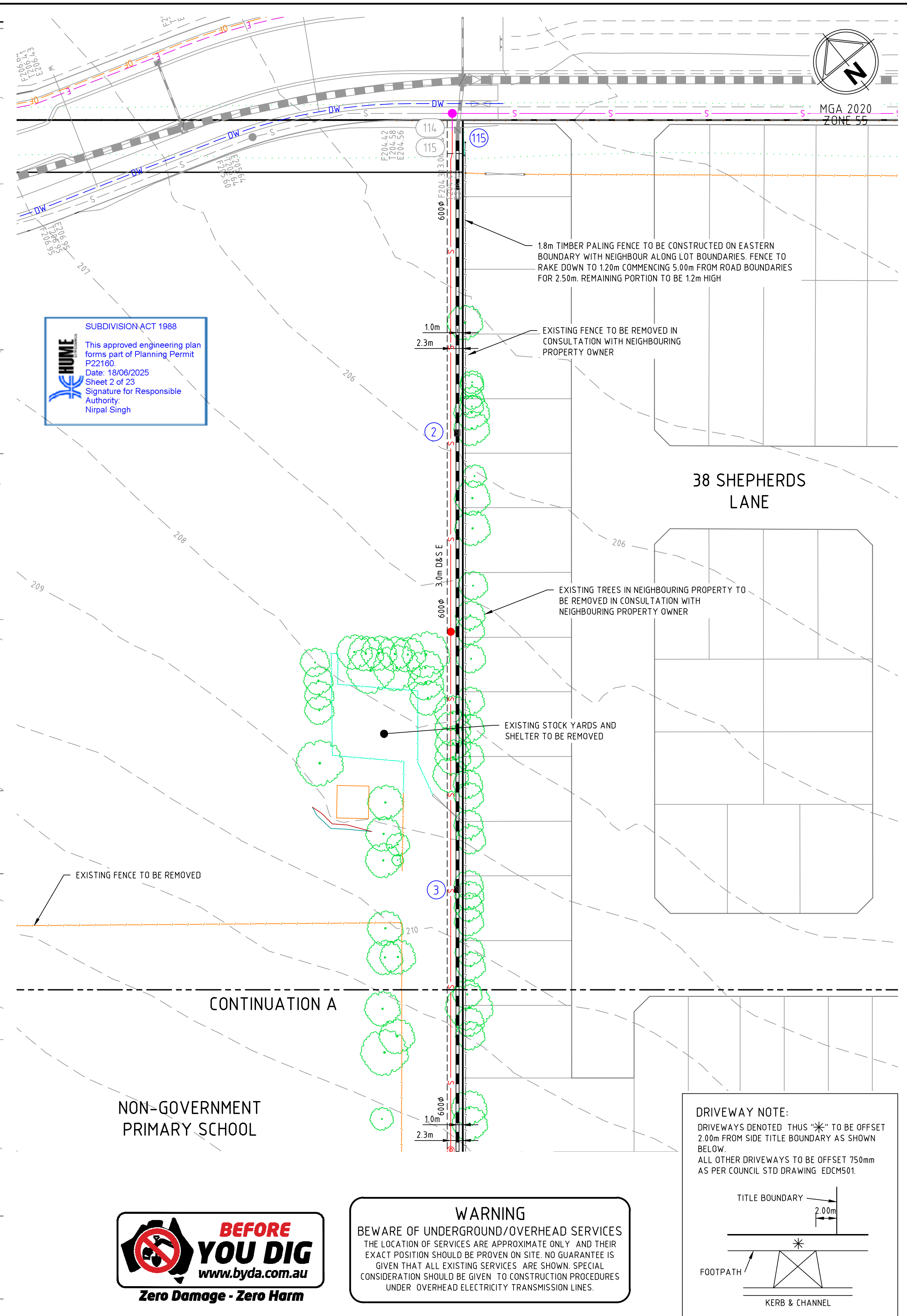
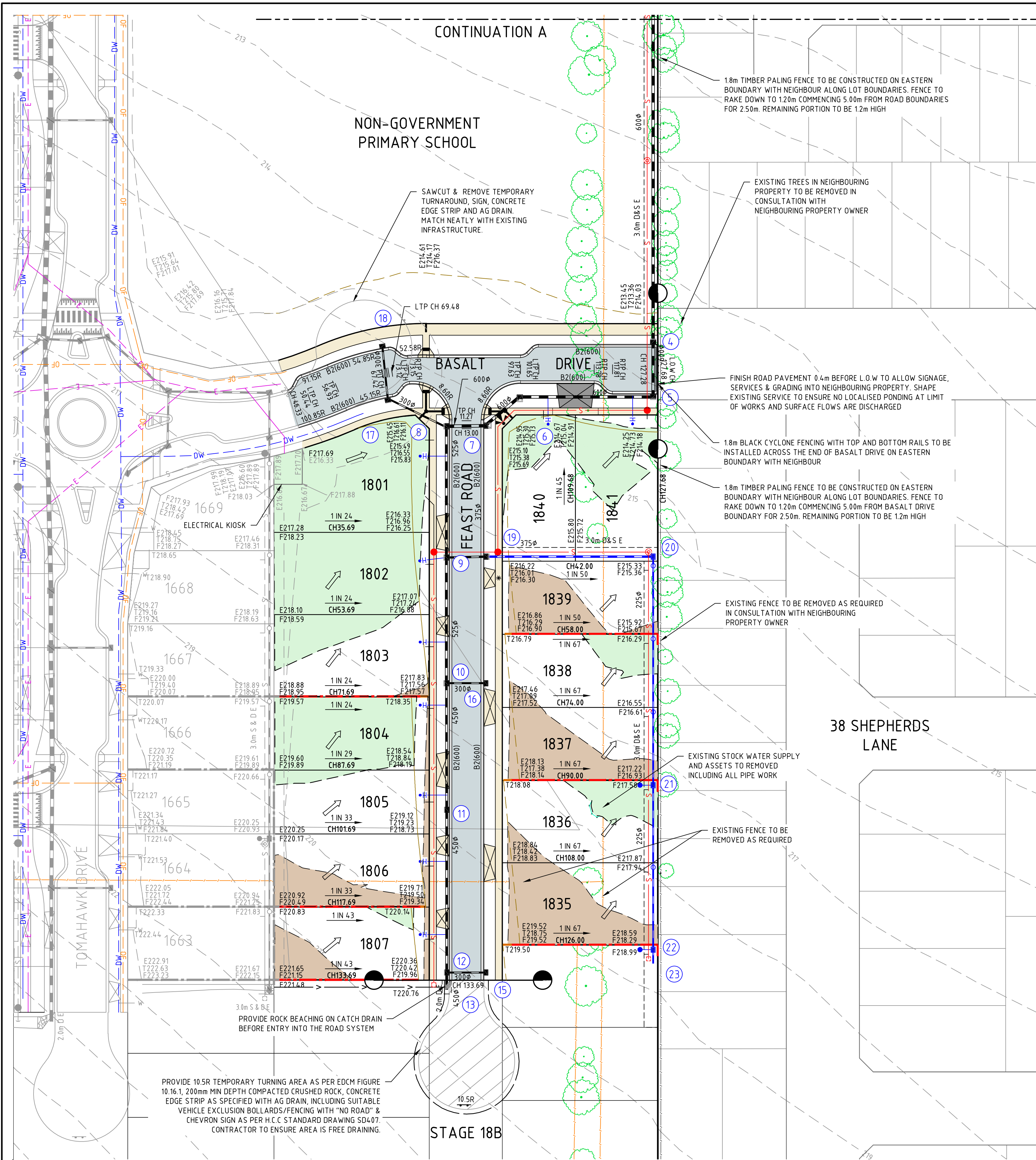


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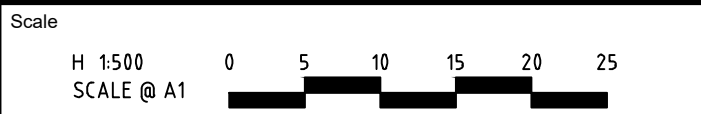


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WARNING
BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY. AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
B	COUNCIL RESUBMISSION	M.R	24/02/25
A	ISSUED TO COUNCIL	M.R	29/11/24
Rev	Amendments	Approved	Date



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villawood properties
Communities Designed for Living

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Designed
H.HOGGARD

Authorised
M.RANJANAN

Checked
J.POYNER

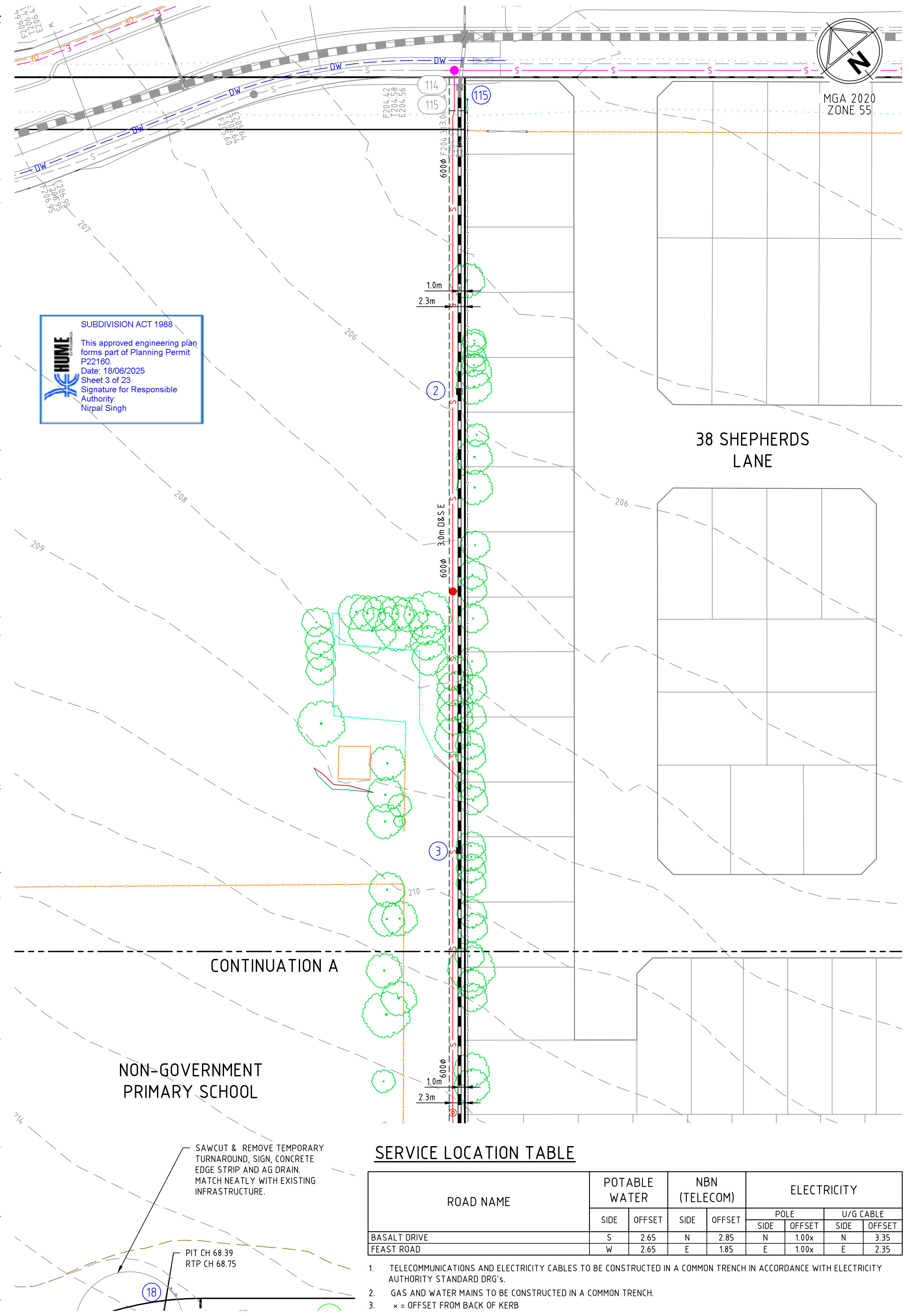
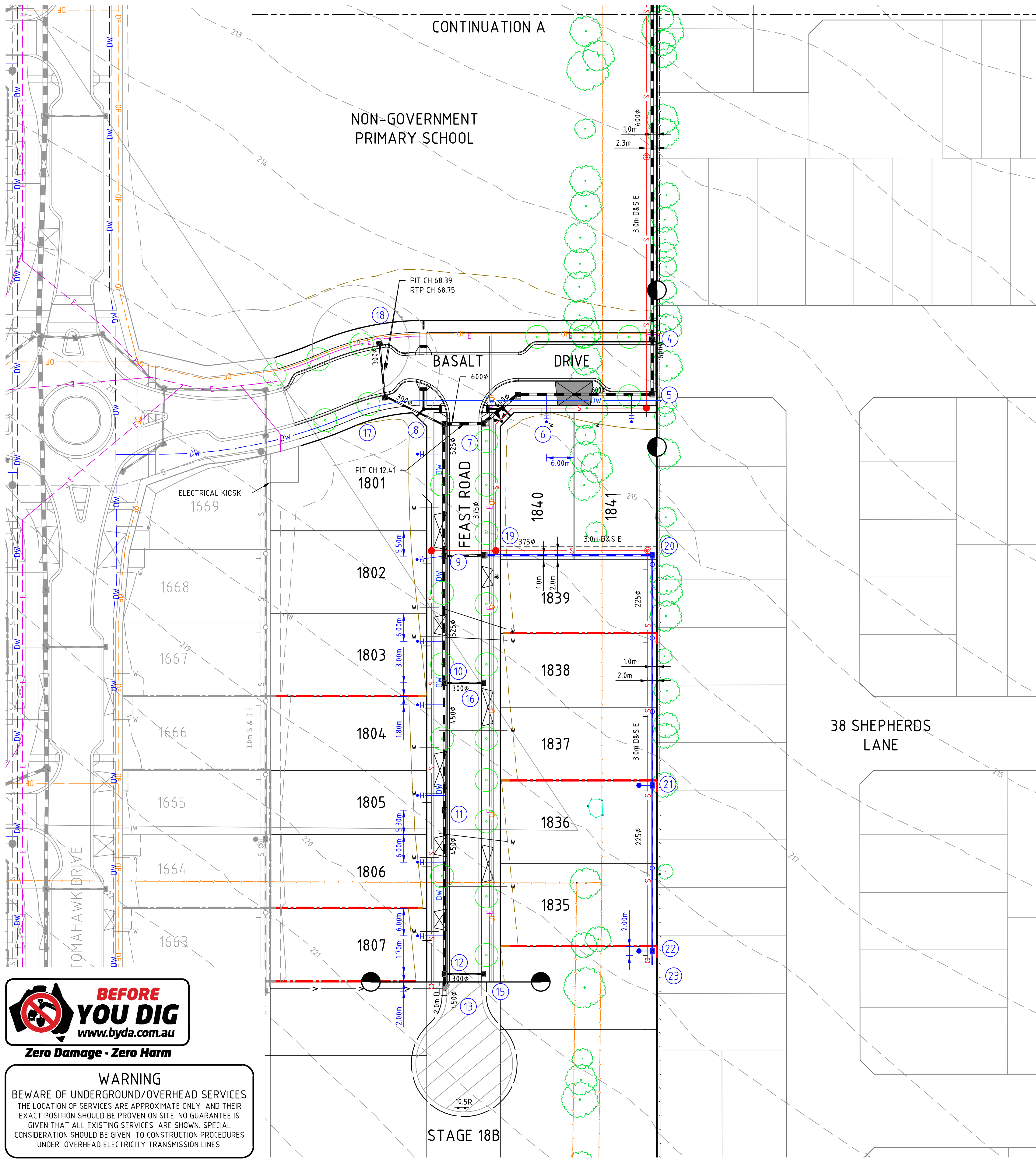
Date
29/11/24

**REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
SERVICES PLAN**
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

CONSTRUCTION

Dwg No
310068-001CR201

Rev
0



SUBDIVISION ACT 1988

This approved engineering plan forms part of Planning Permit P22160.
Date: 18/08/2025
Sheet 3 of 23
Signature for Responsible Authority:
Nirpal Singh

SERVICE LOCATION TABLE

ROAD NAME	POTABLE WATER		NBN (TELECOM)		ELECTRICITY			
	SIDE	OFFSET	SIDE	OFFSET	POLE SIDE	POLE OFFSET	U/G CABLE SIDE	U/G CABLE OFFSET
BASALT DRIVE	S	2.65	N	2.85	N	1.00x	N	3.35
FEAST ROAD	W	2.65	E	1.85	E	1.00x	E	2.35

