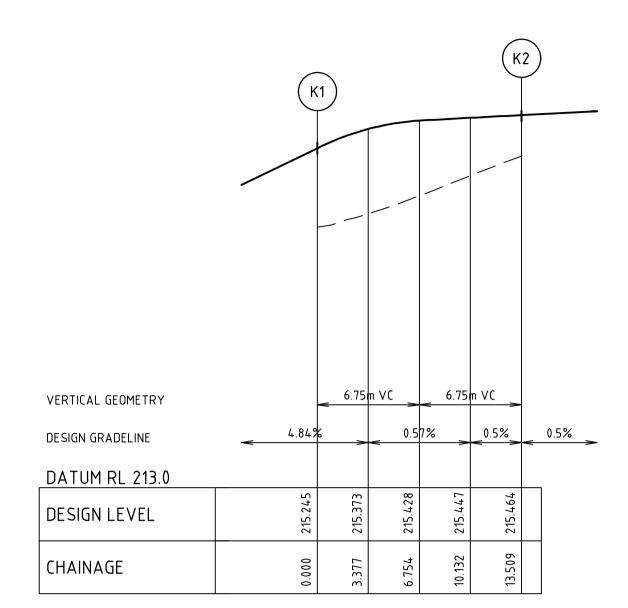
| Redstone |
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| Date | |
| 29/11/24 | |

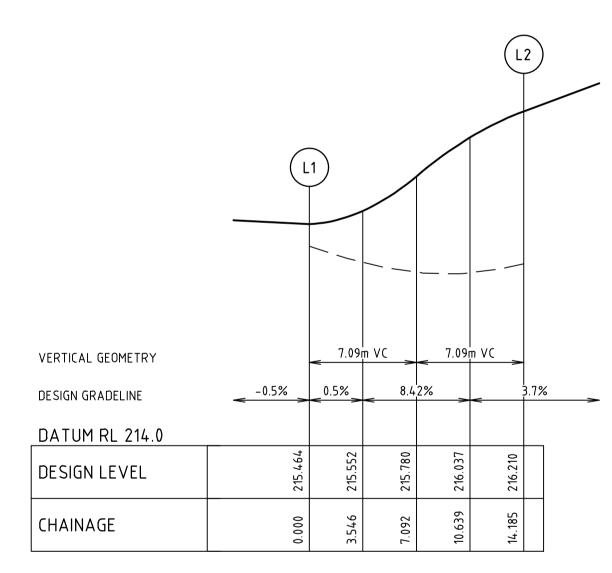
REDSTONE ESTATE STAGE 18A ROAD AND DRAINAGE ROAD CROSS SECTIONS - SHEET 2 VILLAWOOD PROPERTIES HUME CITY COUNCIL



| ALIGNMENT | K | AL | IGNMENT L | | |
|-------------------------------------|---|--|---|--|---|
| POINT NO K1 1/4 1/2 3/4 | EASTING NORTHING RL 302321.304 5835233.882 215.3 302318.332 5835235.439 215.3 302314.990 5835235.741 215.4 302311.787 5835234.741 215.4 | 2 4 5 3 7 3 4 2 8 4 4 7 1/ | 2 3 0 2 3 0 5 . 9 7 2 4 3 0 2 3 0 4 . 7 5 8 | NORTHING 5835236.517 5835239.652 5835243.166 5835246.472 5835249.014 | R L 2 15 . 4 6 4 2 15 . 5 5 2 2 15 . 7 8 0 2 16 . 0 3 7 2 16 . 2 1 0 |
| | 302309.211 5835232.591 215 RADIUS ARC L CHORD MID ORD 8.600 13.509 12.162 2.519 | QTR ORD CU | 3 0 2 3 0 2 . 3 2 2 RVE RADIUS ARC L - L 2 8 . 6 0 0 1 4 . 1 8 5 | CHORD MID | ORD QTR ORD 63 - 0.721 |



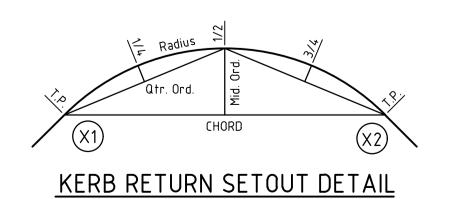
ALIGNMENT K



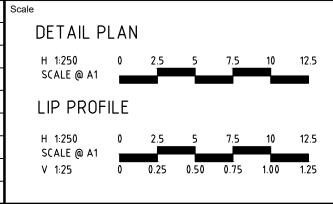
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ALIGNMENT L



| 0 | ISSUED FOR CONSTRUCTION | M.R | 24/03/25 |
|-----|--|----------|----------|
| В | BASALT DRIVE PAVEMENT & KERB ALIGNMENT K AMENDED | M.R | 14/03/25 |
| Α | ISSUED TO COUNCIL | M.R | 29/11/24 |
| Rev | Amendments | Approved | Date |





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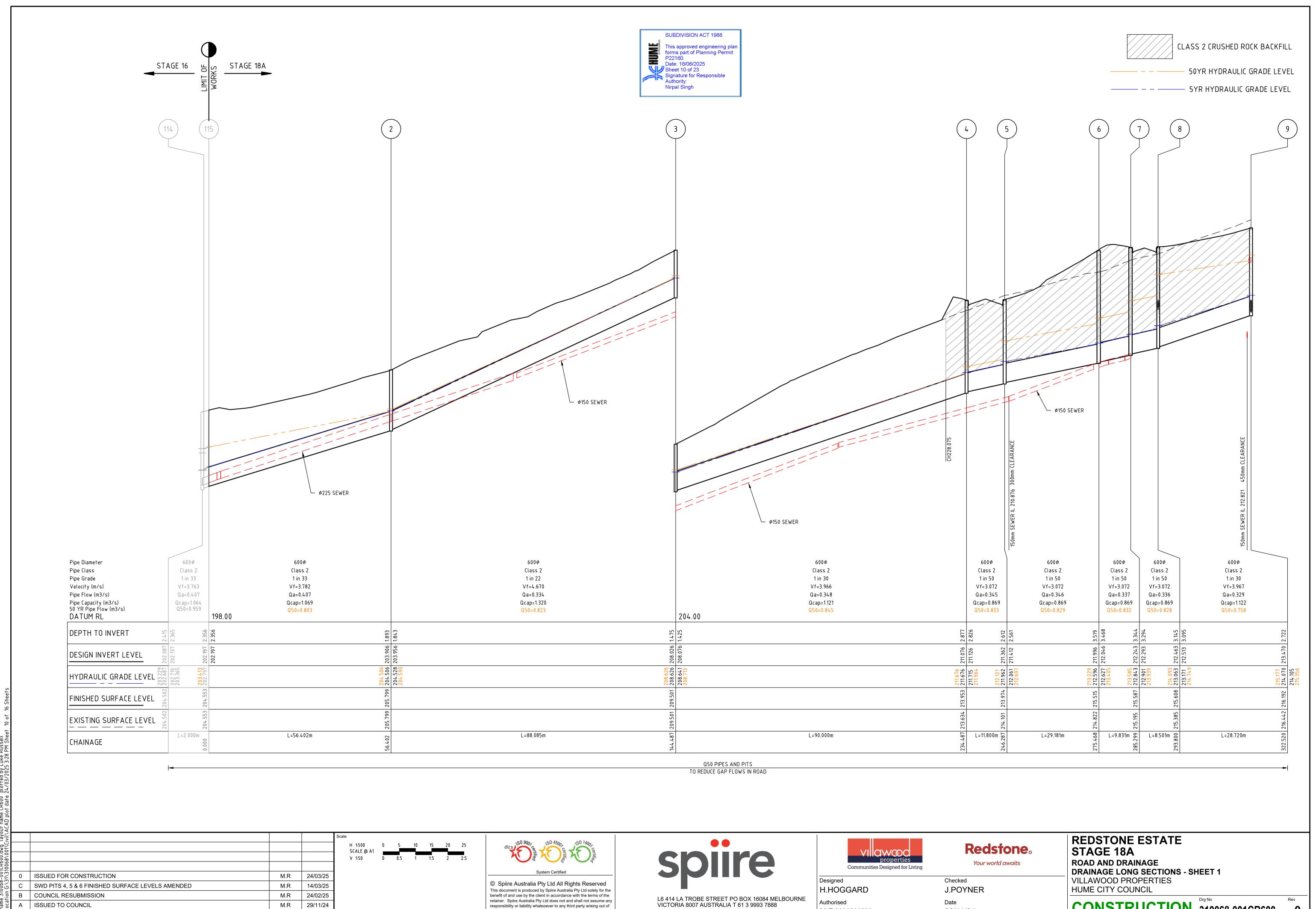


| | Designed |
|---|------------|
| | H.HOGGARD |
| REET PO BOX 16084 MELBOURNE RALIA T 61 3 9993 7888 | Authorised |
| ABN 55 050 029 635 | M.RANJANAN |

| VII CWOC properties | |
|---------------------------------|--|
| Communities Designed for Living | |

| Checked |
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| J.POYNER |
| Date |
| 29/11/24 |