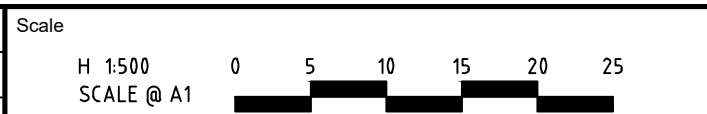
- TELECOMMUNICATIONS AND ELECTRICITY CABLES TO BE CONSTRUCTED IN A COMMON TRENCH IN ACCORDANCE WITH ELECTRICITY AUTHORITY STANDARD DRG's.
- GAS AND WATER MAINS TO BE CONSTRUCTED IN A COMMON TRENCH.
- x = OFFSET FROM BACK OF KERB

file name: 310068-001CR202.dwg, layout name: CR202, plotted by: Luke Russell, file location: \\spire\media\data\310068\001.dwg, VACCD plot date: 24/03/2025 3:27 PM, Sheet: 4 of 16 Sheets



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Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
A	ISSUED TO COUNCIL	M.R	29/11/24



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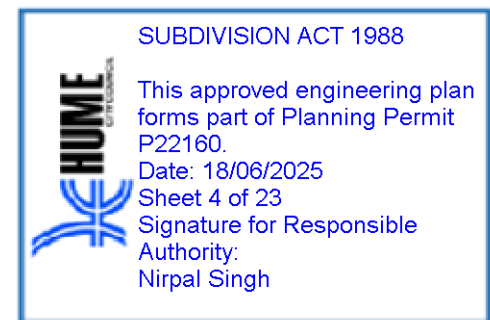
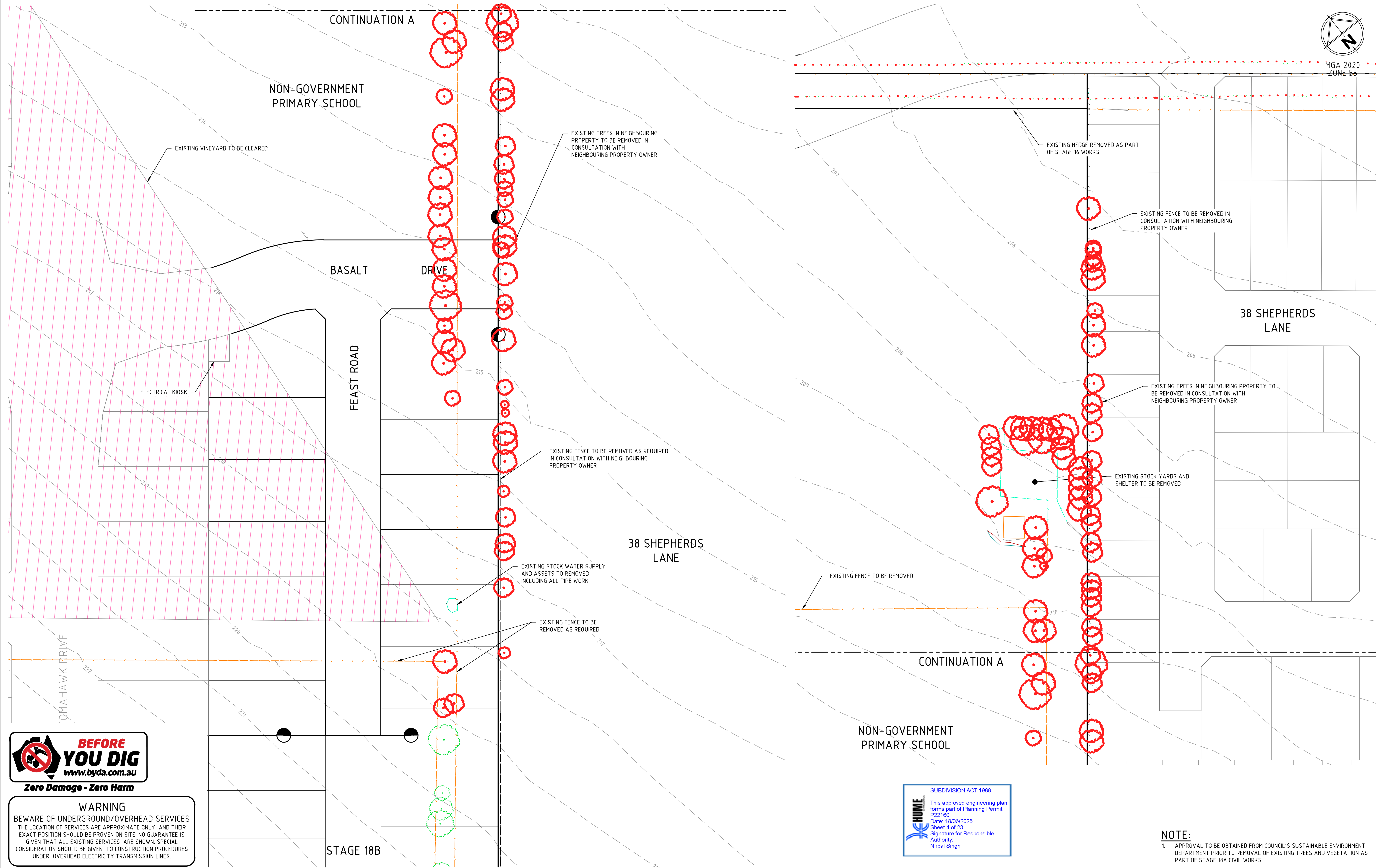
Designed
H.HOGGARD
Authorised
M.RANJANAN

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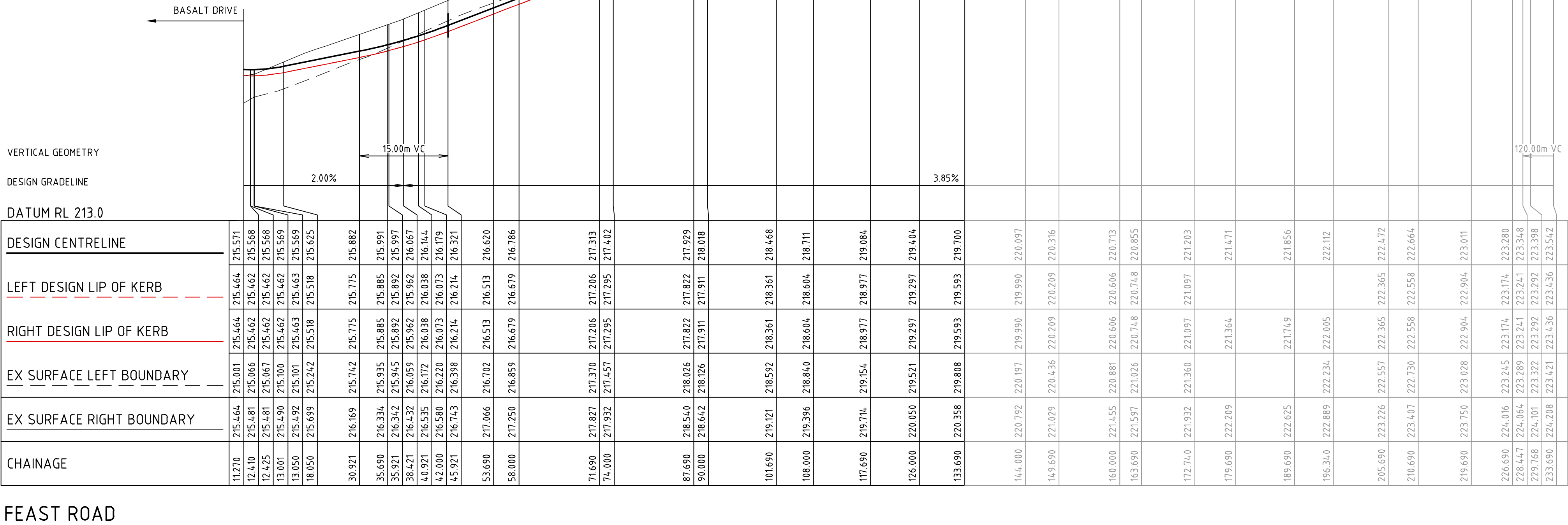
Checked
J.POYNOR
Date
29/11/24

**REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
EXISTING SITE PLAN**
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

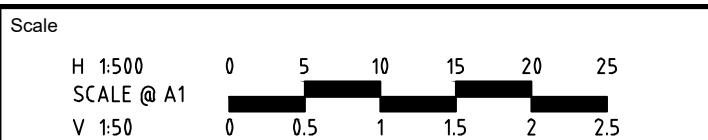
CONSTRUCTION Drg No 310068-001CR202 Rev 0



NOTE:
1. APPROVAL TO BE OBTAINED FROM COUNCIL'S SUSTAINABLE ENVIRONMENT DEPARTMENT PRIOR TO REMOVAL OF EXISTING TREES AND VEGETATION AS PART OF STAGE 18A CIVIL WORKS



0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
C	BASALT DRIVE APPROACHING L.O.W AMENDED	M.R	14/03/25
B	COUNCIL RESUBMISSION	M.R	24/02/25
A	ISSUED TO COUNCIL	M.R	29/11/24
Rev	Amendments	Approved	Date



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Authorised
M.RANJANAN



Checked
J.POYNER
Date
29/11/24

**REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
ROAD LONG SECTIONS
VILLAWOOD PROPERTIES
HUME CITY COUNCIL**

CONSTRUCTION Drg No **310068-001CR300**

Rev 0

file name: 310068-001CR400.dwg, layout name: CR401, plotted by: Luke Russell, file location: \\spire\media\data\310068\001.dwg, VACAD plot date: 24/03/2025 3:27 PM, Sheet: 7 of 16 Sheets

STRUCTURAL FILL IN ACCORDANCE
(REFER TO FILLING NOTE)

FILLING NOTE

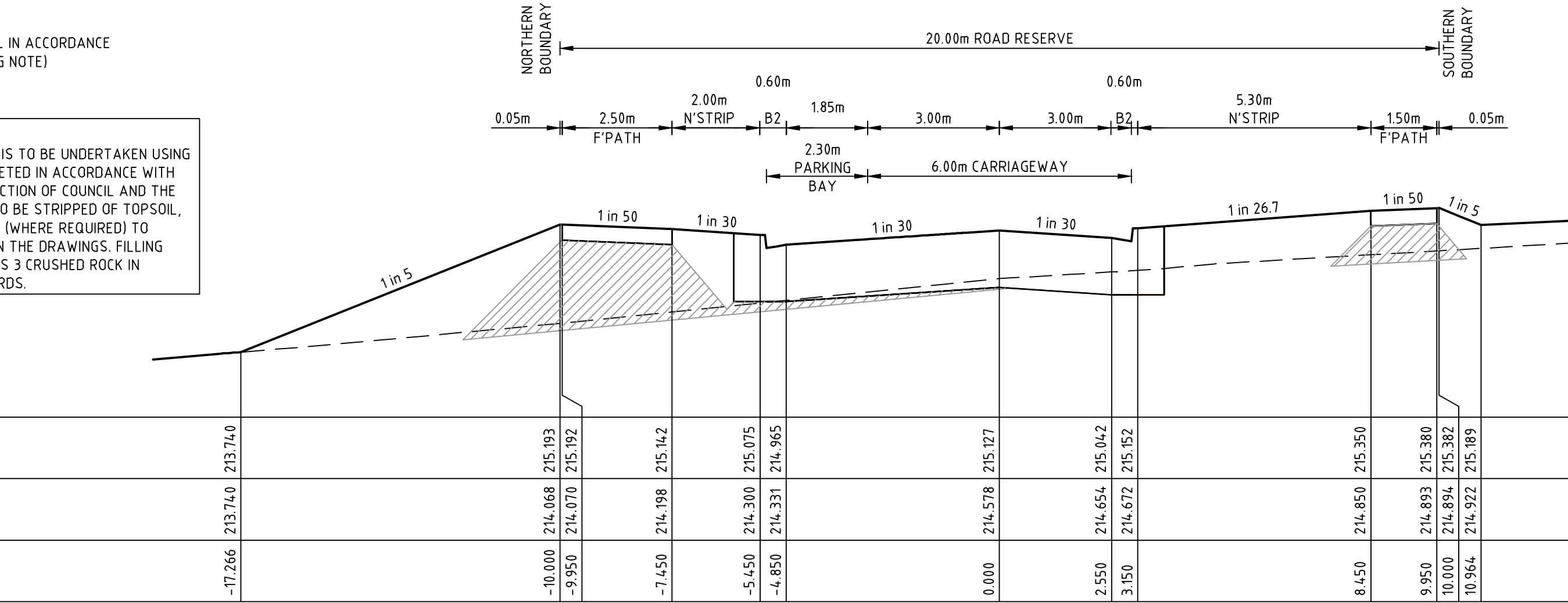
ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007 AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS. FILLING UNDERNEATH FOOTPATH TO BE CLASS 3 CRUSHED ROCK IN ACCORDANCE WITH COUNCIL STANDARDS.

DATUM R.L.213.0

DESIGN SURFACE LEVEL	213.740	213.740	215.193	215.192	215.142	215.075	214.965	215.127	215.042	215.152	215.350	215.380	215.382	215.189
EXISTING SURFACE LEVEL	213.740	214.668	214.070	214.070	214.198	214.300	214.331	214.578	214.654	214.672	214.850	214.893	214.894	214.922
OFFSET	-17.266	-10.000	-9.950	-9.950	-7.450	-5.450	-4.850	0.000	2.550	3.150	8.450	9.950	10.000	10.964

BASALT DRIVE

CH 101.66

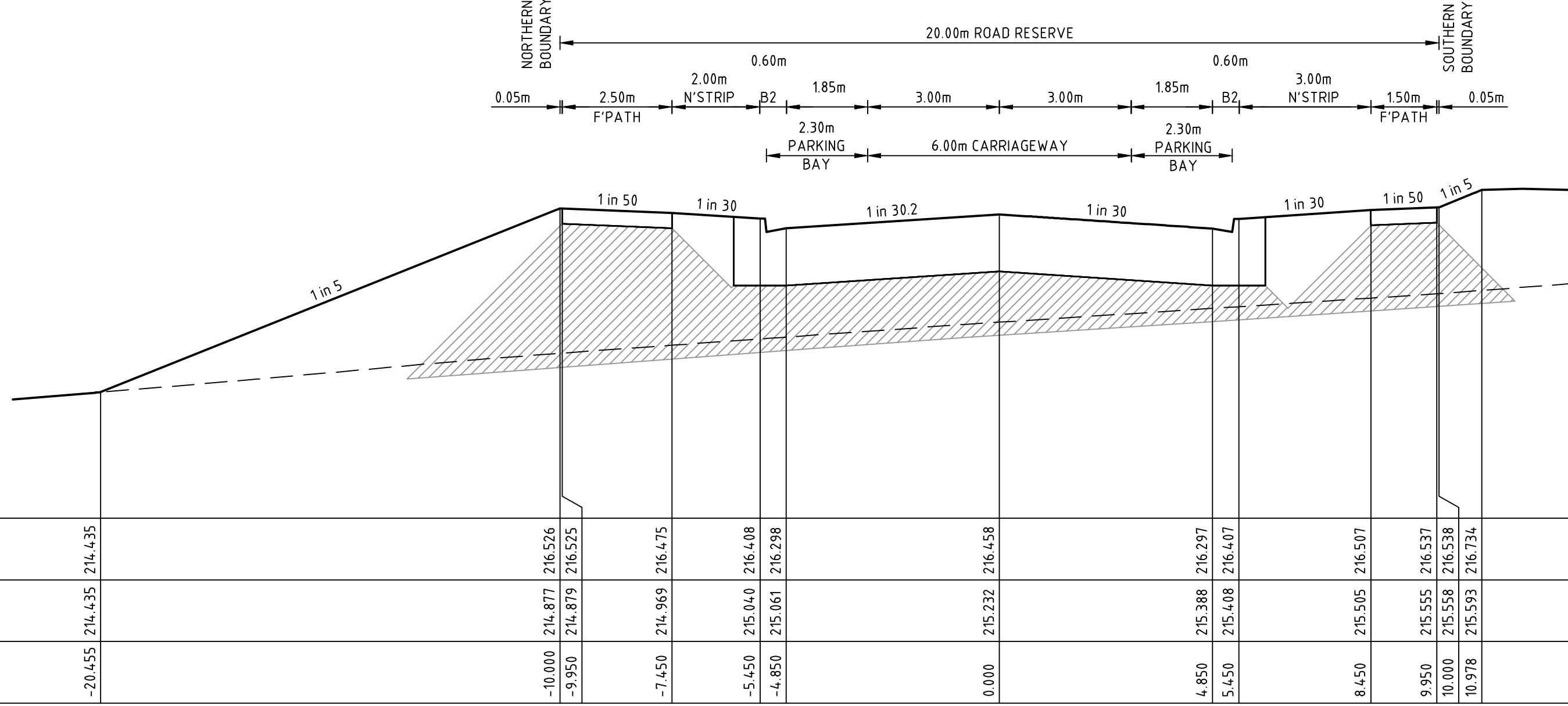


DATUM R.L.213.0

DESIGN SURFACE LEVEL	214.435	214.526	216.525	216.475	216.408	216.298	216.458	216.297	216.407	216.507	216.537	216.538	216.734
EXISTING SURFACE LEVEL	214.435	214.877	214.879	214.969	215.040	215.061	215.232	215.388	215.408	215.505	215.555	215.558	215.593
OFFSET	-20.455	-10.000	-9.950	-7.450	-5.450	-4.850	0.000	4.850	5.450	8.450	9.950	10.000	10.978

BASALT DRIVE

CH 68.75

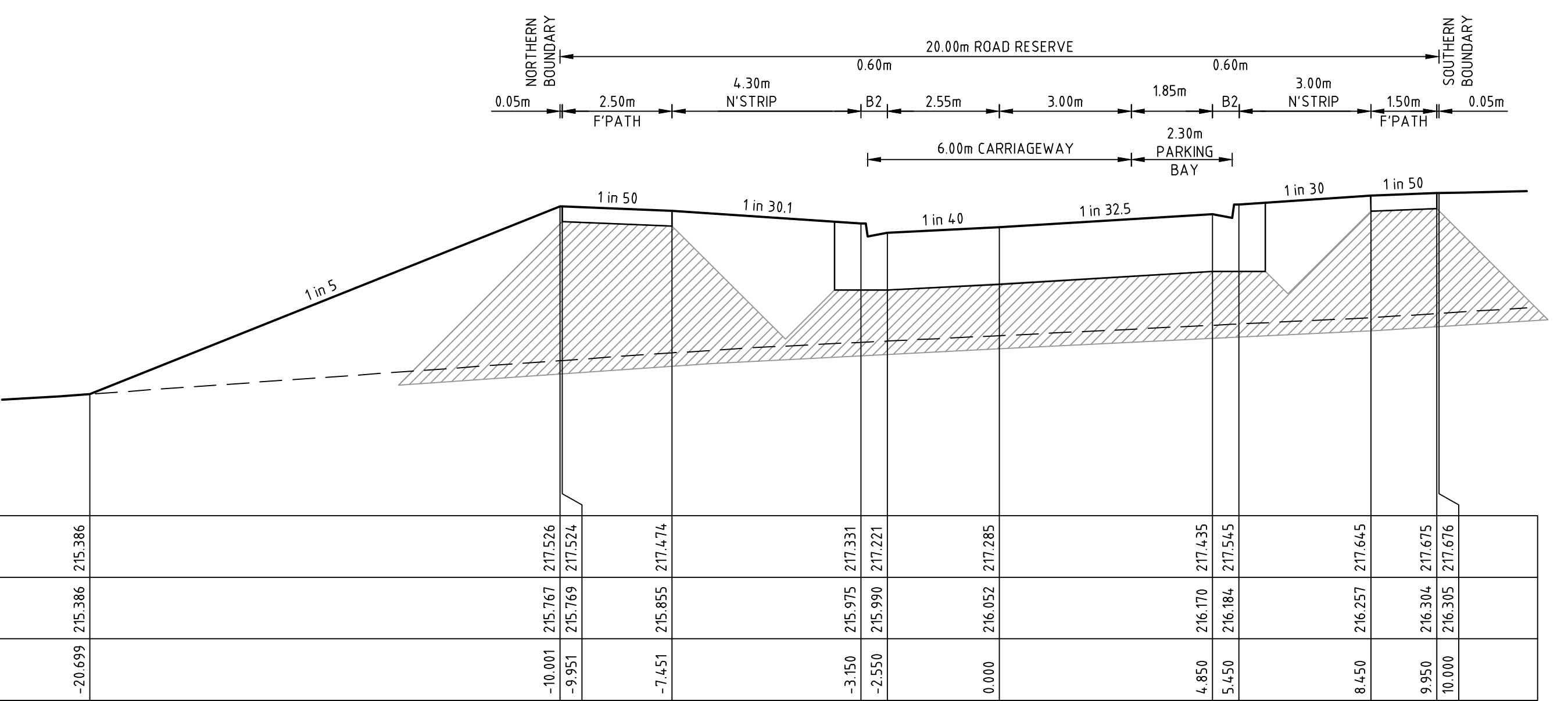


DATUM R.L.214.0

DESIGN SURFACE LEVEL	215.386	217.526	217.524	217.474	217.331	217.221	217.885	217.435	217.675	217.676
EXISTING SURFACE LEVEL	215.386	215.767	215.769	215.855	215.975	215.990	216.052	216.170	216.304	216.305
OFFSET	-20.699	-10.001	-9.951	-7.451	-3.150	-2.550	0.000	4.850	9.950	10.000

BASALT DRIVE

CH 46.33

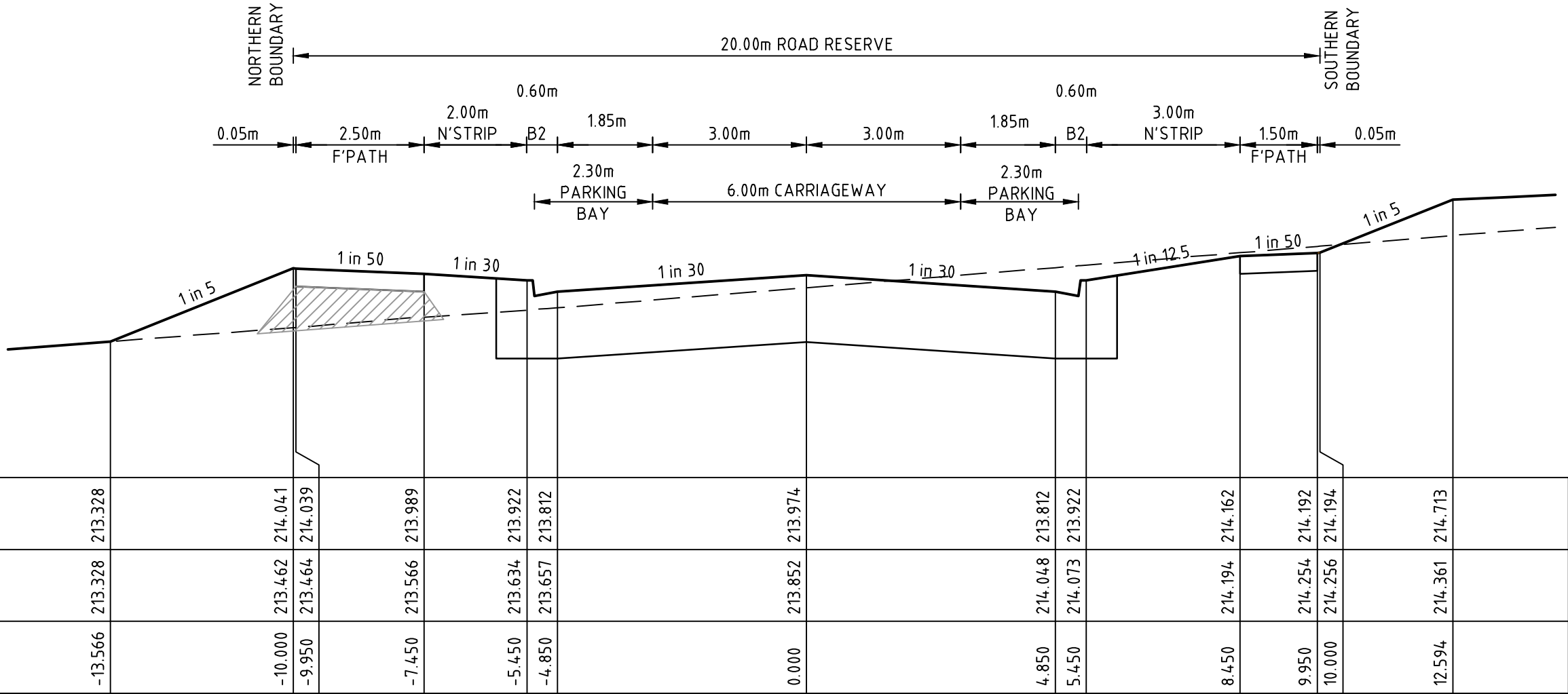


DATUM R.L.212.0

DESIGN SURFACE LEVEL	213.328	214.041	214.039	213.989	213.922	213.812	213.974	214.162	214.192	214.194	214.713
EXISTING SURFACE LEVEL	213.328	213.462	213.464	213.566	213.634	213.657	213.852	214.194	214.254	214.256	214.361
OFFSET	-13.566	-10.000	-9.950	-7.450	-5.450	-4.850	0.000	8.450	9.950	10.000	12.594

BASALT DRIVE

CH 127.28



SUBDIVISION ACT 1988
This approved engineering plan
forms part of Planning Permit
P22160.
Date: 18/08/2025
Sheet 7 of 23
Signature for Responsible
Authority:
Nirpal Singh

Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
C	BASALT DRIVE APPROACHING L.O.W AMENDED	M.R	14/03/25
B	COUNCIL RESUBMISSION	M.R	24/02/25
A	ISSUED TO COUNCIL	M.R	29/11/24

Scale	H 1:100 SCALE @ A1 V 1:50
0 1 2 3 4 5 0 0.5 1 1.5 2 2.5	



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Designed
H.HOGGARD
Authorised
M.RANJANAN



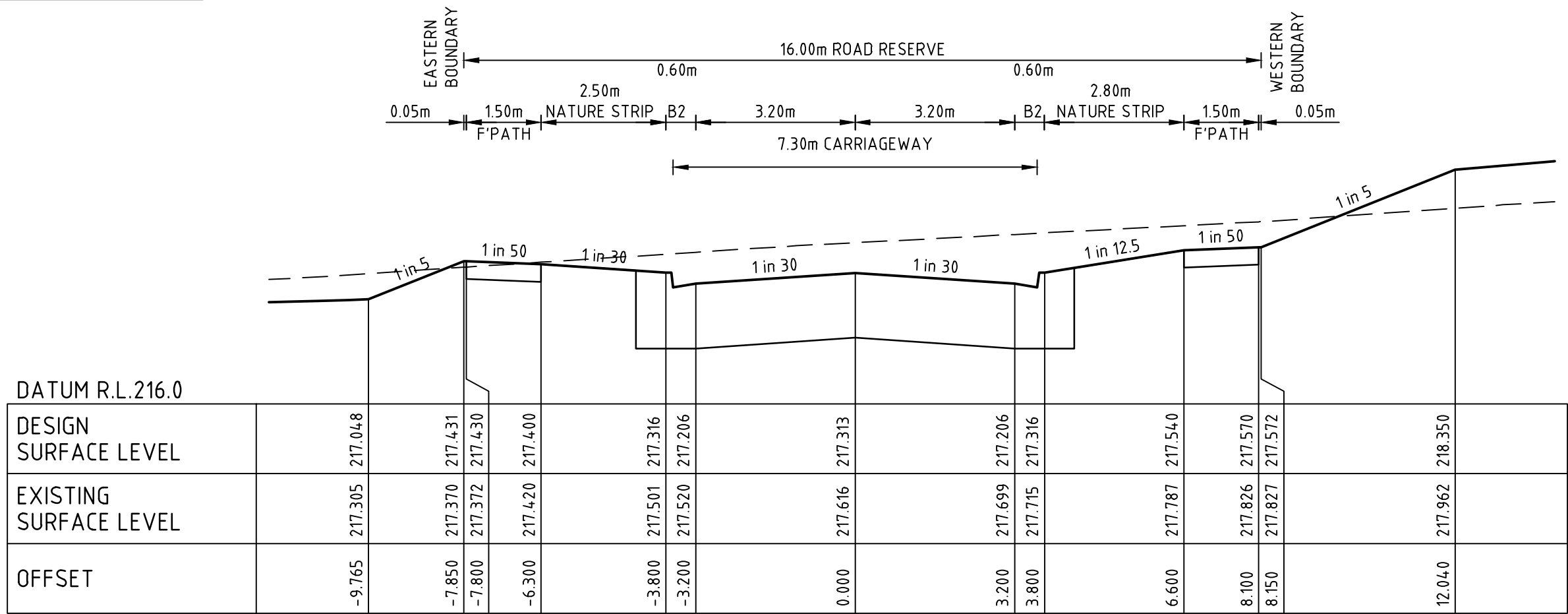
Checked
J.POYNER
Date
29/11/24

REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
ROAD CROSS SECTIONS - SHEET 1
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

CONSTRUCTION Drg No 310068-001CR401 Rev 0

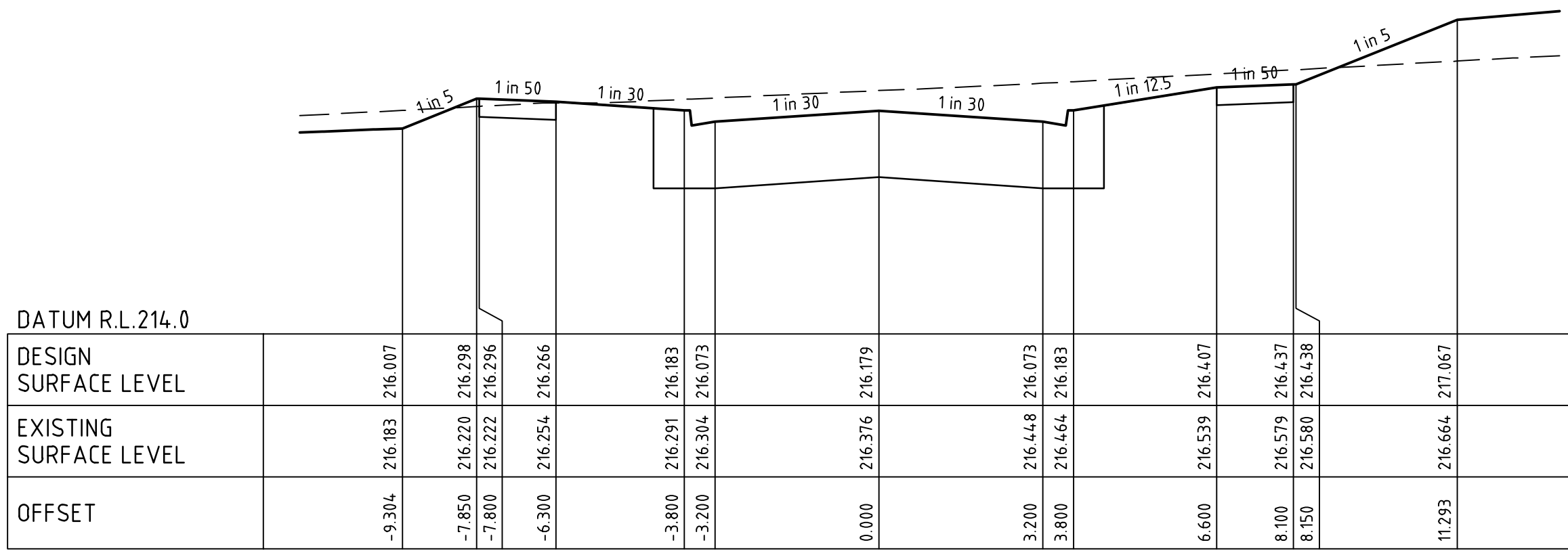
STRUCTURAL FILL IN ACCORDANCE
(REFER TO FILLING NOTE)

FILLING NOTE
ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007 AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS. FILLING UNDERNEATH FOOTPATH TO BE CLASS 3 CRUSHED ROCK IN ACCORDANCE WITH COUNCIL STANDARDS.