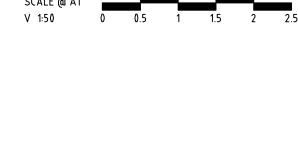
REDSTONE ESTATE STAGE 18A ROAD AND DRAINAGE INTERSECTION DETAILS VILLAWOOD PROPERTIES HUME CITY COUNCIL



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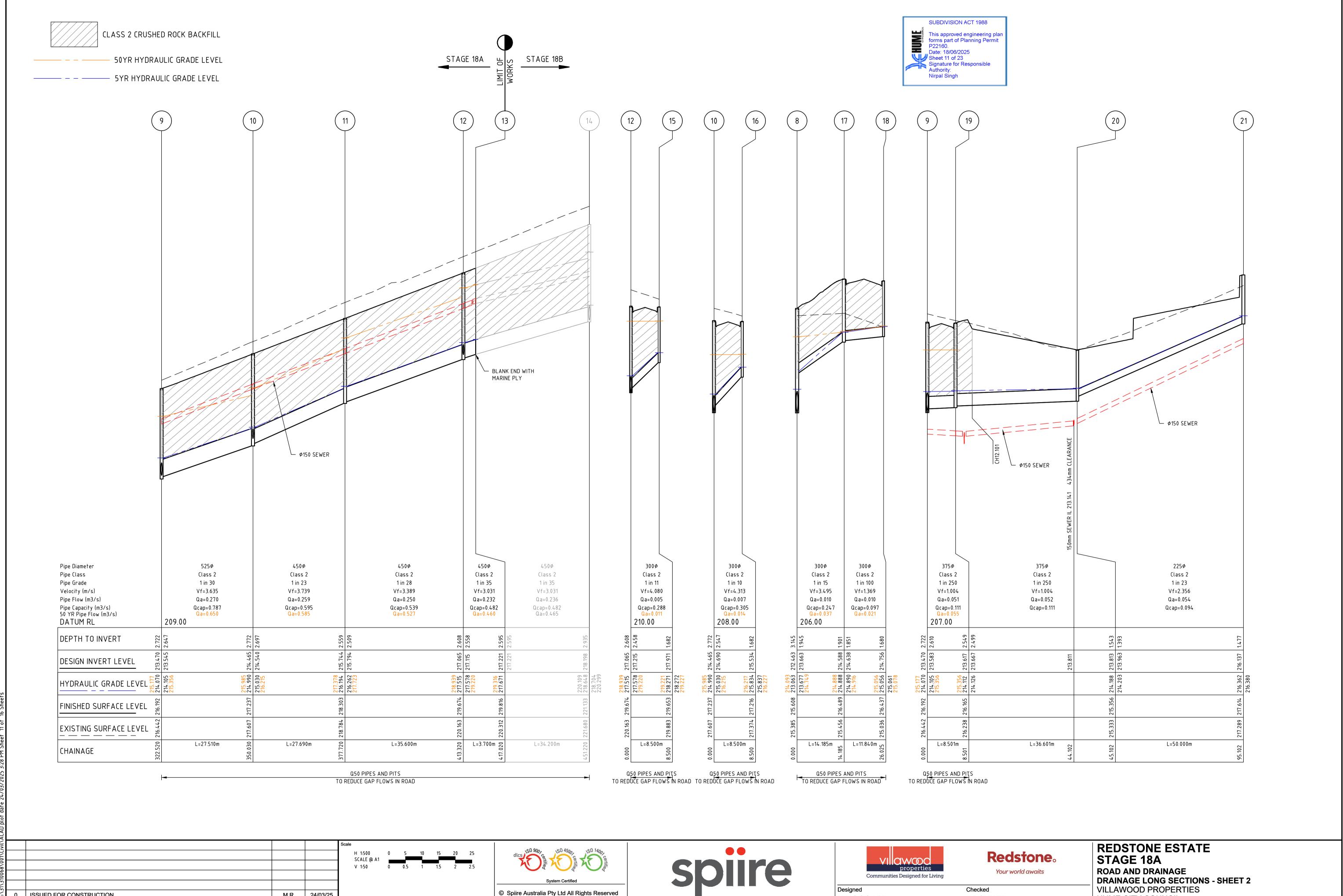


Date

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Authorised M.RANJANAN

29/11/24



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ISSUED FOR CONSTRUCTION

COUNCIL RESUBMISSION

M.R

M.R

M.R

Approved

24/03/25

24/02/25

29/11/24

Date

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M.RANJANAN

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J.POYNER

Date

29/11/24

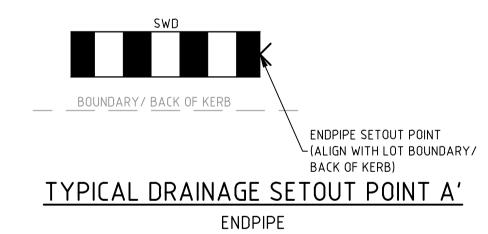
VILLAWOOD PROPERTIES HUME CITY COUNCIL

DRAINAGE PIT SCHEDULE

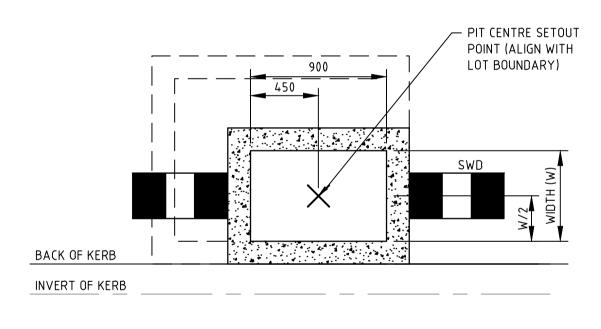
| PIT | | INTERNAL | | INLET | | OUTLET | | PIT | | REMARKS |
|------|-----------------------|----------|--------|-------|-----------|--------|-----------|----------|-------|-----------------------------------|
| NAME | TYPE | WIDTH | LENGTH | DIA | INV LEVEL | DIA | INV LEVEL | FS LEVEL | DEPTH | |
| 115 | ENDPIPE | | | 600 | 202.197 | 600 | 202.197 | 204.553 | 2.356 | CONNECT TO EXISTING ENDPIPE |
| 2 | JUNCTION PIT | 900 | 900 | 600 | 203.956 | 600 | 203.906 | 205.799 | 1.893 | REFER TO EDCM STD FIG 607 |
| 3 | JUNCTION PIT | 900 | 900 | 600 | 208.076 | 600 | 208.026 | 209.501 | 1.475 | REFER TO EDCM STD FIG 607 |
| 4 | GRATED SIDE ENTRY PIT | 900 | 900 | 600 | 211.126 | 600 | 211.076 | 213.953 | 2.877 | REFER TO EDCM STD FIG 601 AND 607 |
| 5 | GRATED SIDE ENTRY PIT | 900 | 900 | 600 | 211.412 | 600 | 211.362 | 213.974 | 2.612 | REFER TO EDCM STD FIG 601 AND 607 |
| 6 | JUNCTION PIT | 1200 | 900 | 600 | 212.046 | 600 | 211.996 | 215.515 | 3.519 | REFER TO EDCM STD FIG 607 |
| 7 | DOUBLE SIDE ENTRY PIT | 900 | 1350 | 600 | 212.293 | 600 | 212.243 | 215.587 | 3.344 | REFER TO EDCM STD FIG 602 AND 607 |
| 8 | DOUBLE SIDE ENTRY PIT | 900 | 900 | 600 | 212.513 | 600 | 212.463 | 215.608 | 3.145 | REFER TO EDCM STD FIG 602 AND 607 |
| | | | | 300 | 213.663 | | | | | |
| 9 | DOUBLE SIDE ENTRY PIT | 900 | 900 | 525 | 213.545 | 600 | 213.470 | 216.192 | 2.722 | REFER TO EDCM STD FIG 602 AND 607 |
| | | | | 375 | 213.583 | | | | | |
| 10 | DOUBLE SIDE ENTRY PIT | 900 | 900 | 450 | 214.540 | 525 | 214.465 | 217.237 | 2.772 | REFER TO EDCM STD FIG 602 AND 607 |
| | | | | 300 | 214.690 | | | | | |
| 11 | DOUBLE SIDE ENTRY PIT | 750 | 900 | 450 | 215.794 | 450 | 215.744 | 218.303 | 2.559 | REFER TO EDCM STD FIG 602 AND 607 |
| 12 | DOUBLE SIDE ENTRY PIT | 750 | 900 | 450 | 217.115 | 450 | 217.065 | 219.674 | 2.608 | REFER TO EDCM STD FIG 602 AND 607 |
| | | | | 300 | 217.215 | | | | | |
| 13 | ENDPIPE | | | 450 | 217.221 | 450 | 217.221 | 219.816 | 2.595 | BLANK END WITH MARINE PLY |
| 15 | GRATED SIDE ENTRY PIT | 600 | 900 | | | 300 | 217.971 | 219.653 | 1.682 | REFER TO EDCM STD FIG 601 AND 605 |
| 16 | GRATED SIDE ENTRY PIT | 600 | 900 | | | 300 | 215.534 | 217.216 | 1.682 | REFER TO EDCM STD FIG 601 AND 605 |
| 17 | DOUBLE SIDE ENTRY PIT | 750 | 900 | 300 | 214.638 | 300 | 214.588 | 216.489 | 1.901 | REFER TO EDCM STD FIG 602 AND 607 |
| 18 | DOUBLE SIDE ENTRY PIT | 600 | 900 | | | 300 | 214.756 | 216.437 | 1.680 | REFER TO EDCM STD FIG 602 AND 605 |
| 19 | GRATED SIDE ENTRY PIT | 900 | 900 | 375 | 213.667 | 375 | 213.617 | 216.165 | 2.549 | REFER TO EDCM STD FIG 601 AND 607 |
| 20 | JUNCTION PIT | 600 | 900 | 225 | 213.963 | 375 | 213.813 | 215.356 | 1.543 | REFER TO EDCM STD FIG 605 |
| 21 | JUNCTION PIT | 600 | 900 | 225 | 216.187 | 225 | 216.137 | 217.614 | 1.477 | REFER TO EDCM STD FIG 605 |
| 22 | JUNCTION PIT | 900 | 600 | 225 | 217.265 | 225 | 217.215 | 219.030 | 1.815 | REFER TO EDCM STD FIG 605 |
| 23 | ENDPIPE | | | 225 | 217.377 | 225 | 217.377 | 219.090 | 1.714 | BLANK END WITH MARINE PLY |

PIT SETOUT CO-ORDINATES

| NAME | POINT | EASTING | NORTHING |
|------|-------|------------|-------------|
| 115 | Α | 302496.484 | 5835404.687 |
| 2 | В | 302460.945 | 5835360.890 |
| 3 | В | 302405.624 | 5835292.344 |
| 6 | В | 302319.004 | 535231.241 |



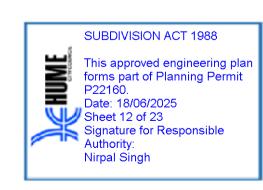
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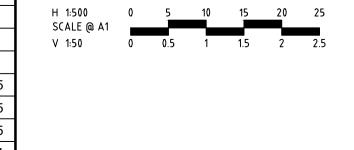
LIP OF KERB

TYPICAL DRAINAGE PIT SETOUT POINT 'B'

SIDE ENTRY PIT NOT TO SCALE



| • | | | | | |
|--------|-----|---|----------|----------|-------|
| 1 | · | | | | Scale |
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| 2 | | | | | |
| 2 | | | | | |
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| ; ; | С | SWD PITS 4, 5 & 6 FINISHED SURFACE LEVELS AMENDED | | 14/03/25 | |
| 5 | В | COUNCIL RESUBMISSION | M.R | 24/02/25 | |
| ייים | Α | ISSUED TO COUNCIL | M.R | 29/11/24 | |
| 1 | Rev | Amendments | Approved | Date | |





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| Authorised M.RANJANAN | Date 29/11/24 |

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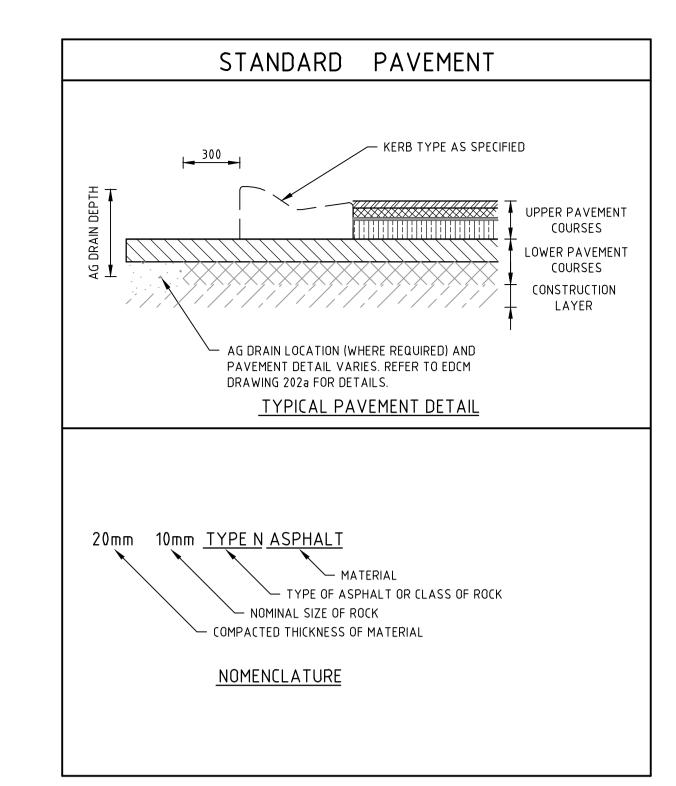
| REDSTONE ESTATE STAGE 18A |
|----------------------------------|
| ROAD AND DRAINAGE |
| DRAINAGE PIT SCHEDULE AND SETOUT |
| VILLAWOOD PROPERTIES |
| HUME CITY COUNCIL |

DESIGN PAVEMENT PROFILE

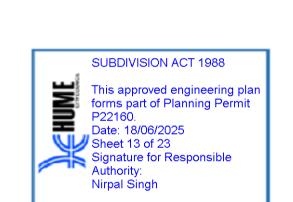
| | | DEPTH |
|------------------------|--|--------|
| | DECEDIDATION | (mm) |
| PAVEMENT LAYER | DESCRIPTION | AREA 1 |
| ASPHALT WEARING COURSE | SIZE 10 TYPE L CLASS 320 ASPHALT | 30 |
| ASPHALT BASE COURSE | SIZE 10 TYPE N CLASS 320 ASPHALT | 30 |
| | SIZE 10 SAMI SEAL CLASS S18RF | 10 |
| | BITUMINOUS PRIMECOAT | Υ |
| BASE COURSE | SIZE 20mm CLASS 2 CRUSHED ROCK, COMPACTED TO AT LEAST 98% MODIFIED DRY DENSITY RATIO WITH A MEAN VALUE OF AT LEAST 100% MODIFIED DRY DENSITY RATIO AND WITHIN 1% OF THE MODIFIED OPTIMUM MOISTURE CONTENT | 130 |
| SUBBASE COURSE | SIZE 20mm CLASS 3 CRUSHED ROCK, COMPACTED TO AT LEAST 95% MODIFIED DRY DENSITY RATIO WITH A MEAN VALUE OF AT LEAST 98% MODIFIED DRY DENSITY RATIO AND WITHIN 1% OF THE MODIFIED OPTIMUM MOISTURE CONTENT | 100 |
| CAPPING LAYER | SELECT GRANULAR MATERIAL WITH A MINIMUM SOAKED CBR OF 10% COMPACTED TO AT LEAST 98% STANDARD DRY DENSITY RATIO WITH A MEAN VALUE OF AT LEAST 100% STANDARD DRY DENSITY RATIO AND WITHIN 1% OF THE STANDARD OPTIMUM MOISTURE CONTENT, A PERCENTAGE SWELL OF LESS THAN 1.5% AND A MAXIMUM HYDRAULIC CONDUCTIVITY OF 5 x 10 ⁻⁹ m/s | 200 |
| CONSTRUCTION LAYER | SELECT GRANULAR MATERIAL WITH A MINIMUM SOAKED CBR OF 10% COMPACTED TO AT LEAST 98% STANDARD DRY DENSITY RATIO WITH A MEAN VALUE OF AT LEAST 100% STANDARD DRY DENSITY RATIO AND WITHIN 1% OF THE STANDARD OPTIMUM MOISTURE CONTENT, A PERCENTAGE SWELL OF LESS THAN 1.5% AND A MAXIMUM HYDRAULIC CONDUCTIVITY OF 5 x 10 ⁻⁹ m/s | 150 |
| | TOTAL PAVEMENT DEPTH | 650 |
| SUBGRADE | NATURAL SILTY CLAY TESTED TO CONFIRM AN IN-SITU CBR OF AT LEAST 1.5% FOR AREAS 1, 5, AND F AND AT LEAST 2% FOR AREAS 4, 6, AND E OR APPROVED FILL COMPACTED TO AT LEAST 100% STANDARD DRY DENSITY RATIO (SOAKED | |