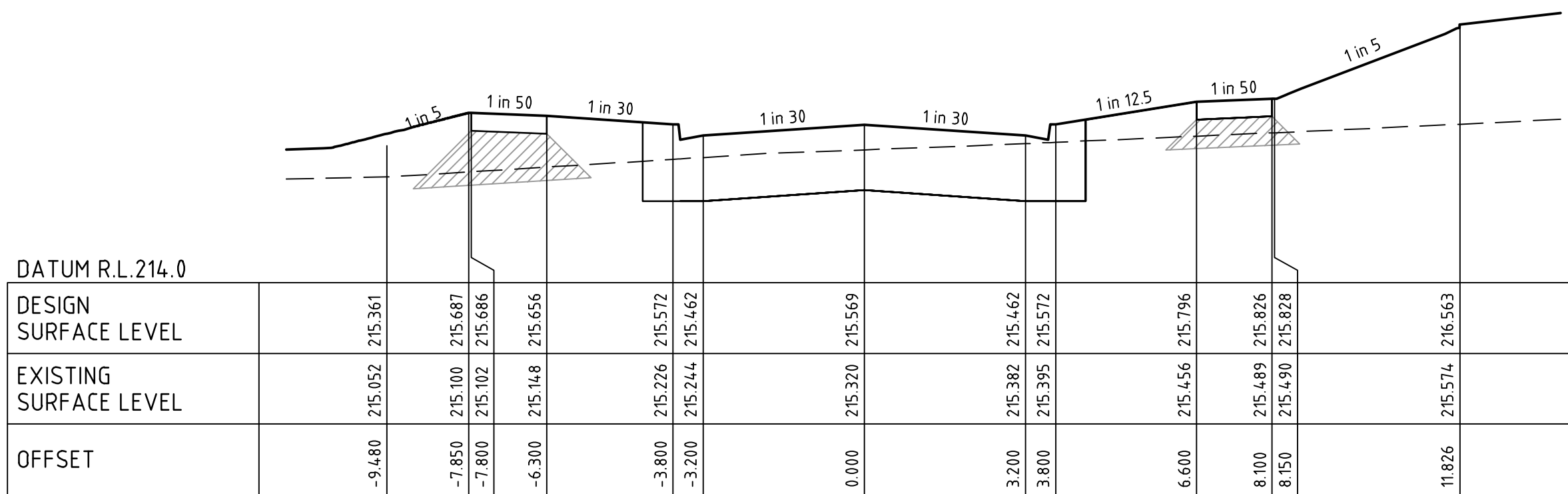
FEAST ROAD

CH 71.69



FEAST ROAD

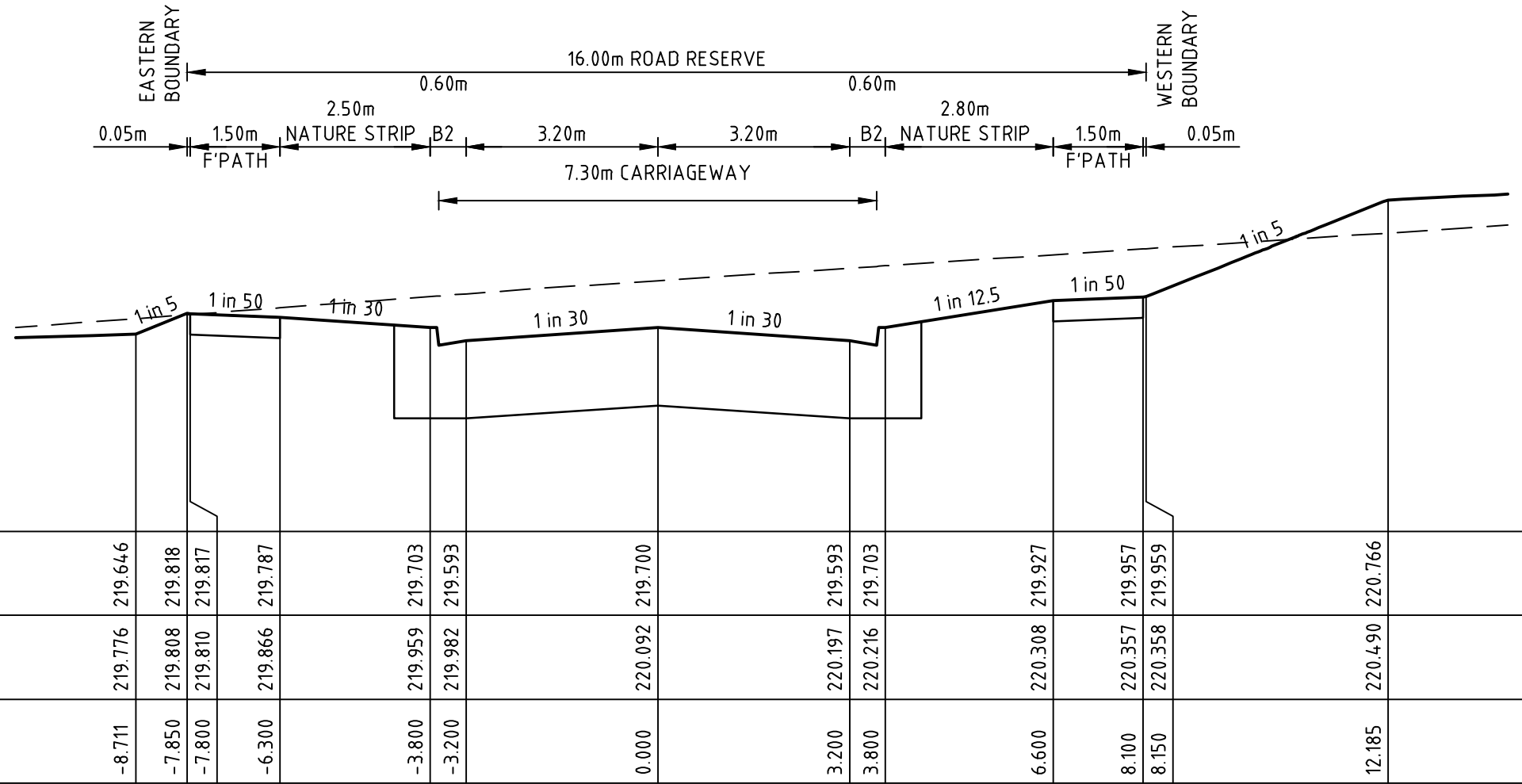
CH 42.00



FEAST ROAD

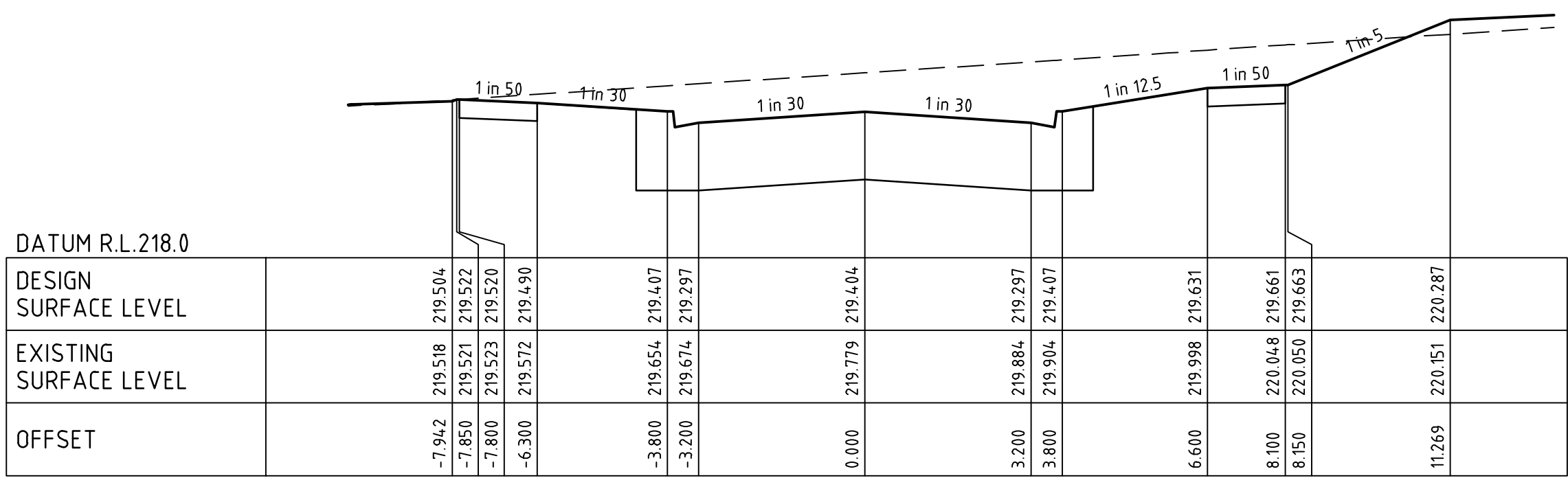
CH 13.00

SUBDIVISION ACT 1988
This approved engineering plan forms part of Planning Permit P22180.
Date: 18/06/2025
Sheet 8 of 23
Signature for Responsible Authority:
Nirpal Singh



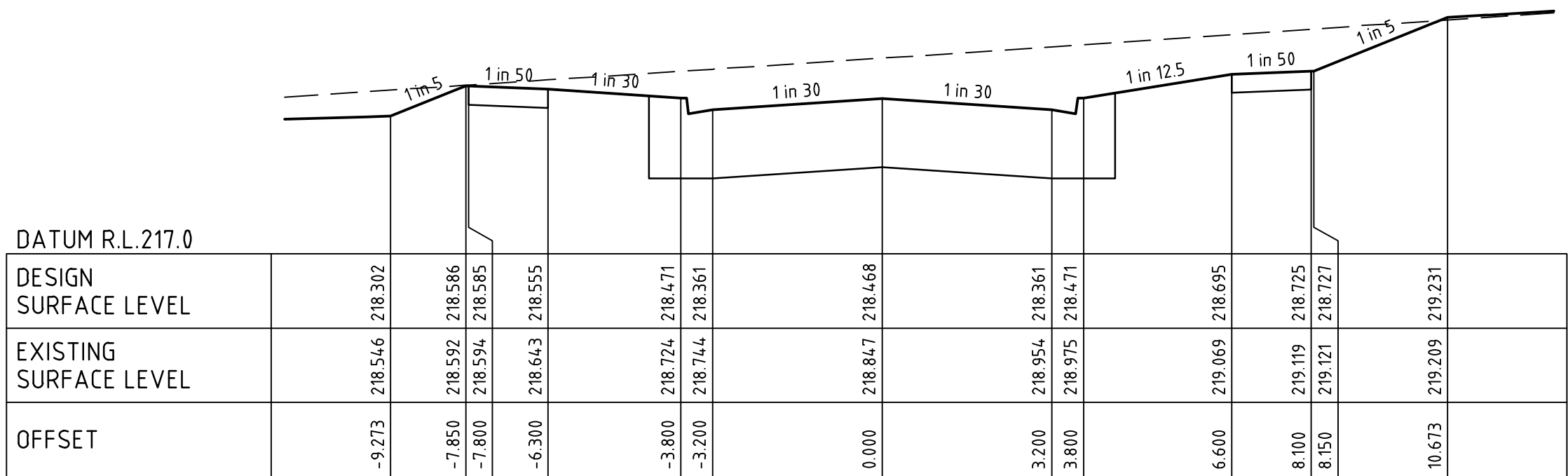
FEAST ROAD

CH 133.69



FEAST ROAD

CH 126.00

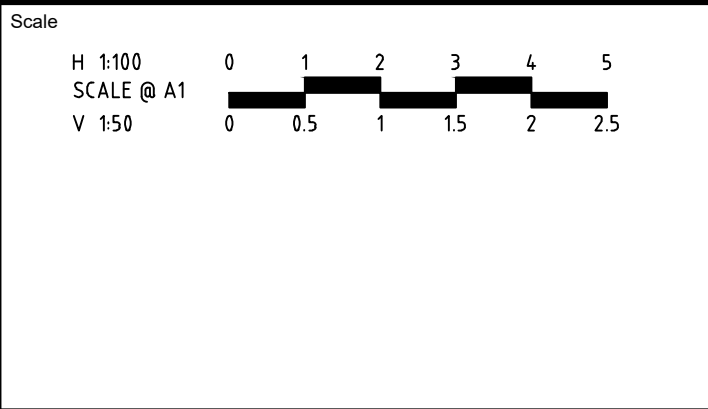


FEAST ROAD

CH 101.69

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Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
A	ISSUED TO COUNCIL	M.R	29/11/24



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Designed
H.HOGGARD
Authorised
M.RANJANAN

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Checked
J.POYNER
Date
29/11/24

REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
ROAD CROSS SECTIONS - SHEET 2
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

CONSTRUCTION
310068-001CR402

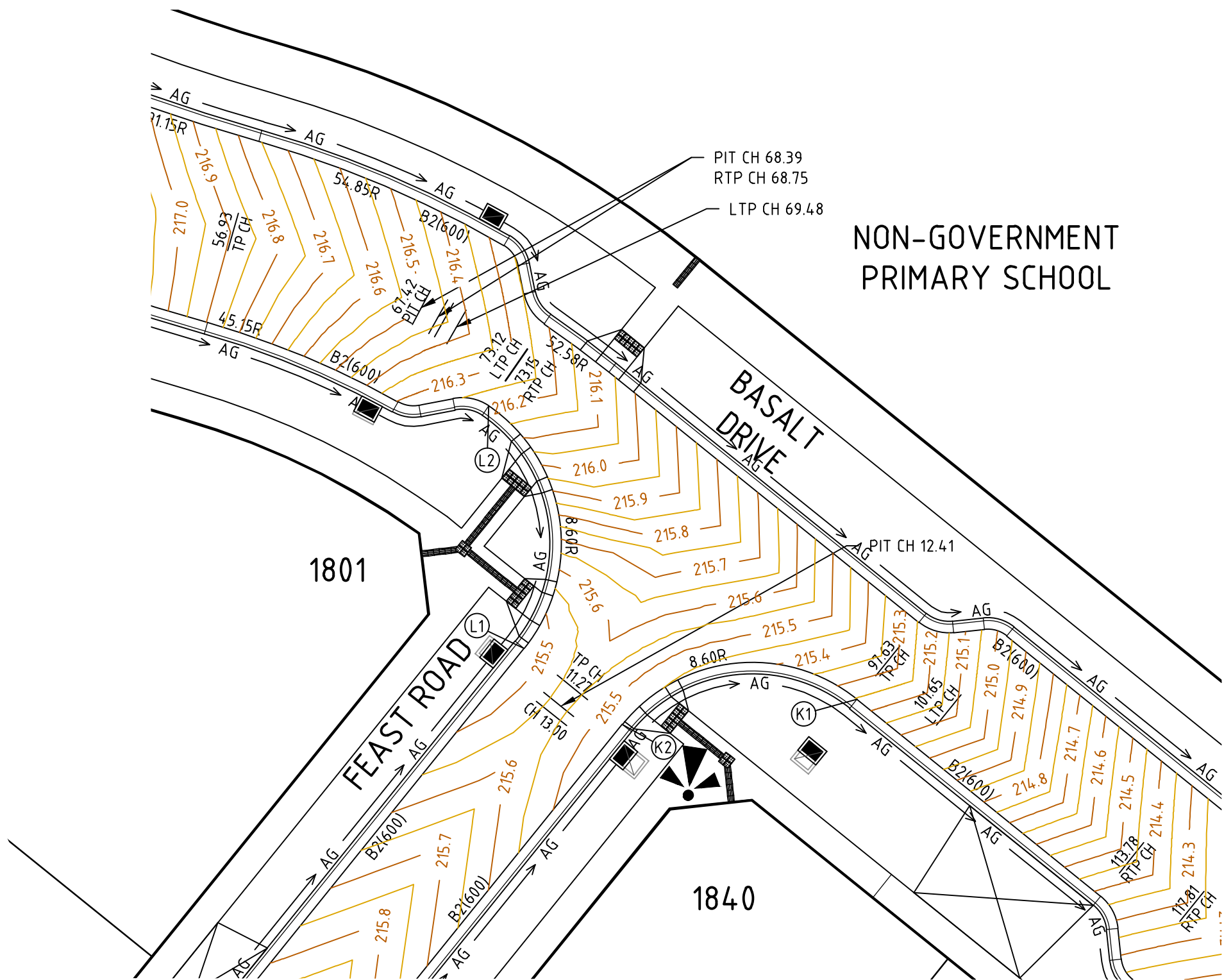
Rev
0

file name: 310068-001CR500.dwg, layout name: CR500, plotted by: Luke Russell, file location: G:\310068\001\CR500.dwg, plot date: 24/03/2025 3:28 PM, Sheet: 9 of 16 Sheets



SUBDIVISION ACT 1988

This approved engineering plan
forms part of Planning Permit
P22160.
Date: 18/06/2025
Sheet 9 of 25
Signature for Responsible
Authority:
Nirpal Singh