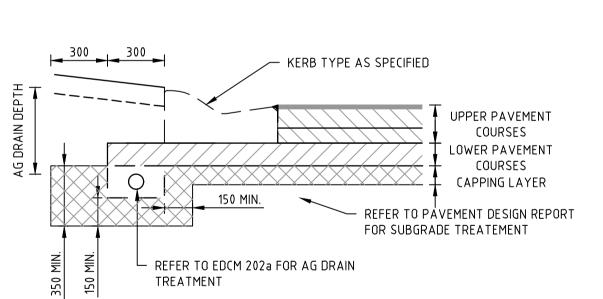
CBR≥3.0%) WITHIN 2% OF THE STANDARD OPTIMUM MOISTURE CONTENT

| CONCRETE PAVEMENT | DESCRIPTION | LEGEND |
|------------------------------|--|--------|
| FOOTPATH | 125mm THICK N25 CONCRETE WITH SL72 MESH TOP 50 COVER. MESH TO HAVE 50 COVER TO ALL EDGES. ON 50mm THICK 20mm CLASS CRUSHED ROCK. REFER TO EDCM401 FOR DETAILS | |
| RESIDENTIAL VEHICLE CROSSING | 125mm THICK N25 CONCRETE WITH SL72 MESH TOP 50 COVER. MESH TO HAVE 50 COVER TO ALL EDGES. ON 50mm THICK 20mm CLASS CRUSHED ROCK. REFER TO EDCM501-502 FOR DETAILS | |
| HEAVY DUTY VEHICLE CROSSING | 200mm THICK N25 CONCRETE WITH SL82 MESH TOP 50 COVER. MESH TO HAVE 50 COVER TO ALL EDGES. REFER TO EDCM503 FOR DETAILS | |

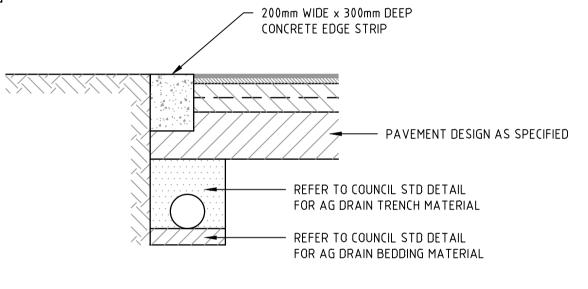




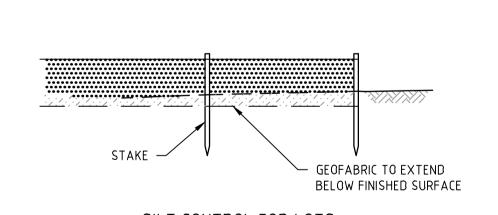




TYPICAL SUBSURFACE DRAIN DETAIL FOR EXPANSIVE SUBGRADE REFER TO AUTHORITY REQUIREMENTS FOR SPECIFIC DETAILS

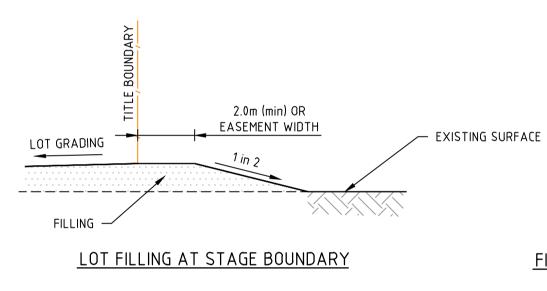


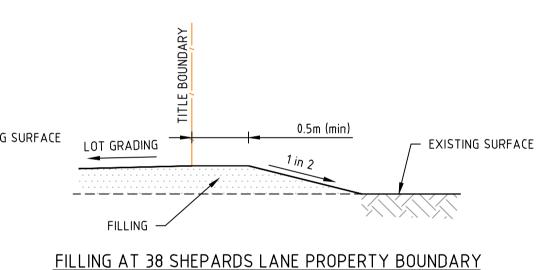
LIMIT OF WORKS CONCRETE EDGE STRIP & PAVEMENT INTERFACE DETAIL



SILT CONTROL FOR LOTS
GEOFABRIC SILT FENCE NOT TO SCALE

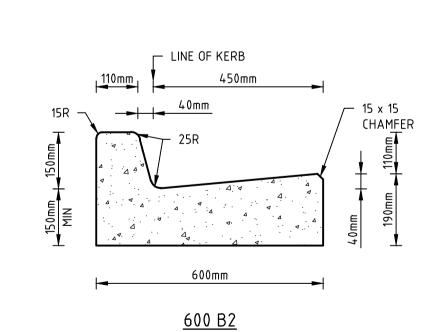
SURFACE REGULATION CONTROLLED FILL - TOPSOIL PLACEMENT FINISHED SURFACE LEVEL EXISTING SURFACE LEVEL LOT REGRADING DETAIL





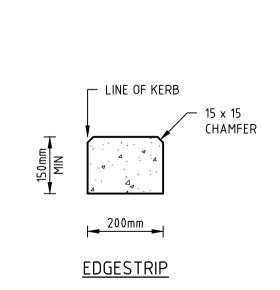
NOT TO SCALE

2.00m TYPICAL CATCH DRAIN SECTION



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PAVEMENT DETAILS

Rev Amendments

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THE DESIGN HAS BEEN EXTRACTED FROM THE V180556REPORT01.3 ON "GEOTECHNICAL INVESTIGATION FOR PROPOSED RESIDENTIAL SUBDIVISION - REDSTONE HILL, SUNBURY SOUTH, VIC" THIS DOCUMENT SHOULD BE REVIEWED TO ENSURE THAT THE DESIGN HAS BEEN ACCURATELY REPRODUCED.

Approved Date

A COPY OF THE DOCUMENT WILL BE PROVIDED ON REQUEST.

REFER GEOTECH REPORT FOR SUBGRADE REQUIREMENTS. SUBGRADE TO BE PROOF ROLLED PRIOR TO PLACEMENT OF CAPPING LAYER.

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KERB NOTES:

1. ALL KERBS AND KERB & CHANNEL TO BE REINFORCED IN ACCORDANCE WITH MUNICIPALITY STD

- 2. ALL KERBS AND KERB & CHANNEL TO HAVE MINIMUM 150mm DEPTH OF CONCRETE BELOW TOP OF
- PAVEMENT LEVEL. 3. REFER TO EDCM 301 AND 302 FOR MORE DETAIL
- 4. THE 190mm FACE DIMENSION TO BE INCREASED TO 200mm WHERE A SAMI SEAL IS USED