ALIGNMENT K

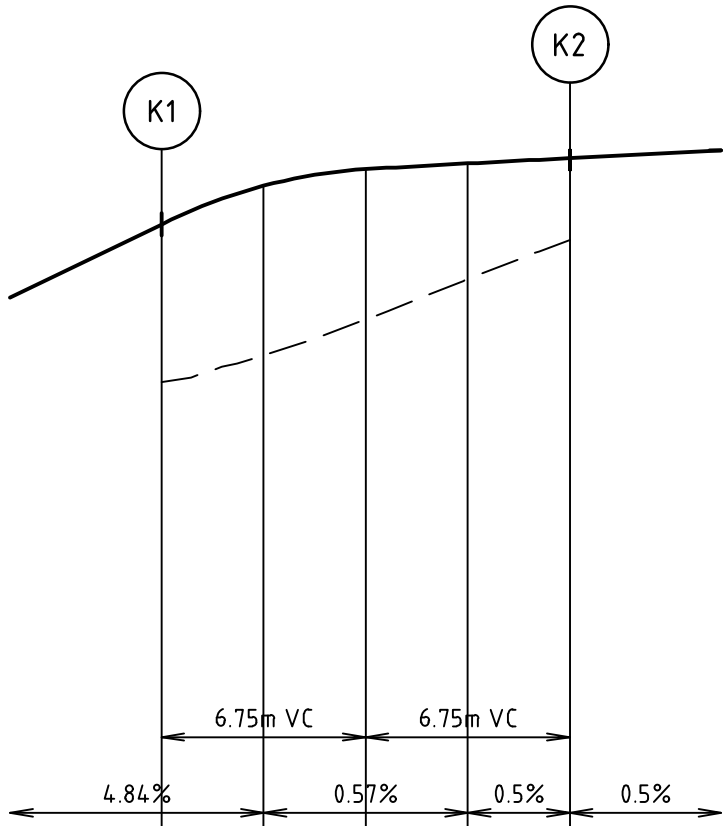
POINT NO	EASTING	NORTHING	RL
K1	302321.304	5835233.882	215.245
1/4	302318.332	5835235.439	215.373
1/2	302314.990	5835235.741	215.428
3/4	302311.787	5835234.741	215.447
K2	302309.211	5835232.591	215.464

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
K1-K2	8.600	13.509	12.162	2.519	-0.655

ALIGNMENT L

POINT NO	EASTING	NORTHING	RL
L1	302304.155	5835236.517	215.464
1/4	302305.759	5835239.652	215.552
1/2	302305.972	5835243.166	215.780
3/4	302304.758	5835246.472	216.037
L2	302302.322	5835249.014	216.210

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
L1-L2	8.600	14.185	12.631	2.763	-0.721



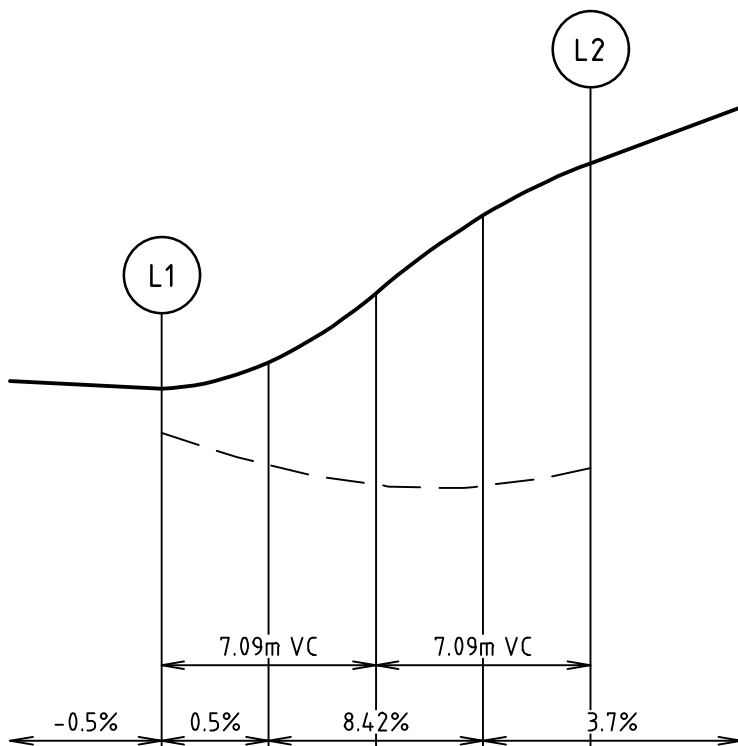
VERTICAL GEOMETRY

DESIGN GRADELINE

DATUM RL 213.0

DESIGN LEVEL	215.245	215.373	215.428	215.447	215.464
CHAINAGE	0.000	3.377	6.754	10.132	13.509

ALIGNMENT K



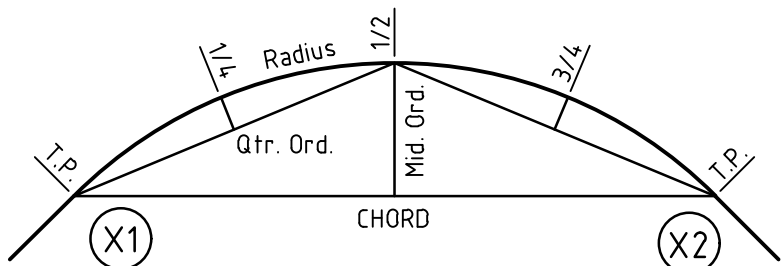
VERTICAL GEOMETRY

DESIGN GRADELINE

DATUM RL 214.0

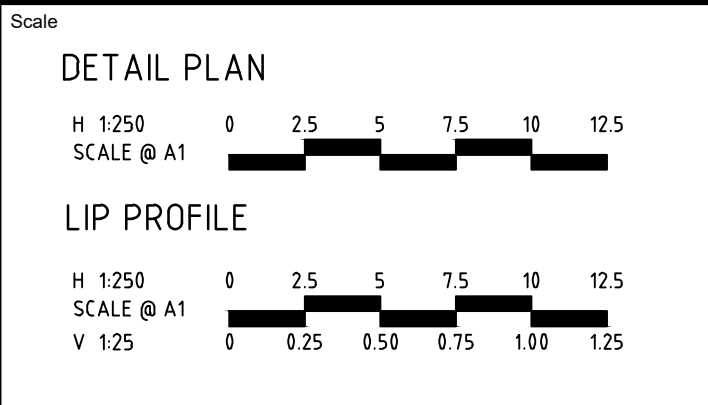
DESIGN LEVEL	215.464	215.552	215.780	216.037	216.210
CHAINAGE	0.000	3.546	7.092	10.639	14.185

ALIGNMENT L



KERB RETURN SETOUT DETAIL

Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	M.R.	24/03/25
B	BASALT DRIVE PAVEMENT & KERB ALIGNMENT K AMENDED	M.R.	14/03/25
A	ISSUED TO COUNCIL	M.R.	29/11/24





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Designed
H.HOGGARD
Authorised
M.RANJANAN



Checked
J.POYNOR
Date
29/11/24

REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
INTERSECTION DETAILS
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

CONSTRUCTION Drg No 310068-001CR500 Rev 0

file name: 310068-001CR600.dwg, layout name: CR600, plotted by: Luke Russell, file location: G:\31\310068\001\CR600.dwg, plot date: 24/03/2025 3:28 PM, Sheet 10 of 16 Sheets

STAGE 16
LIMIT OF WORKS
STAGE 18A

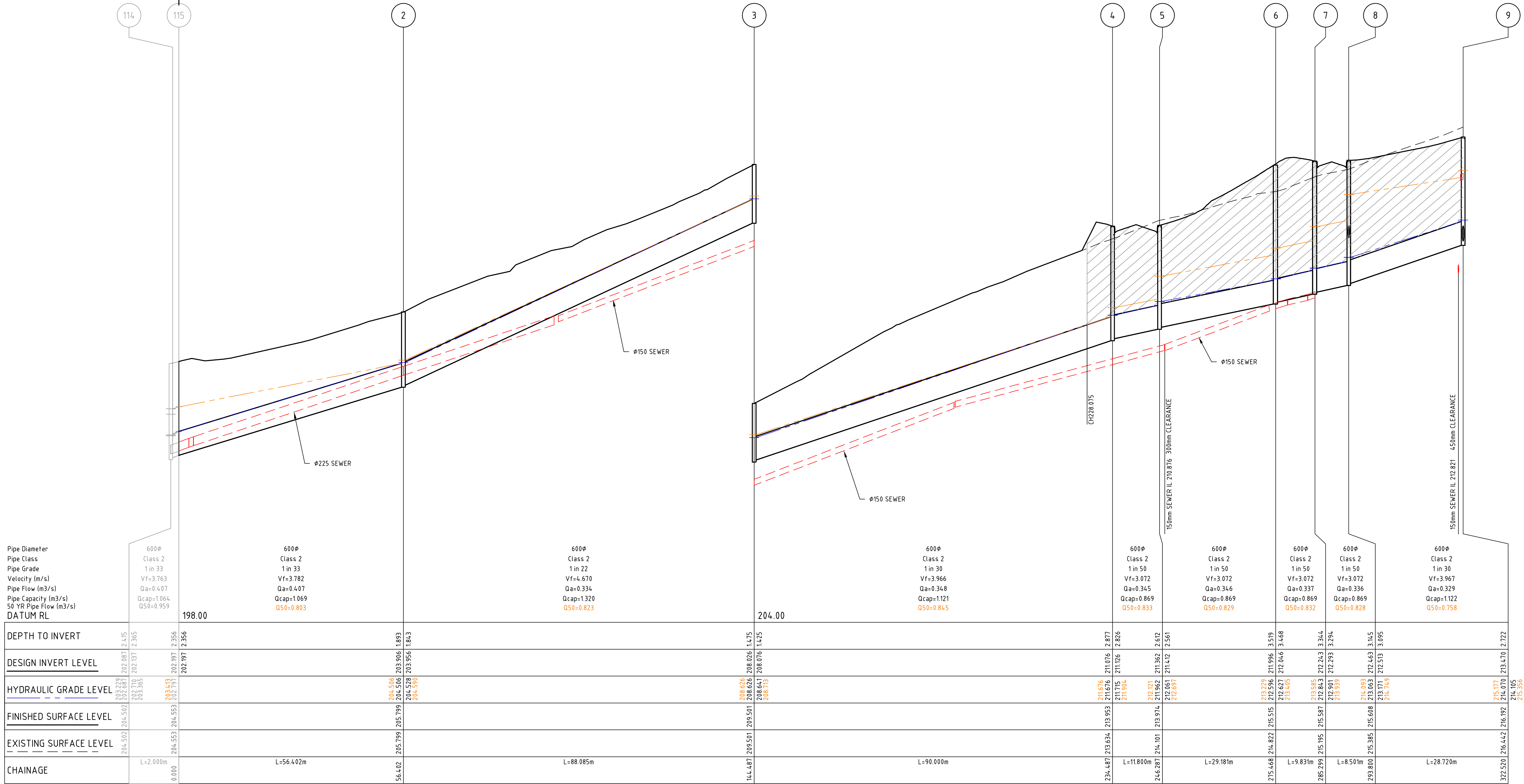
SUBDIVISION ACT 1988
This approved engineering plan forms part of Planning Permit P22160.
Date: 18/08/2025
Sheet 10 of 23
Signature for Responsible Authority:
Nirpal Singh



CLASS 2 CRUSHED ROCK BACKFILL

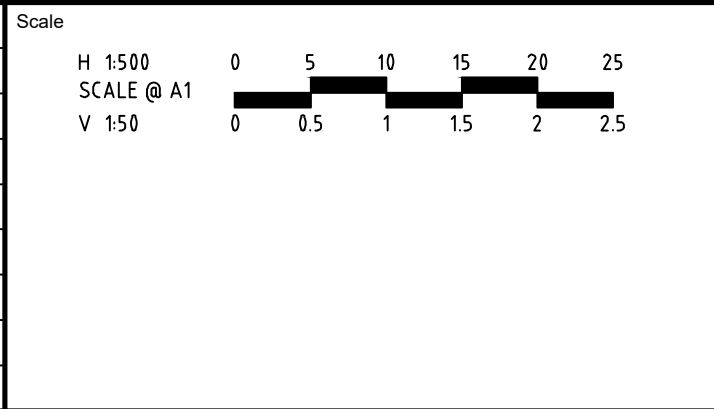
50YR HYDRAULIC GRADE LEVEL

5YR HYDRAULIC GRADE LEVEL



Q50 PIPES AND PITS
TO REDUCE GAP FLOWS IN ROAD

Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
C	SWD PITS 4, 5 & 6 FINISHED SURFACE LEVELS AMENDED	M.R	14/03/25
B	COUNCIL RESUBMISSION	M.R	24/02/25
A	ISSUED TO COUNCIL	M.R	29/11/24



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Date
29/11/24

**REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
DRAINAGE LONG SECTIONS - SHEET 1
VILLAWOOD PROPERTIES
HUME CITY COUNCIL**

CONSTRUCTION Drg No **310068-001CR600** Rev **0**

file name: 310068-001CR600.dwg, layout name: CR601, plotted by: Luke Russell, file location: G:\310068\001\CR601\310068-001.dwg, plot date: 24/03/2025 3:28 PM, Sheet: 11 of 16 Sheets

CLASS 2 CRUSHED ROCK BACKFILL

50YR HYDRAULIC GRADE LEVEL

5YR HYDRAULIC GRADE LEVEL

SUBDIVISION ACT 1988

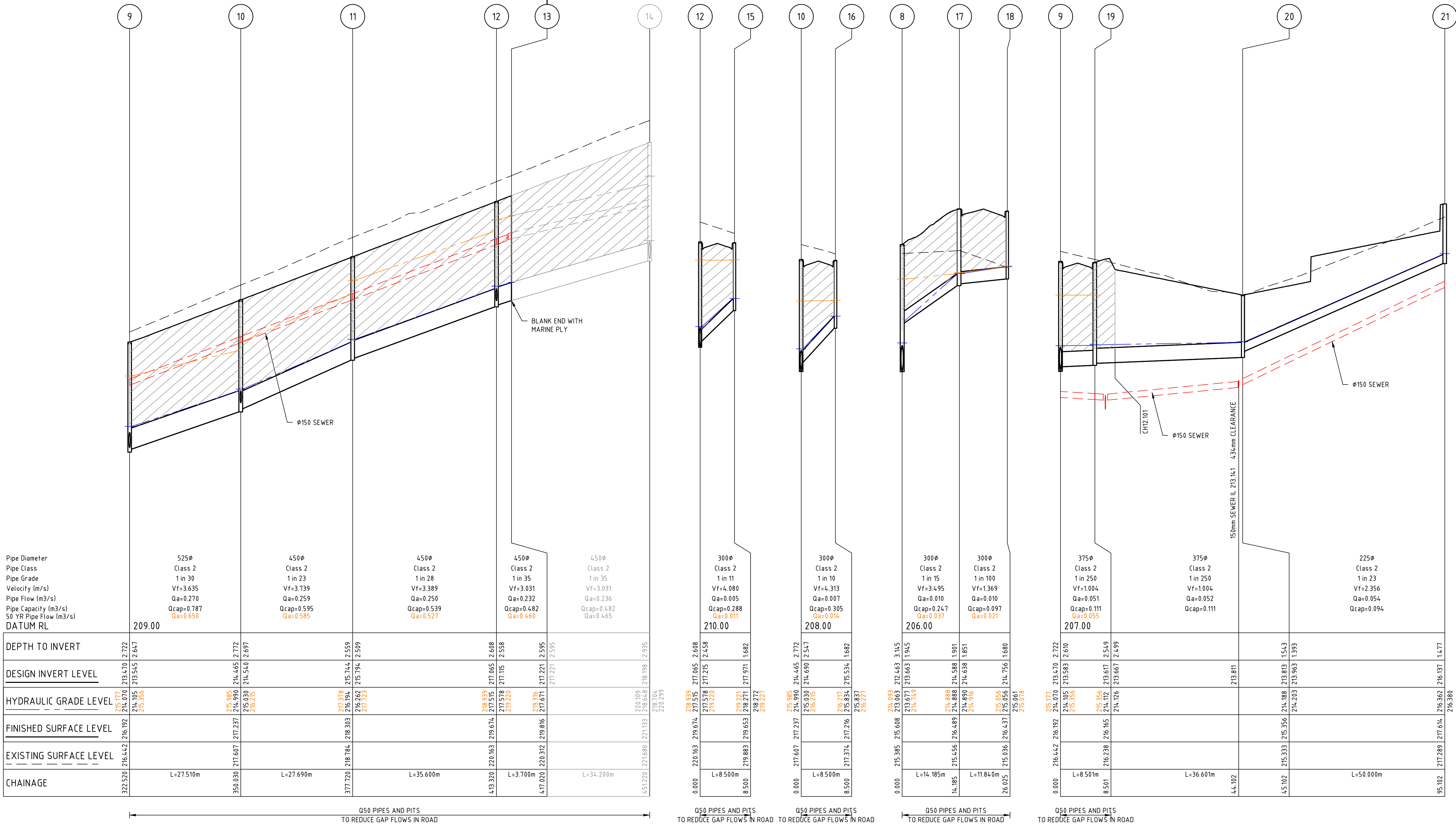
This approved engineering plan forms part of Planning Permit P22160.

Date: 18/06/2025

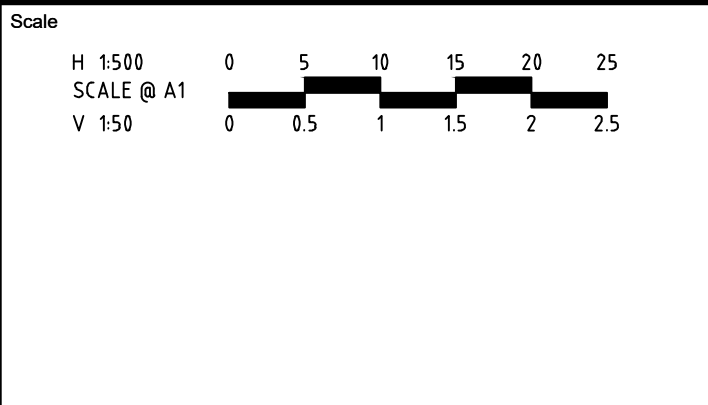
Sheet 11 of 23

Signature for Responsible Authority:

Nirpal Singh



Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
B	COUNCIL RESUBMISSION	M.R	24/02/25
A	ISSUED TO COUNCIL	M.R	29/11/24



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villawood properties
Communities Designed for Living

Redstone.
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Designed
H.HOGGARD

Authorised
M.RANJANAN

Checked
J.POYNER

Date
29/11/24

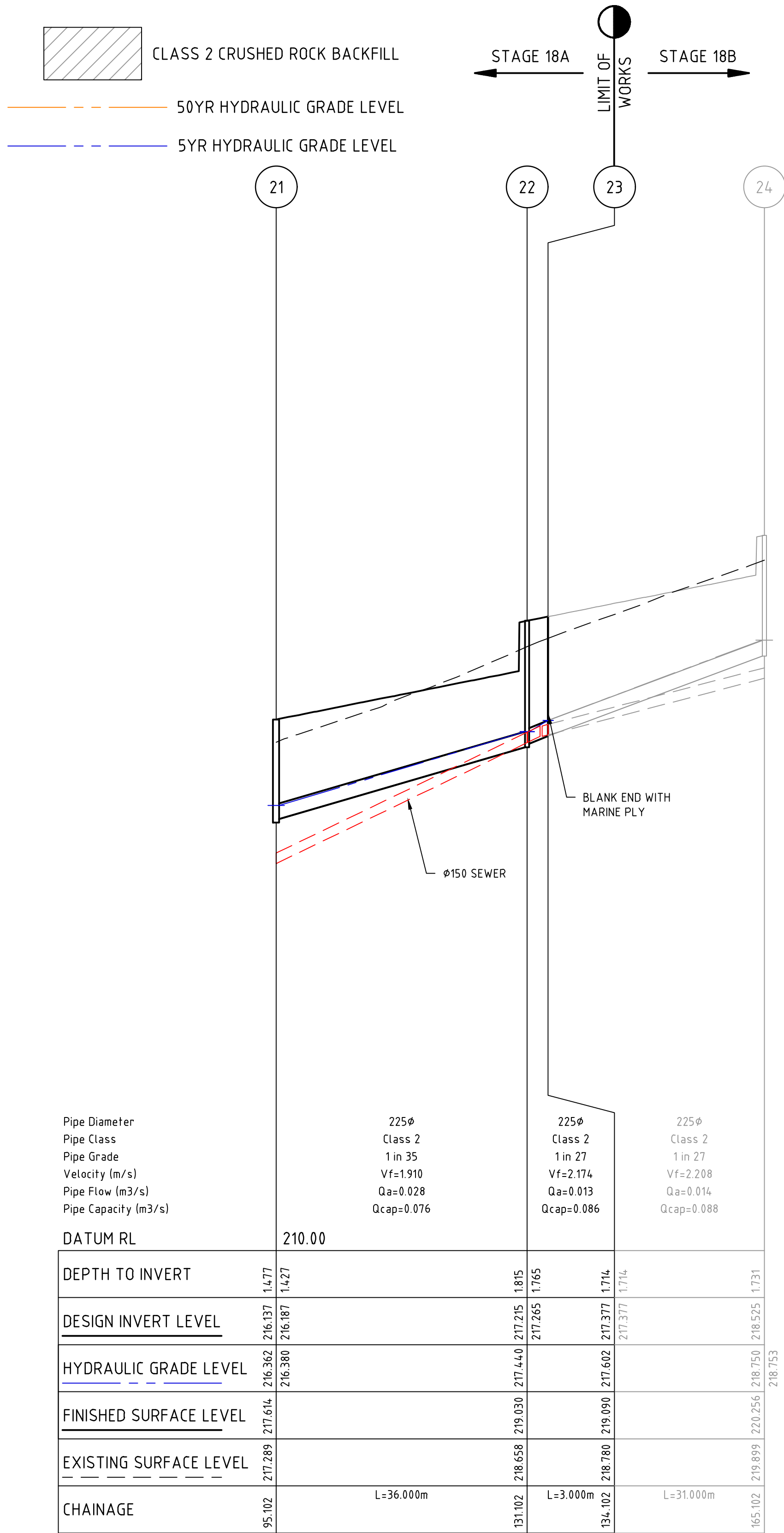
REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
DRAINAGE LONG SECTIONS - SHEET 2
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

CONSTRUCTION

Dwg No
310068-001CR601

Rev
0

file name: 310068-001CR602.dwg, layout name: CR602, plotted by: Luke Russell, file location: G:\31\310068\DWG\Layouts\CR602.dwg, plot date: 24/03/2025 3:28 PM, Sheet 12 of 16 Sheets

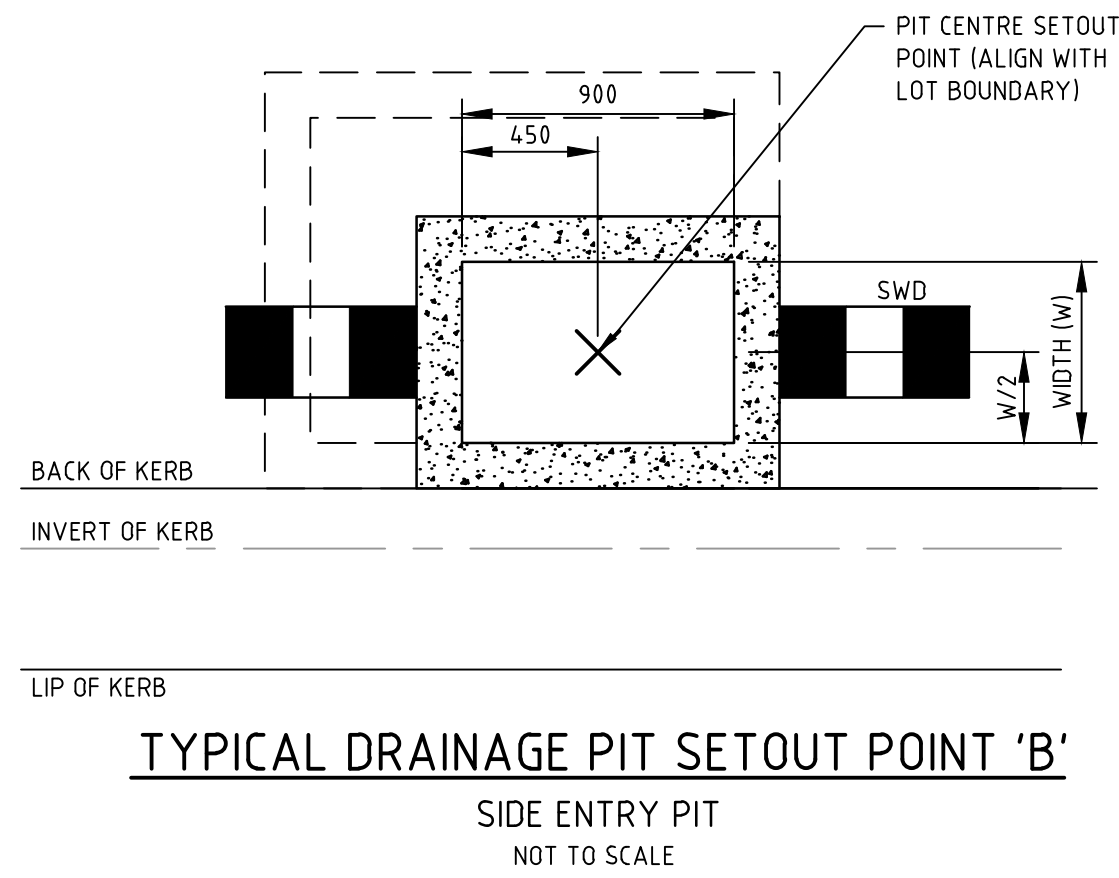
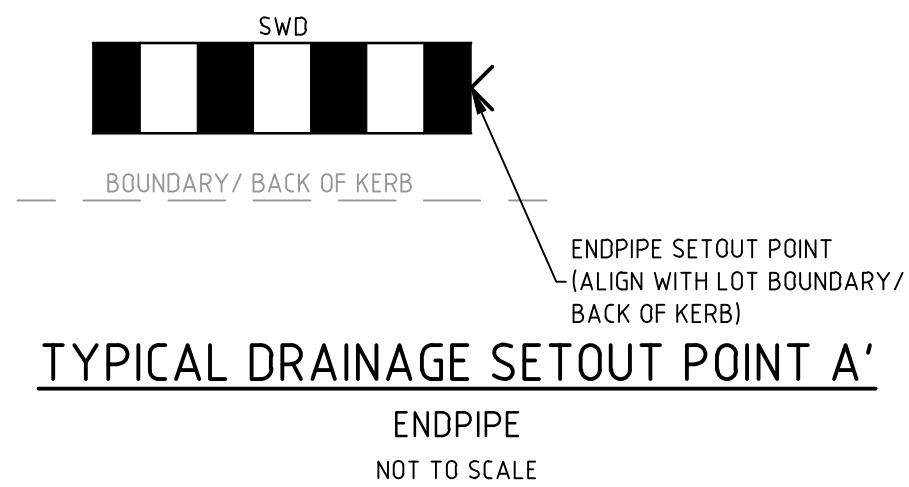


DRAINAGE PIT SCHEDULE

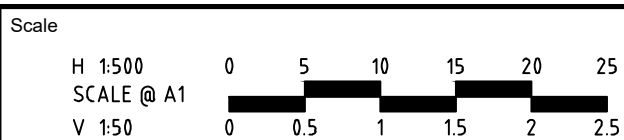
PIT		INTERNAL		INLET		OUTLET		PIT		REMARKS
NAME	TYPE	WIDTH	LENGTH	DIA	INV LEVEL	DIA	INV LEVEL	FS LEVEL	DEPTH	
115	ENDPIPE			600	202.197	600	202.197	204.553	2.356	CONNECT TO EXISTING ENDPIPE
2	JUNCTION PIT	900	900	600	203.956	600	203.906	205.799	1.893	REFER TO EDCM STD FIG 607
3	JUNCTION PIT	900	900	600	208.076	600	208.026	209.501	1.475	REFER TO EDCM STD FIG 607
4	GRATED SIDE ENTRY PIT	900	900	600	211.126	600	211.076	213.953	2.877	REFER TO EDCM STD FIG 601 AND 607
5	GRATED SIDE ENTRY PIT	900	900	600	211.412	600	211.362	213.974	2.612	REFER TO EDCM STD FIG 601 AND 607
6	JUNCTION PIT	1200	900	600	212.046	600	211.996	215.515	3.519	REFER TO EDCM STD FIG 607
7	DOUBLE SIDE ENTRY PIT	900	1350	600	212.293	600	212.243	215.587	3.344	REFER TO EDCM STD FIG 602 AND 607
8	DOUBLE SIDE ENTRY PIT	900	900	600	212.513	600	212.463	215.608	3.145	REFER TO EDCM STD FIG 602 AND 607
				300	213.663					
9	DOUBLE SIDE ENTRY PIT	900	900	525	213.545	600	213.470	216.192	2.722	REFER TO EDCM STD FIG 602 AND 607
				375	213.583					
10	DOUBLE SIDE ENTRY PIT	900	900	450	214.540	525	214.465	217.237	2.772	REFER TO EDCM STD FIG 602 AND 607
				300	214.690					
11	DOUBLE SIDE ENTRY PIT	750	900	450	215.794	450	215.744	218.303	2.559	REFER TO EDCM STD FIG 602 AND 607
12	DOUBLE SIDE ENTRY PIT	750	900	450	217.115	450	217.065	219.674	2.608	REFER TO EDCM STD FIG 602 AND 607
				300	217.215					
13	ENDPIPE			450	217.221	450	217.221	219.816	2.595	BLANK END WITH MARINE PLY
15	GRATED SIDE ENTRY PIT	600	900			300	217.971	219.653	1.682	REFER TO EDCM STD FIG 601 AND 605
16	GRATED SIDE ENTRY PIT	600	900			300	215.534	217.216	1.682	REFER TO EDCM STD FIG 601 AND 605
17	DOUBLE SIDE ENTRY PIT	750	900	300	214.638	300	214.588	216.489	1.901	REFER TO EDCM STD FIG 602 AND 607
18	DOUBLE SIDE ENTRY PIT	600	900			300	214.756	216.437	1.680	REFER TO EDCM STD FIG 602 AND 605
19	GRATED SIDE ENTRY PIT	900	900	375	213.667	375	213.617	216.165	2.549	REFER TO EDCM STD FIG 601 AND 607
20	JUNCTION PIT	600	900	225	213.963	375	213.813	215.356	1.543	REFER TO EDCM STD FIG 605
21	JUNCTION PIT	600	900	225	216.187	225	216.137	217.614	1.477	REFER TO EDCM STD FIG 605
22	JUNCTION PIT	900	600	225	217.265	225	217.215	219.030	1.815	REFER TO EDCM STD FIG 605
23	ENDPIPE			225	217.377	225	217.377	219.090	1.714	BLANK END WITH MARINE PLY

PIT SETOUT CO-ORDINATES

NAME	POINT	EASTING	NORTHING
115	A	302496.484	5835404.687
2	B	302460.945	5835360.890
3	B	302405.624	5835292.344
6	B	302319.004	535231.241



Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
C	SWD PITS 4, 5 & 6 FINISHED SURFACE LEVELS AMENDED	M.R	14/03/25
B	COUNCIL RESUBMISSION	M.R	24/02/25
A	ISSUED TO COUNCIL	M.R	29/11/24



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Designed
H.HOGGARD

Authorised
M.RANJANAN

Checked
J.POYNER

Date
29/11/24

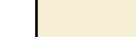


REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
DRAINAGE PIT SCHEDULE AND SETOUT
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

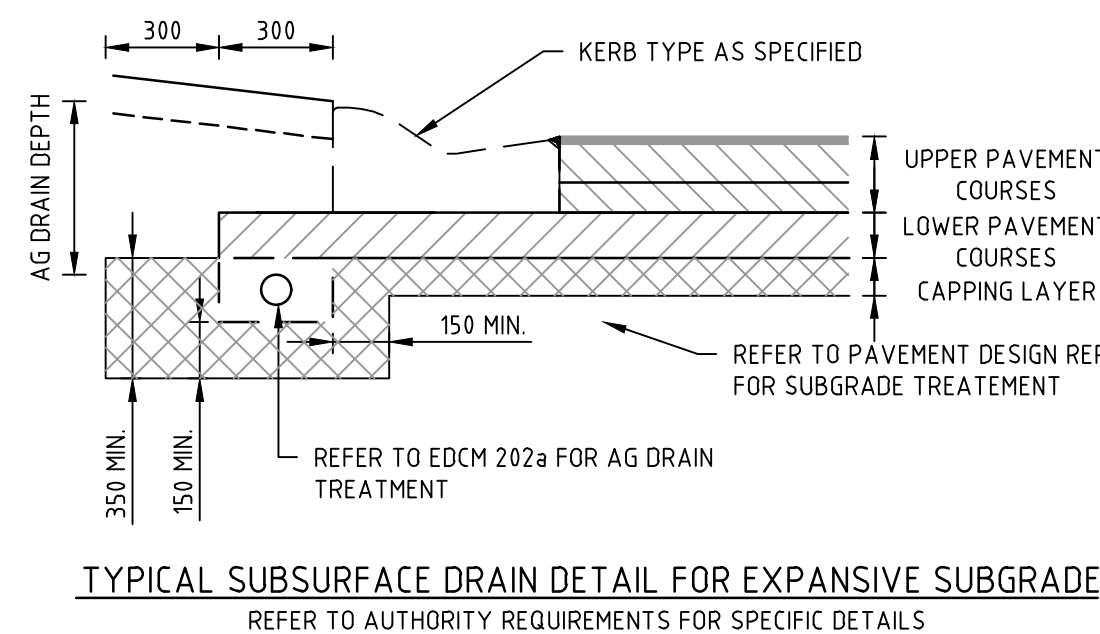
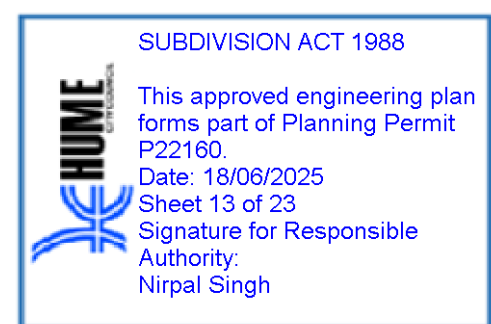
CONSTRUCTION