STANDARD KERB PROFILES NOTE: ALL KERB & CHANNEL AS PER EDCM STD DRAWING EDCM 301

| | | | | Sca |
|---|-------------------------|-----|----------|-----|
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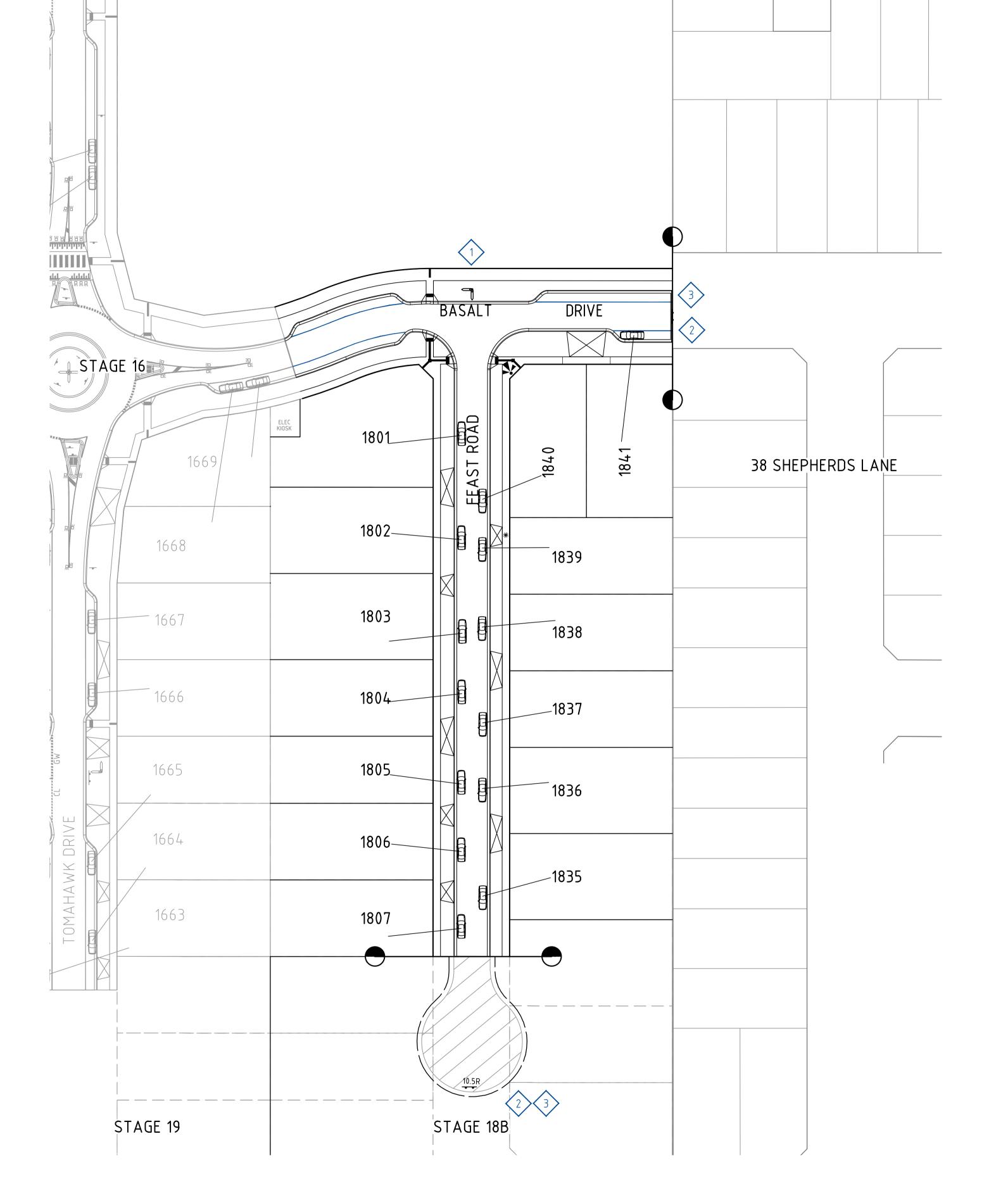
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| H.HOGGARD | J.POYNER | | |
| Authorised | Date | | |
| M.RANJANAN | 29/11/24 | | |

REDSTONE ESTATE STAGE 18A ROAD AND DRAINAGE PAVEMENT AND TYPICAL DETAILS VILLAWOOD PROPERTIES **HUME CITY COUNCIL**







WARNING

BEWARE OF UNDERGROUND/OVERHEAD SERVICES THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

SIGNAGE SCHEDULE

| REFERENCE | SIGN |
|-----------|----------------------|
| 1 | •> |
| 2 | ROAD CLOSED G9-20 |
| 3 | D4-5 |

PARKED PASSENGER VEHICLE

ASSOCIATED LOT INDICATOR

| ACAD | | | | | |
|------------|-----|-------------------------|----------|----------|---|
| _ | | | | | s |
| .001\Civil | | | | | |
| 98/0 | | | | | |
| 310068\ | | | | | |
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| ation | В | COUNCIL RESUBMISSION | M.R | 24/02/25 | |
| loca | Α | ISSUED TO COUNCIL | M.R | 29/11/24 | |
| اڍ | Rev | Amendments | Approved | Date | ı |

SUBDIVISION ACT 1988

This approved engineering plan forms part of Planning Permit P22160.
Date: 18/06/2025
Sheet 14 of 23
Signature for Responsible Authority:
Nirpal Singh

Nirpal Singh



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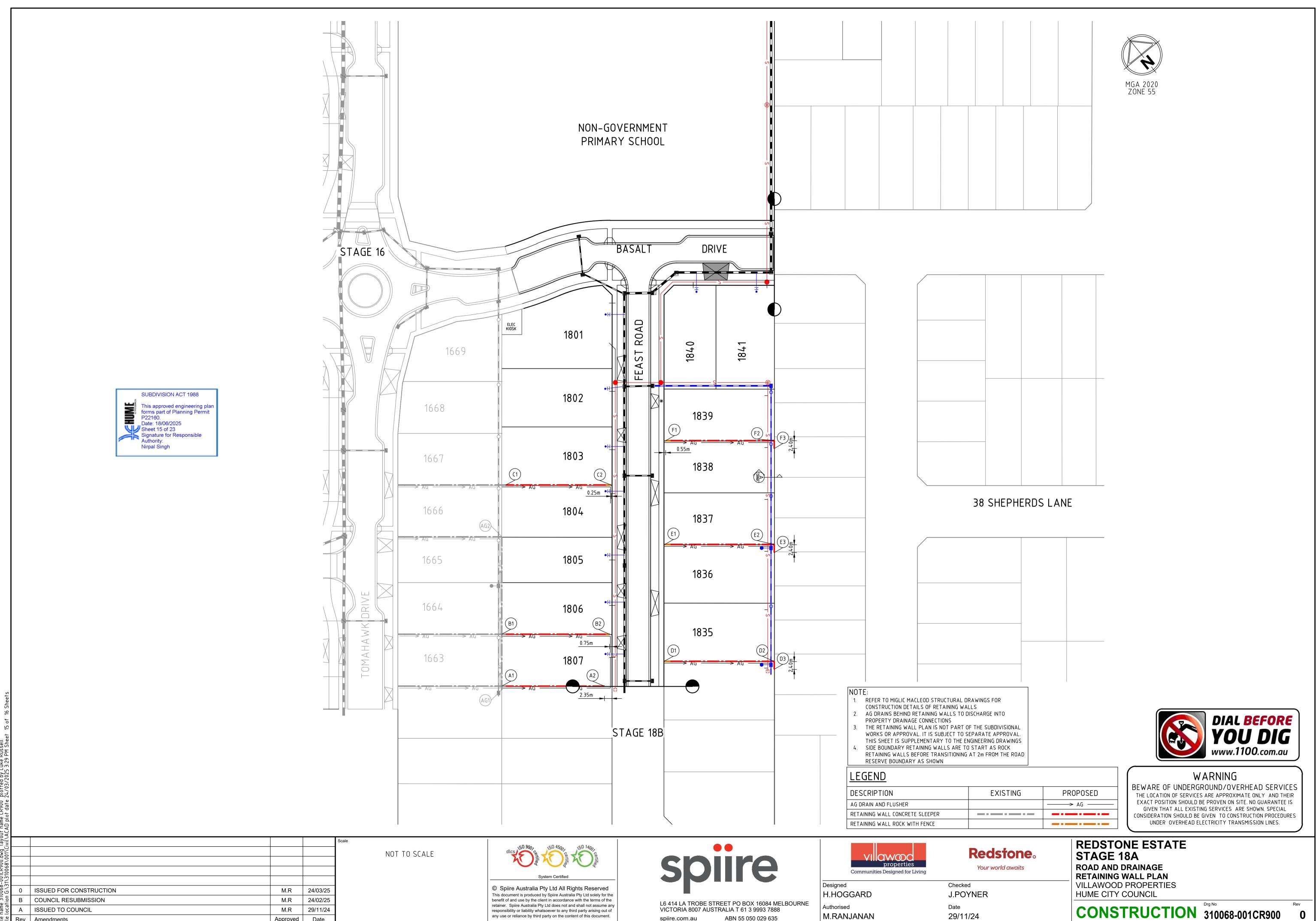
Checked H.HOGGARD J.POYNER M.RANJANAN 29/11/24

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REDSTONE ESTATE STAGE 18A ROAD AND DRAINAGE

SIGNAGE AND LINEMARKING
VILLAWOOD PROPERTIES HUME CITY COUNCIL



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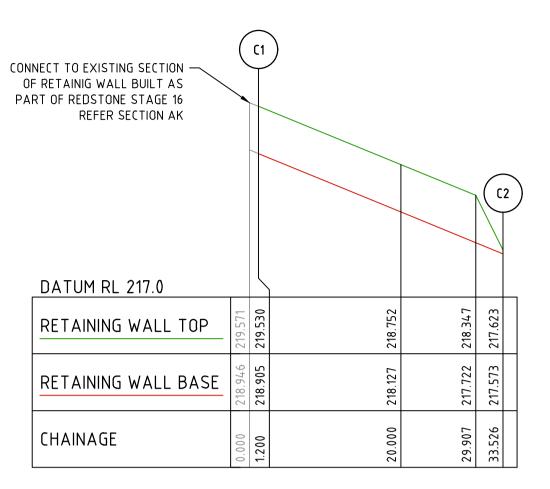
ABN 55 050 029 635