Drg No 310068-001CR602

Rev 0

PAVEMENT LAYER	DESCRIPTION	DEPTH (mm)
		AREA 1
ASPHALT WEARING COURSE	SIZE 10 TYPE L CLASS 320 ASPHALT	30
ASPHALT BASE COURSE	SIZE 10 TYPE N CLASS 320 ASPHALT	30
	SIZE 10 SAMI SEAL CLASS S18FR	10
	BITUMINOUS PRIMECOAT	Y
BASE COURSE	SIZE 20mm CLASS 2 CRUSHED ROCK, COMPACTED TO AT LEAST 98% MODIFIED DRY DENSITY RATIO WITH A MEAN VALUE OF AT LEAST 100% MODIFIED DRY DENSITY RATIO AND WITHIN 1% OF THE MODIFIED OPTIMUM MOISTURE CONTENT	130
SUBBASE COURSE	SIZE 20mm CLASS 3 CRUSHED ROCK, COMPACTED TO AT LEAST 95% MODIFIED DRY DENSITY RATIO WITH A MEAN VALUE OF AT LEAST 98% MODIFIED DRY DENSITY RATIO AND WITHIN 1% OF THE MODIFIED OPTIMUM MOISTURE CONTENT	100
CAPPING LAYER	SELECT GRANULAR MATERIAL WITH A MINIMUM SOAKED CBR OF 10% COMPACTED TO AT LEAST 98% STANDARD DRY DENSITY RATIO WITH A MEAN VALUE OF AT LEAST 100% STANDARD DRY DENSITY RATIO AND WITHIN 1% OF THE STANDARD OPTIMUM MOISTURE CONTENT, A PERCENTAGE SWELL OF LESS THAN 15% AND A MAXIMUM HYDRAULIC CONDUCTIVITY OF 5×10^{-9} m/s	200
CONSTRUCTION LAYER	SELECT GRANULAR MATERIAL WITH A MINIMUM SOAKED CBR OF 10% COMPACTED TO AT LEAST 98% STANDARD DRY DENSITY RATIO WITH A MEAN VALUE OF AT LEAST 100% STANDARD DRY DENSITY RATIO AND WITHIN 1% OF THE STANDARD OPTIMUM MOISTURE CONTENT, A PERCENTAGE SWELL OF LESS THAN 15% AND A MAXIMUM HYDRAULIC CONDUCTIVITY OF 5×10^{-9} m/s	150
	TOTAL PAVEMENT DEPTH	650
SUBGRADE	NATURAL SILTY CLAY TESTED TO CONFIRM AN IN-SITU CBR OF AT LEAST 15% FOR AREAS 1, 5, AND F AND AT LEAST 2% FOR AREAS 4, 6, AND E OR APPROVED FILL COMPACTED TO AT LEAST 100% STANDARD DRY DENSITY RATIO (SOAKED CBR≥ 0%) WITHIN 2% OF THE STANDARD OPTIMUM MOISTURE CONTENT	

CONCRETE PAVEMENT	DESCRIPTION	LEGEND
FOOTPATH	125mm THICK N25 CONCRETE WITH SL72 MESH TOP 50 COVER. MESH TO HAVE 50 COVER TO ALL EDGES. ON 50mm THICK 20mm CLASS CRUSHED ROCK. REFER TO EDCM401 FOR DETAILS	
RESIDENTIAL VEHICLE CROSSING	125mm THICK N25 CONCRETE WITH SL72 MESH TOP 50 COVER. MESH TO HAVE 50 COVER TO ALL EDGES. ON 50mm THICK 20mm CLASS CRUSHED ROCK. REFER TO EDCM501-502 FOR DETAILS	
HEAVY DUTY VEHICLE CROSSING	200mm THICK N25 CONCRETE WITH SL82 MESH TOP 50 COVER. MESH TO HAVE 50 COVER TO ALL EDGES. REFER TO EDCM503 FOR DETAILS	



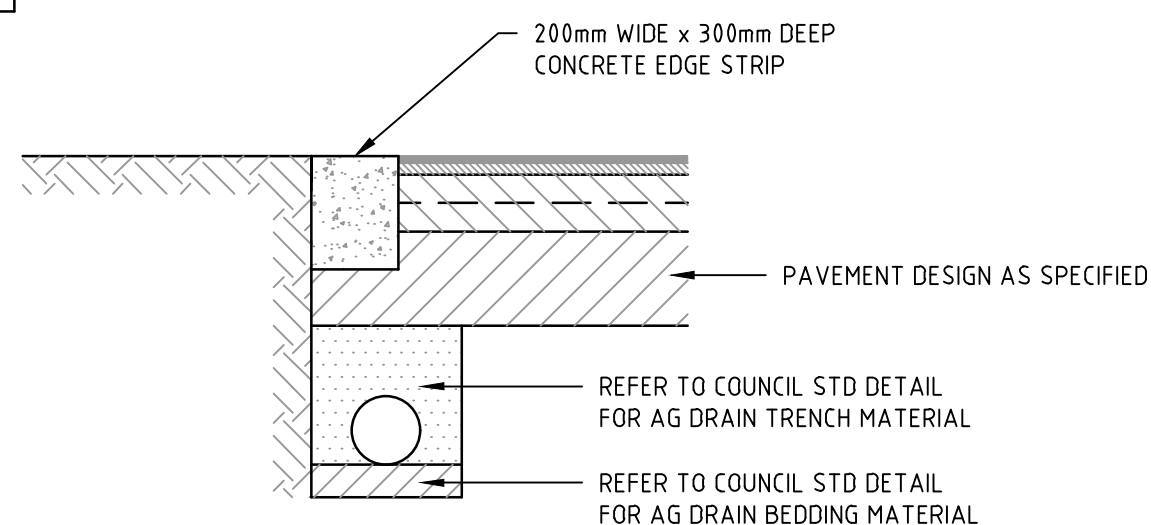
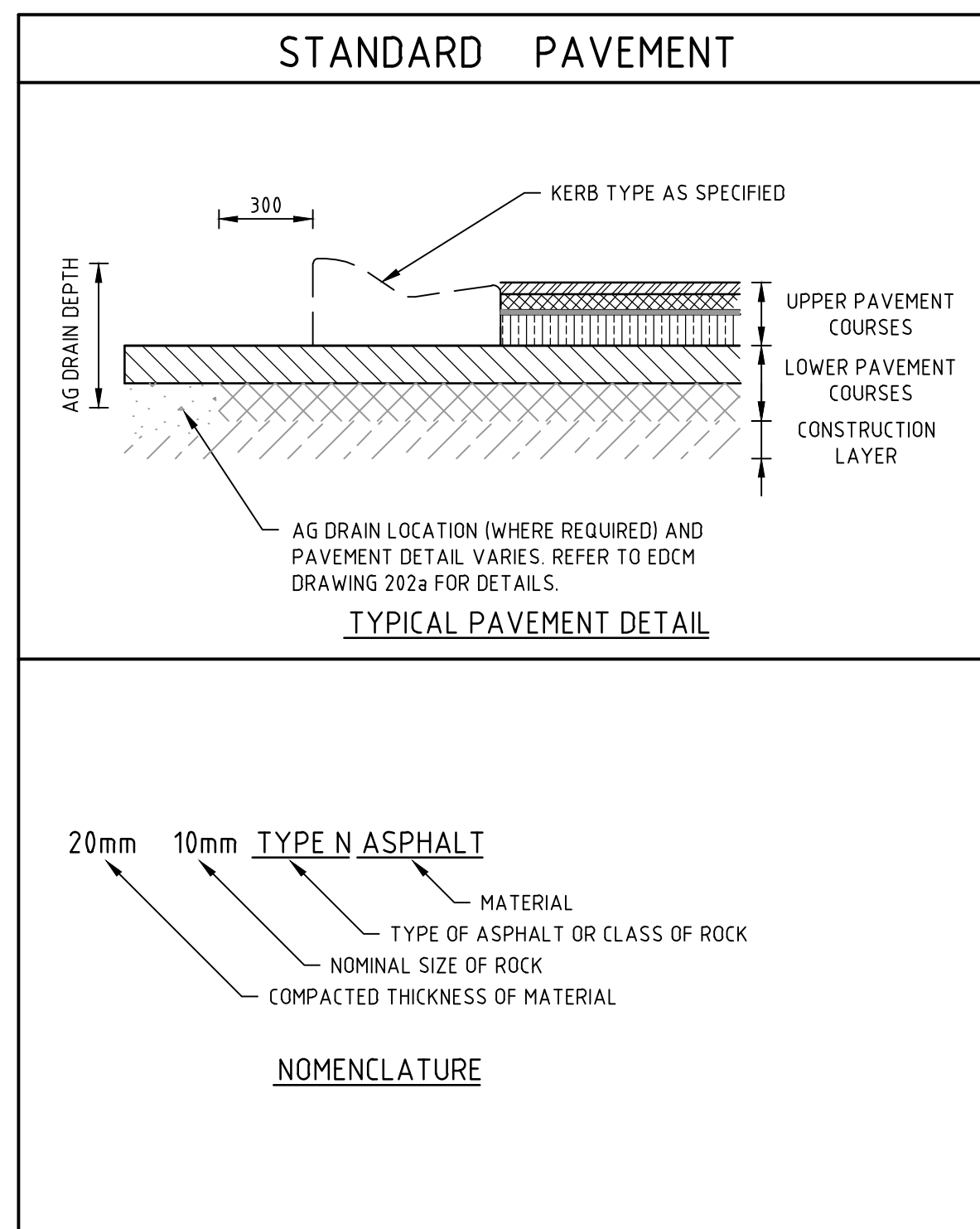
THE PAVEMENT DESIGNS SHOWN HERE HAVE BEEN DESIGNED/PROVIDED BY CARDNO VICTORIA PTY LTD WHO ARE RESPONSIBLE FOR THE GEOTECHNICAL WORK ON THIS PROJECT. SPIRE IS NOT RESPONSIBLE FOR THE WORK OF CARDNO VICTORIA PTY LTD.

THE DESIGN HAS BEEN EXTRACTED FROM THE V190556REPORT013 ON "GEOTECHNICAL INVESTIGATION FOR PROPOSED RESIDENTIAL SUBDIVISION - REDSTONE HILL, SUNBURY SOUTH, VIC" THIS DOCUMENT SHOULD BE REVIEWED TO ENSURE THAT THE DESIGN HAS BEEN ACCURATELY REPRODUCED.

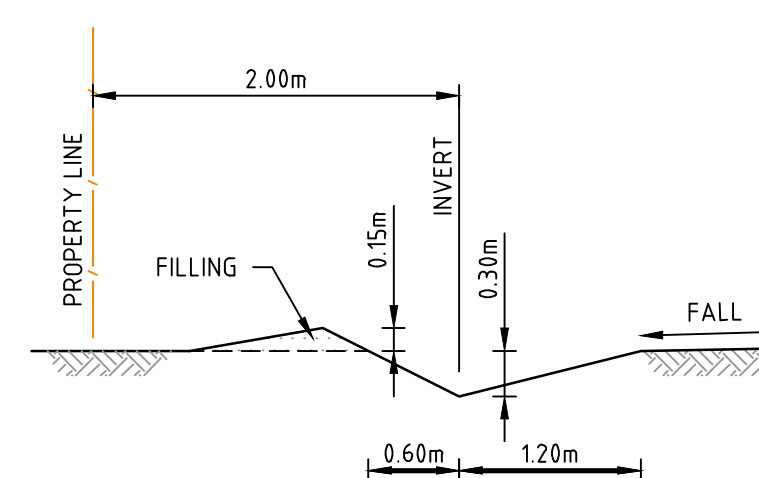
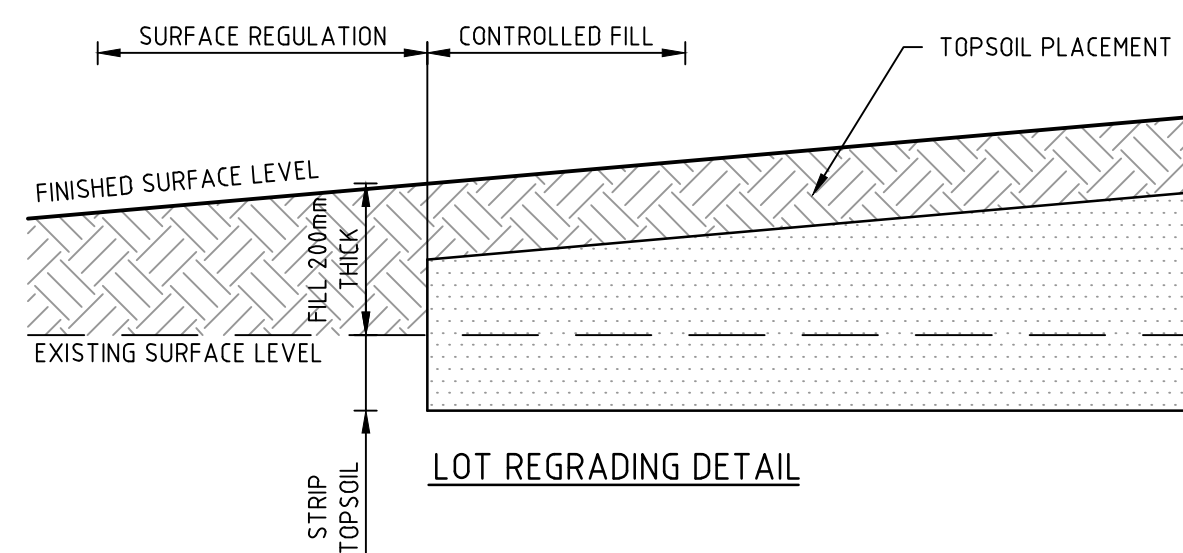
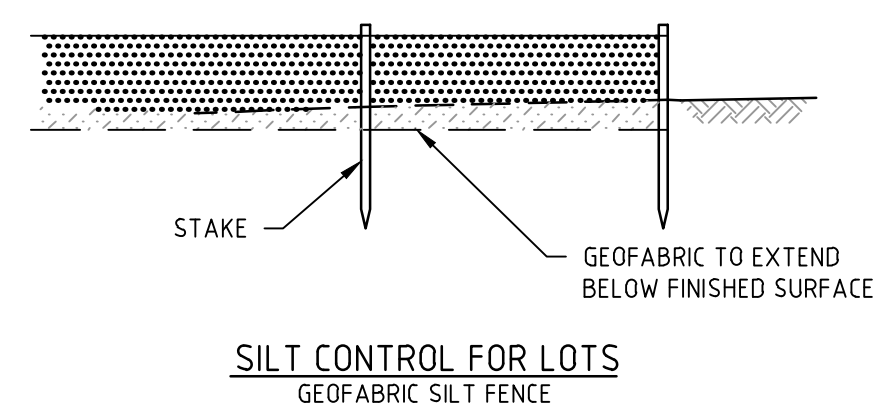
A COPY OF THE DOCUMENT WILL BE PROVIDED ON REQUEST.

REFER GEOTECH REPORT FOR SUBGRADE REQUIREMENTS. SUBGRADE TO BE PROOF ROLLED PRIOR TO PLACEMENT OF CAPPING LAYER.