Approved

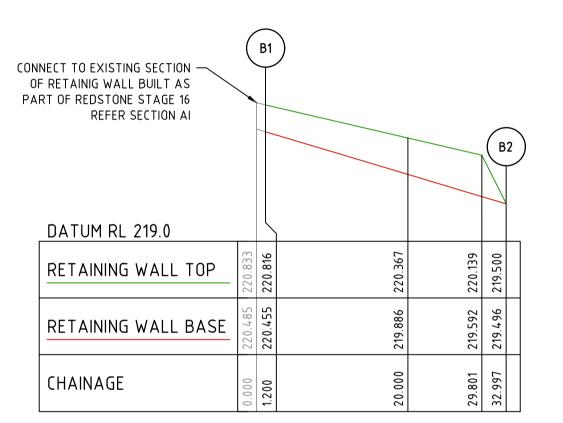
Rev | Amendments

Date

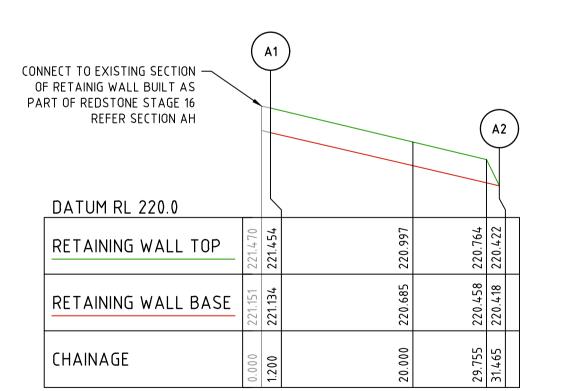
REFER TO MIGLIC MACLEOD STRUCTURAL DRAWINGS FOR CONSTRUCTION DETAILS OF RETAINING WALLS 2. DEPTH OF SERVICES MUST BE ABOVE ANGLE OF REPOSE OF RETAINING WALL FOOTING



RETAINING WALL C

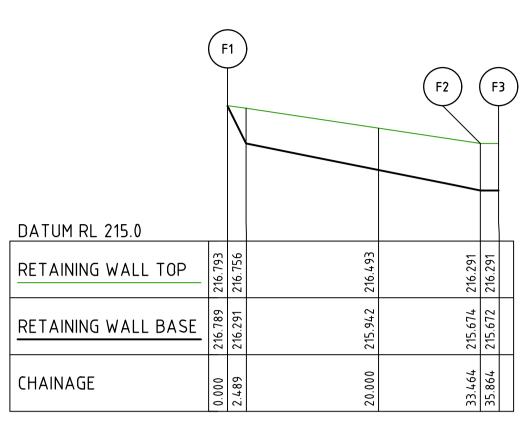


RETAINING WALL B

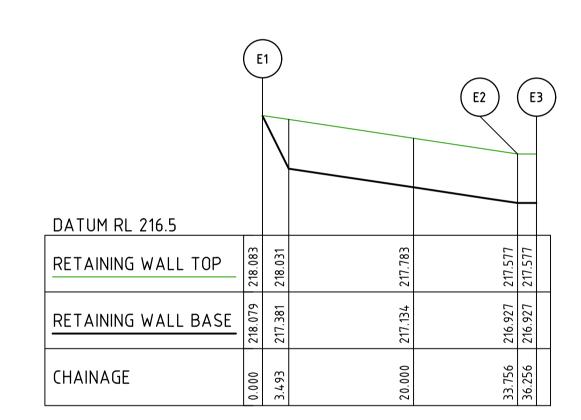


RETAINING WALL A

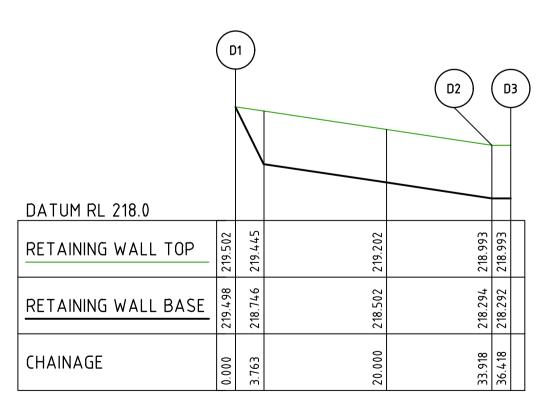
Rev Amendments



RETAINING WALL F



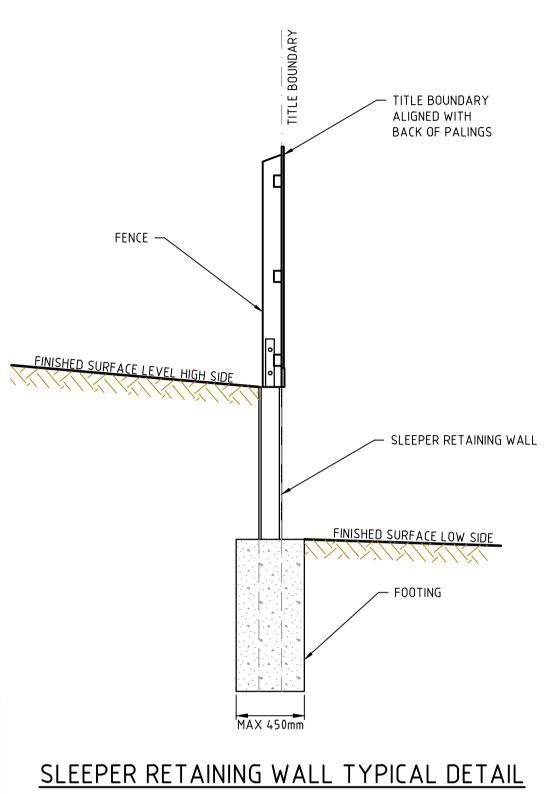
RETAINING WALL E



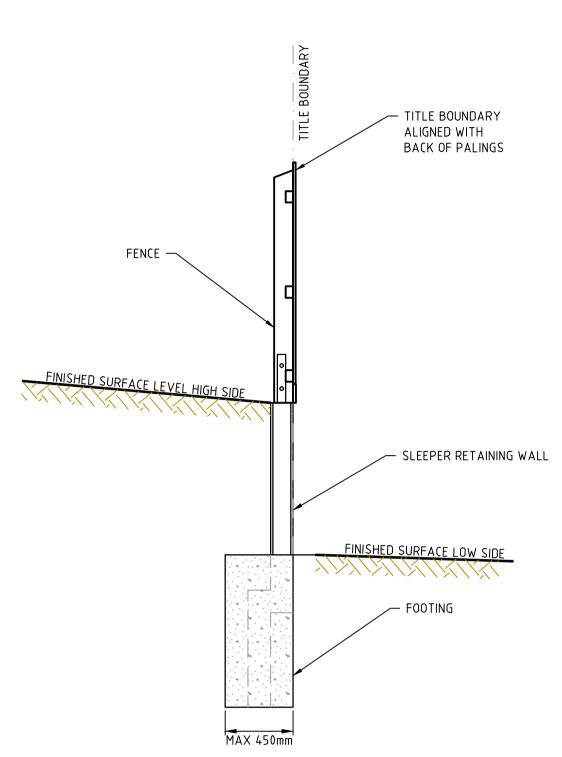
RETAINING WALL D

Date

Approved

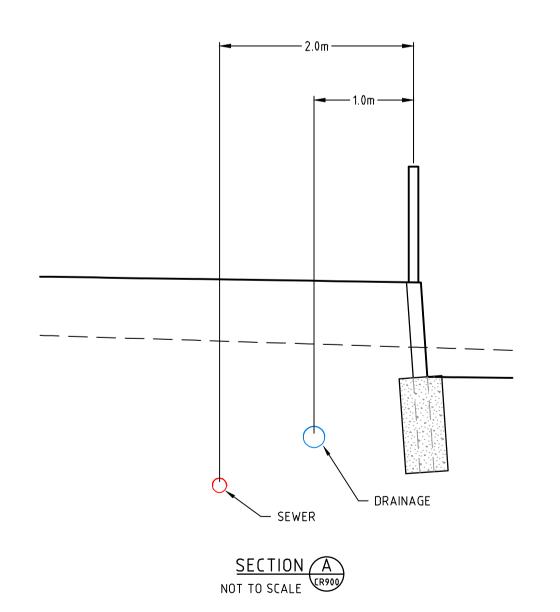


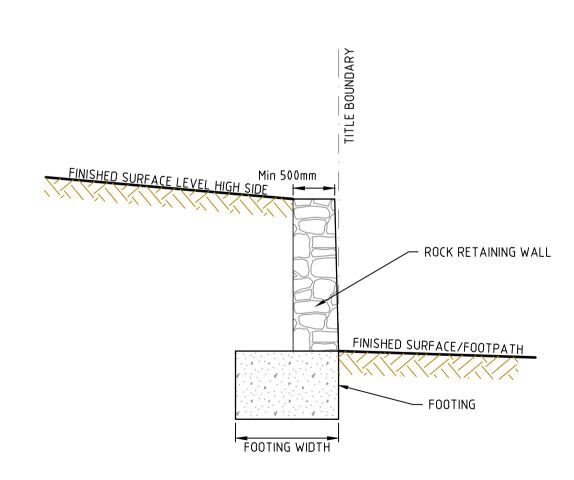
NOT TO SCALE



SLEEPER RETAINING WALL ALTERNATE DETAIL (FOR USE ON BOUNDARY WITH 38 SHEPARDS LANE)

NOT TO SCALE





ROCK RETAINING WALL (WITH PROVISION FOR FENCING) TYPICAL DETAIL NOT TO SCALE

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| 00/ 0:\:] | 0 | ISSUED FOR CONSTRUCTION | M.R | 24/03/25 | |
| e 310 tion | В | COUNCIL RESUBMISSION | M.R | 24/02/25 | |
| ocati | Α | ISSUED TO COUNCIL | M.R | 29/11/24 | |

NOT TO SCALE



benefit of and use by the client in accordance with the terms of the

retainer. Spiire Australia Pty Ltd does not and shall not assume any

responsibility or liability whatsoever to any third party arising out of

any use or reliance by third party on the content of this document.

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ABN 55 050 029 635

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SUBDIVISION ACT 1988

Sheet 16 of 23
Signature for Responsible
Authority:

Nirpal Singh

This approved engineering plan forms part of Planning Permit P22160.

| spiire |
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| \/I | CIACOC |
|---------|--------------------------|
| VII | properties |
| Communi | ties Designed for Living |

| Designed | |
|------------|--|
| H.HOGGARD | |
| Authorised | |
| M.RANJANAN | |

| Redstone 。 |
|-------------------|
| Your world awaits |
| Checked |
| J.POYNER |

Date

29/11/24

| REDSTONE ESTATE |
|-------------------------------------|
| STAGE 18A |
| ROAD AND DRAINAGE |
| RETAINING WALL SECTIONS AND DETAILS |
| VILLAWOOD PROPERTIES |
| HUME CITY COUNCIL |

| PLAN | OF S | SUBDIV | ISION | | EDITIC | PS 912552Y/S2 | | | | |
|--|----------------|---|----------------------|---|--|---------------|--------------------------------------|--|--|--|
| LOCATION | ON OF L | _AND | | | Council Name: Hume City Council | | | | | |
| PARISH: | | | | SPEAR Reference Number: S240576S | | | | | | |
| TOWNSHIP | | | | | | | | | | |
| SECTION: | | | | | | | | | | |
| CROWN AI | _LOTMEN | Γ: 1B (PART) | | | | | | | | |
| CROWN PO | ORTION: | - | | | | | OLIDDIN (IOION) A OT 4000 | | | |
| | C/T VOL | | | SUBDIVISION ACT 1988 This approved engineering plan forms part of Planning Permit P22160. Date: 18/06/2025 | | | | | | |
| LAST PLAN | N REFERE | NCE: LOT S2 C | N PS 912552Y | | Sheet 17 of 23 Signature for Responsible Authority: Nirpal Singh | | | | | |
| (at time of sub | odivision) | 80 REDSTONE SUNBURY, VI | C. 3429 | IONE SE | | | | | | |
| MGA 2020 (of approx cer | | NATES: E: 30 ^{1 plan)} N: 583 | | ONE: 55 | | | | | | |
| VI | ESTING (| OF ROADS AI | ND/OR RESE | RVES | | | NOTATIONS | | | |
| IDENTIF | FIER | COL | JNCIL / BODY / PE | RSON | | | losed within thick continuous lines. | | | |
| ROAD I | ₹-51 | ŀ | HUME CITY COUN | CIL | Lots 1 to 1800, 1808 to 1834 and Lots S1 to S3 (all inclusive) have been omitted from this plan. | | | | | |
| | | NOTATIO | ONS | | | | | | | |
| DEPTH LIMIT | | 24 METRES BELOVE E LAND IN THIS PL | | APPLIES TO ALL | | | | | | |
| SURVEY: This plan is ba | ased on surv | еу | | | | | | | | |
| STAGING: This is a stage Planning Perr | | | | | None of the easements and rights mentioned in sub-section (2) of Section 12 of the Subdivision Act 1988 are implied over any of the land in this plan. | | | | | |
| This survey h | as been conr | nected to permanen | t marks No(s). 18, 3 | 33, 35 & 36 | LOTS ON THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS For details of Owners Corporation(s) including; Purpose, Responsibility and Entitlement | | | | | |
| In Proclaimed | Survey Area | No | | | and Liability see Owners Corporation Search Report, Owners Corporation Rules and Owners Corporation Additional Information. | | | | | |
| LEGEND: A | Appurtena | nt Easement E - | Encumbering Ease | EASEMENT IN | | | | | | |
| LLGLIND. A | r - Appurteria | III Lasement L - | Liteumbering Lase | ment N-Encumber | ng Lasement (No | | | | | |
| Easement Reference | F | Purpose | Width (Metres) | Origin | 1 | | Land Benefited / In Favour of | | | |
| | | | SEE S | HEET 2 FOR E | EASEMENT INI | FORMATION | | | | |
| REDSTO | NE ESTA | TE - STAGE | 18A (14 LOTS | 5) | • | | AREA OF STAGE - 1.159ha | | | |

spiire

414 La Trobe Street PO Box 16084 Melbourne Vic 8007 T 61 3 9993 7888 spiire.com.au SURVEYORS FILE REF: 310068SV00

ORIGINAL SHEET SIZE: A3

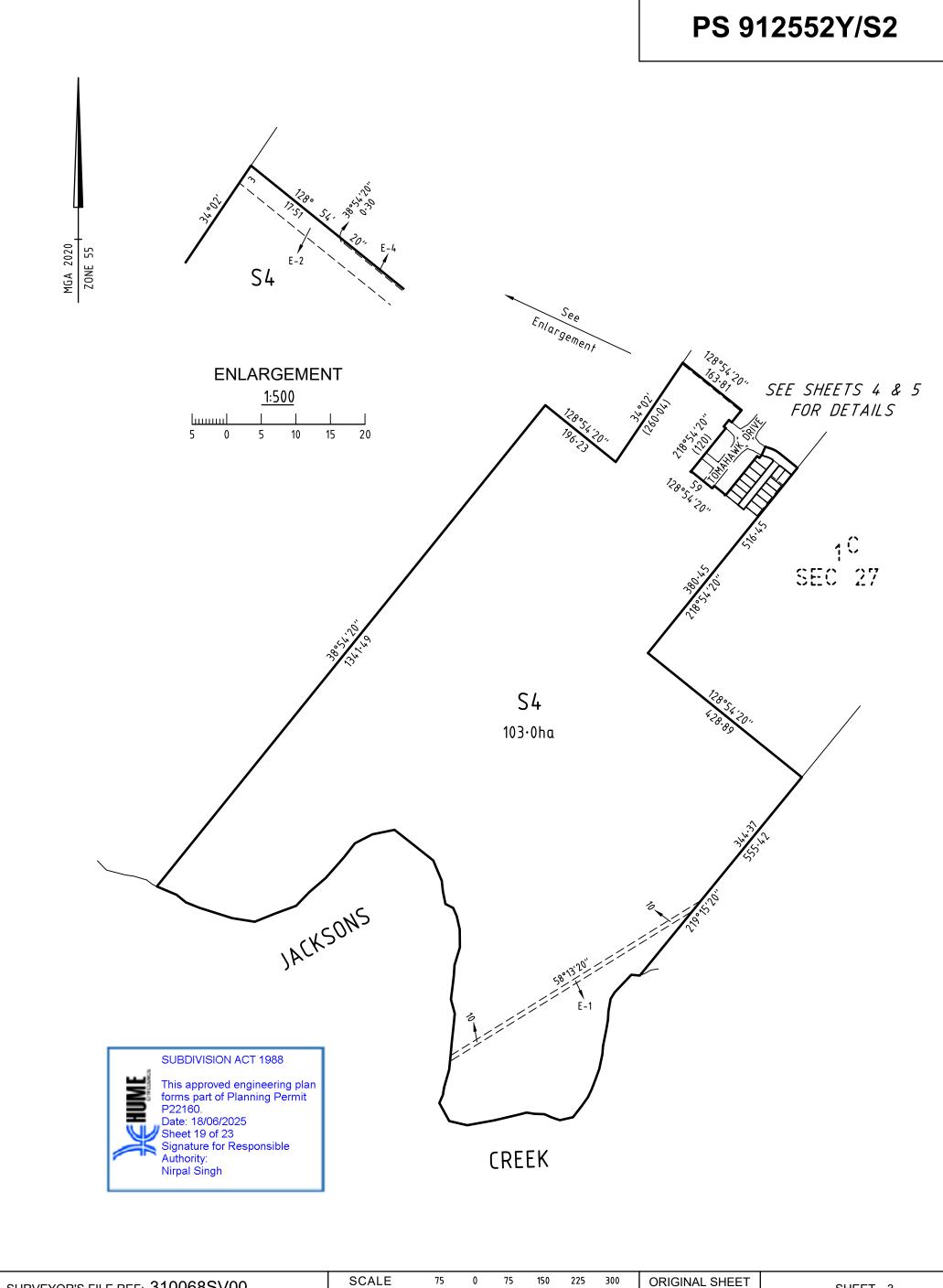
SHEET 1 OF 6

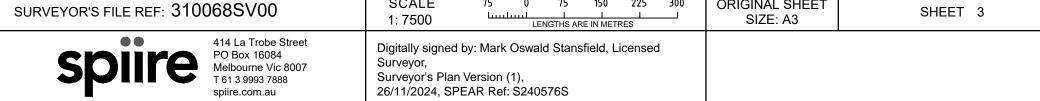
Digitally signed by: Mark Oswald Stansfield, Licensed Surveyor, Surveyor's Plan Version (1),

26/11/2024, SPEAR Ref: S240576S

| GEND: A | · - Appurtenant Easement E - ! | Encumbering Ease | ement R - Encumbering Easement (Road | | |
|-----------------------|--|-------------------|--|--|--|
| Easement Reference | Purpose | Width (Metres) | Origin | Land Benefited / In Favour of | |
| E-1 | POWERLINE | 10 | SECTION 103B S.E.C. ACT 1958 (LP 145244B) | S.E.C.V. | |
| E-2 | DRAINAGE | SEE DIAG. | PS 912552Y | HUME CITY COUNCIL | |
| E-2 | SEWERAGE | SEE DIAG. | PS 912552Y | GREATER WESTERN WATER CORPORATION | |
| E-3 | SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES) | 0.30 | PS 912552Y | THE RELEVANT ABUTTING LOT | |
| E-4 | DRAINAGE | SEE DIAG. | PS 912552Y | HUME CITY COUNCIL | |
| E-4 | SEWERAGE | SEE DIAG. | PS 912552Y | GREATER WESTERN WATER CORPORATION | |
| E-4 | SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES) | 0.30 | PS 912552Y | THE RELEVANT ABUTTING LOT | |
| E-5 | DRAINAGE | SEE DIAG. | THIS PLAN | HUME CITY COUNCIL | |
| E-5 | SEWERAGE | SEE DIAG. | THIS PLAN | GREATER WESTERN WATER CORPORATION | |
| E-6 | SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES) | 0.30 | THIS PLAN | THE RELEVANT ABUTTING LOT | |
| E-7 | DRAINAGE | SEE DIAG. | THIS PLAN | HUME CITY COUNCIL | |
| E-7 | SEWERAGE | SEE DIAG. | THIS PLAN | GREATER WESTERN WATER CORPORATION | |
| E-7 | SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES) | 0.30 | THIS PLAN | THE RELEVANT ABUTTING LOT | |
| | | | | SUBDIVISION ACT 1988 This approved engineering plan forms part of Planning Permit P22160. Date: 18/06/2025 Sheet 18 of 23 Signature for Responsible Authority: Nirpal Singh | |
| SURVEYOR'S | S FILE REF: 310068SV00 | | | ORIGINAL SHEET SHEET 2 | |







The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

CREATION OF RESTRICTION No. 1

The following restriction is to be created upon registration of this plan.

<u>Land to Benefit:</u> Lots 1801 to 1807 and 1835 to 1841 (all inclusive) Land to be Burdened: Lots 1801 to 1807 and 1835 to 1841 (all inclusive)

Description of Restriction:

The registered proprietor or proprietors for the time being of a lot on this plan of subdivision his/her heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof;

- (i) Build or cause to be built or allow to be built or allow to remain a dwelling or any other improvements or carry out cause to be carried out or allow to be carried out any building or construction works on the lot for the whole of the dwelling on the lot unless all building plans have been endorsed by the Design Assessment Panel as a prerequisite to a building permit for a lot specified as requiring such endorsement in the Building Envelope Plan.
- (ii) Construct a dwelling on any lot with a lot area greater than 350 square metres unless the building incorporates dual plumbing for connection to a rainwater tank with a capacity greater than 2000 litres for use in toilet flushing and garden watering.
- (iii) Unless otherwise approved by the Responsible Authority build or erect any dwelling or structure other than a dwelling or structure which is built in accordance with MCP.

The requirement for endorsement of building plans by the Design Assessment Panel to cease to have effect on a lot one year after an occupancy permit under the Building Act 1993 is issued for the whole of the dwelling on that lot.

Expiry Date:

The restriction shall expire on 31st October 2034.

CREATION OF RESTRICTION No. 2

The following restriction is to be created upon registration of this plan.

Land to Benefit: Lots 1801 to 1807 and 1835 to 1841 (all inclusive)
Land to be Burdened: Lots 1801 to 1807 and 1835 to 1841 (all inclusive)

Description of Restriction:

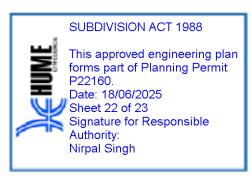
The registered proprietor or proprietors for the time being of a lot on this plan of subdivision his/her heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof;

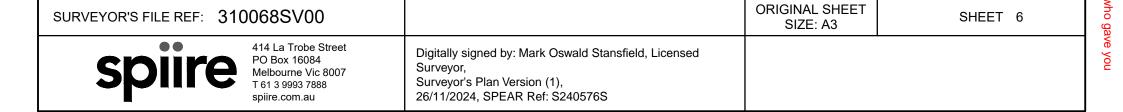
- (i) Construct or cause to be constructed any building not in conformity with the approved Building Envelope Plan unless with the written consent of the Design Assessment Panel or Responsible Authority;
- (ii) Amend a Building Envelope Plan unless the Responsible Authority has considered and approved the amendment to the Building Envelope Plan.

A Building Envelope Plan to cease to have effect on the lot ten years after an occupancy permit under the Building Act 1993 is issued for the whole of the dwelling on the lot.

Expiry Date:

The restriction shall expire on 31st October 2034.





OWNERS CORPORATION SCHEDULE PS912552Y/S2

Owners Corporation No. 1 Plan No. PS912552Y

Land affected by Owners Corporation: All of the Lots in the table below and Common Property No 1. All existing Lots in Owners Corporation No 1 not affected by this plan.

Common Property No.: 1

Unlimited Limitations of Owners Corporation:

Notations



| Totals | | | | | | | |
|------------------------|-------------|-----------|--|--|--|--|--|
| | Entitlement | Liability | | | | | |
| This schedule | 2040 | 141 | | | | | |
| Balance of existing OC | 890 | 691 | | | | | |
| Overall Total | 2930 | 832 | | | | | |

| | Lot Entitlement and Lot Liability | | | | | | | | | | |
|------|-----------------------------------|-----------|-----|-------------|-----------|-----|-------------|-----------|-----|-------------|-----------|
| Lot | Entitlement | Liability | Lot | Entitlement | Liability | Lot | Entitlement | Liability | Lot | Entitlement | Liability |
| 1801 | 10 | 10 | | | | | | | | | |
| 1802 | 10 | 10 | | | | | | | | | |
| 1803 | 10 | 10 | | | | | | | | | |
| 1804 | 10 | 10 | | | | | | | | | |
| 1805 | 10 | 10 | | | | | | | | | |
| 1806 | 10 | 10 | | | | | | | | | |
| 1807 | 10 | 10 | | | | | | | | | |
| 1007 | 10 | | | | | | | | | | |
| 1835 | 10 | 10 | | | | | | | | | |
| | | | | | | | | | | | |
| 1836 | 10 | 10 | | | | | | | | | |
| 1837 | 10 | 10 | | | | | | | | | |
| 1838 | 10 | 10 | | | | | | | | | |
| 1839 | 10 | 10 | | | | | | | | | |
| 1840 | 10 | 10 | | | | | | | | | |
| 1841 | 10 | 10 | | | | | | | | | |
| S4 | 1900 | 1 | | | | | | | | | |
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SURVEYORS FILE REFERENCE: 310068SV00

SHEET 1

ORIGINAL SHEET

SIZE: A3

Digitally signed by: Mark Oswald Stansfield, Licensed Surveyor, Surveyor's Plan Version (1), 26/11/2024, SPEAR Ref: S240576S