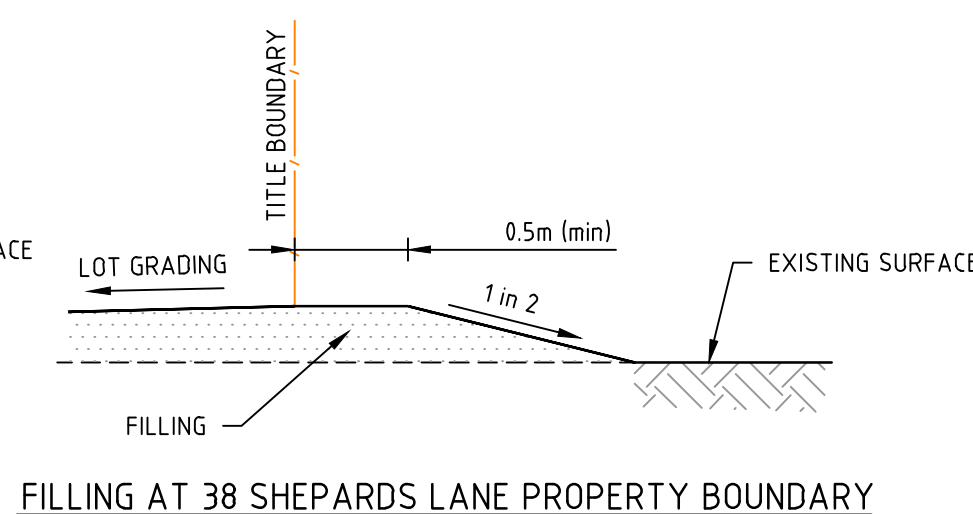
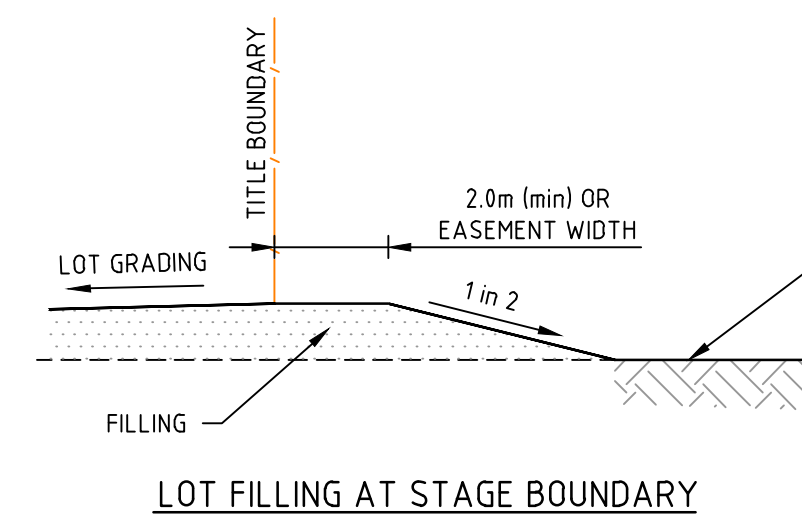
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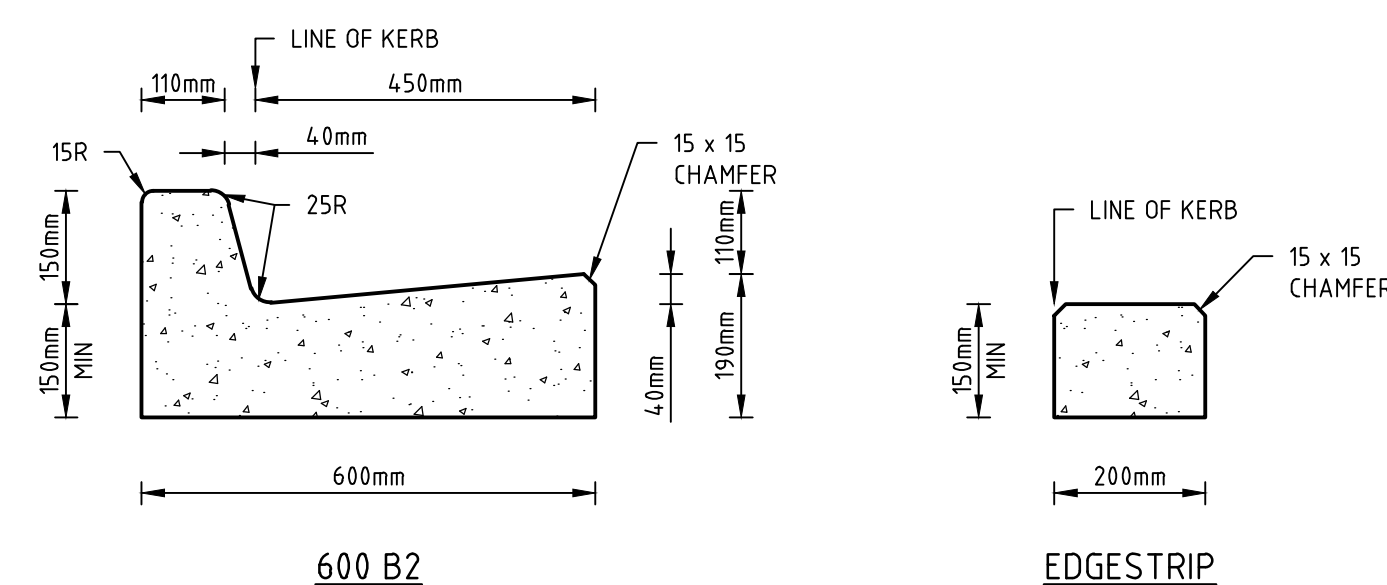
LIMIT OF WORKS CONCRETE EDGE STRIP & PAVEMENT INTERFACE DETAIL



TYPICAL CATCH DRAIN SECTION



NOT TO SCALE



NOTE: ALL KERB & CHANNEL AS PER EDCM STD DRAWING EDCM 301



1. ALL KERBS AND KERB & CHANNEL TO BE REINFORCED IN ACCORDANCE WITH MUNICIPALITY STD DRAWINGS.
2. ALL KERBS AND KERB & CHANNEL TO HAVE MINIMUM 150mm DEPTH OF CONCRETE BELOW TOP OF PAVEMENT LEVEL.
3. REFER TO EDCM 301 AND 302 FOR MORE DETAIL
4. THE 190mm FACE DIMENSION TO BE INCREASED TO 200mm WHERE A SAMI SEAL IS USED

0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
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Scale



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Designed
H.HOGGARD
Authorised
M.RANJANAN



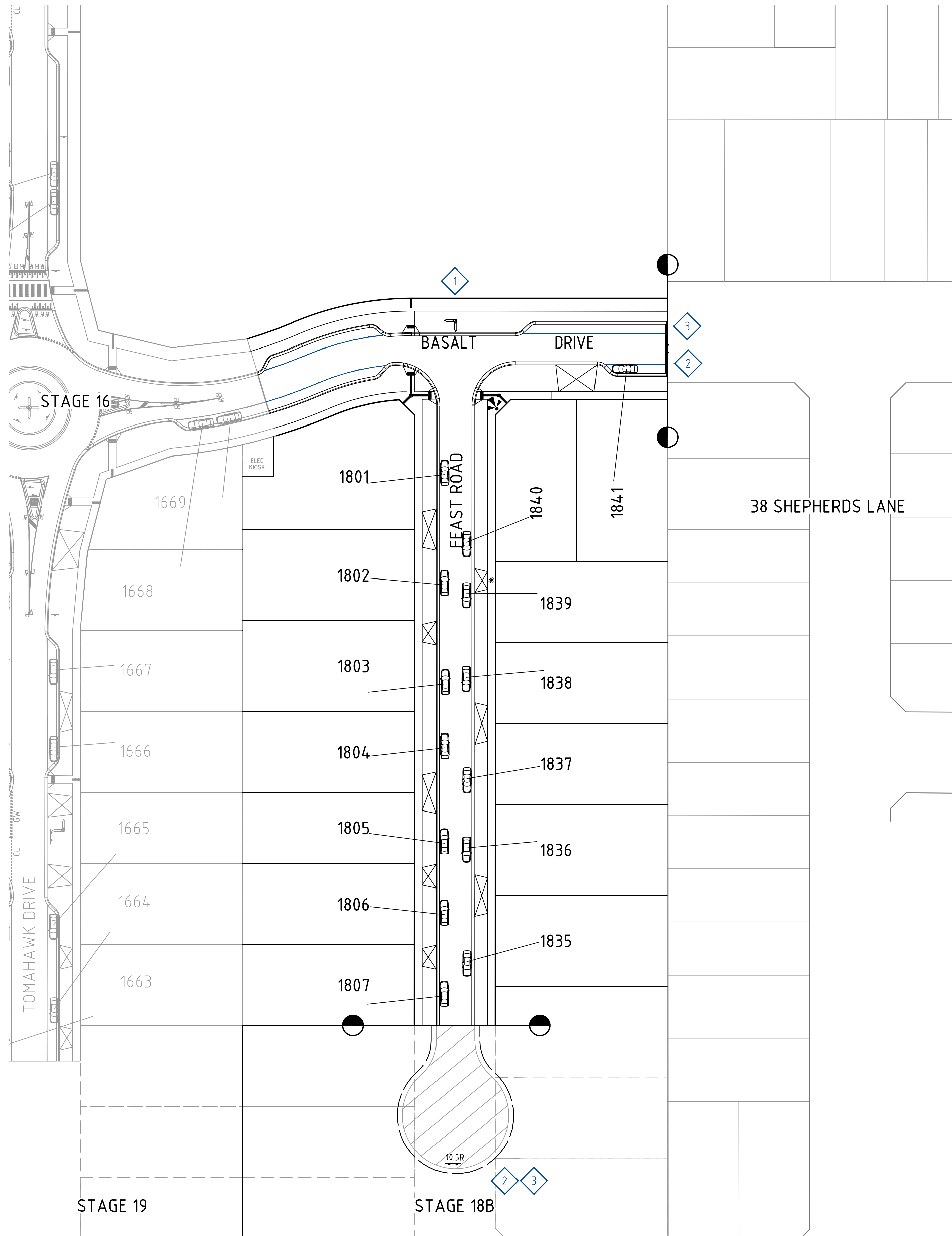
Checked
J.POYNER
Date
29/11/24

**REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
PAVEMENT AND TYPICAL DETAILS
VILLAWOOD PROPERTIES
HUME CITY COUNCIL**

CONSTRUCTION Drg No 310068-001CR700 Rev 0

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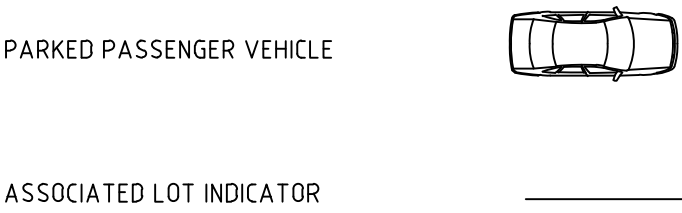
SUBDIVISION ACT 1988
This approved engineering plan
forms part of Planning Permit
P22160.
Date: 18/08/2025
Sheet 14 of 23
Signature for Responsible
Authority:
Nirpal Singh



WARNING
BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR
EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS
GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL
CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES
UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

SIGNAGE SCHEDULE

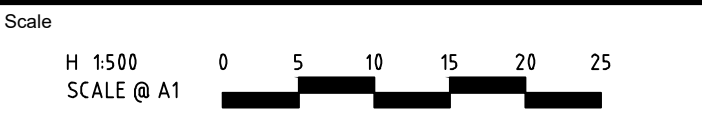
REFERENCE	SIGN
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2	
3	



ASSOCIATED LOT INDICATOR

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file location: G:\31\310068\001CR800.dwg, plot date: 24/03/2025 3:28 PM, Sheet: 14 of 16 Sheets

Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
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Designed
H.HOGGARD
Authorised
M.RANJANAN




Checked
J.POYNER
Date
29/11/24

REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
SIGNAGE AND LINEMARKING
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

CONSTRUCTION Drg No 310068-001CR800 Rev 0

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SUBDIVISION ACT 1988

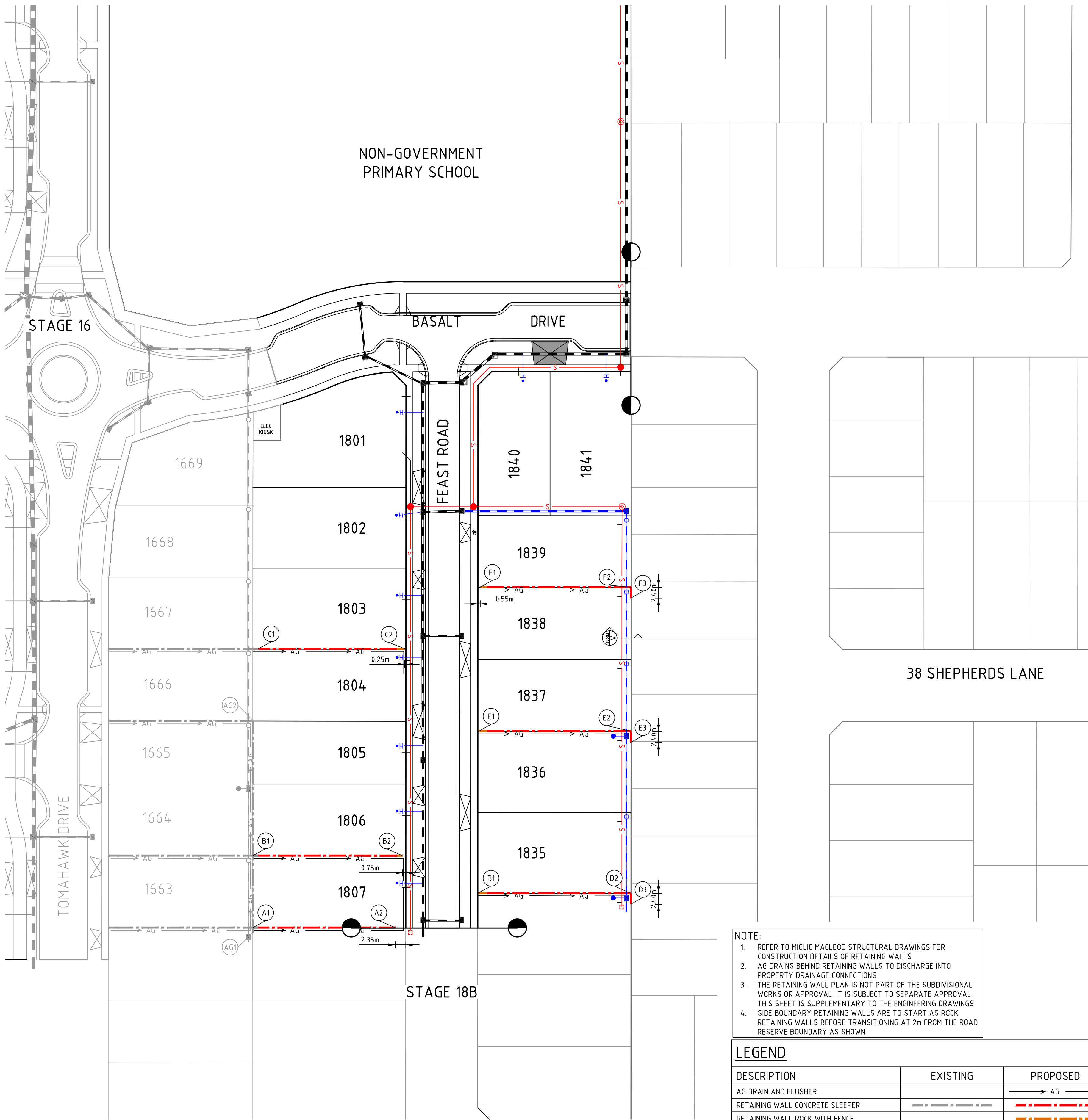
This approved engineering plan forms part of Planning Permit P22160.

Date: 18/06/2025

Sheet 15 of 23

Signature for Responsible Authority

Nirpal Singh



- NOTE:
- REFER TO MIGLIC MACLEOD STRUCTURAL DRAWINGS FOR CONSTRUCTION DETAILS OF RETAINING WALLS
 - AG DRAINS BEHIND RETAINING WALLS TO DISCHARGE INTO PROPERTY DRAINAGE CONNECTIONS
 - THE RETAINING WALL PLAN IS NOT PART OF THE SUBDIVISIONAL WORKS OR APPROVAL. IT IS SUBJECT TO SEPARATE APPROVAL. THIS SHEET IS SUPPLEMENTARY TO THE ENGINEERING DRAWINGS
 - SIDE BOUNDARY RETAINING WALLS ARE TO START AS ROCK RETAINING WALLS BEFORE TRANSITIONING AT 2m FROM THE ROAD RESERVE BOUNDARY AS SHOWN

LEGEND		
DESCRIPTION	EXISTING	PROPOSED
AG DRAIN AND FLUSHER		→ AG
RETAINING WALL CONCRETE SLEEPER	=====	-----
RETAINING WALL ROCK WITH FENCE		-----



WARNING
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Rev	Amendments	Approved	Date
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B	COUNCIL RESUBMISSION	M.R	24/02/25
A	ISSUED TO COUNCIL	M.R	29/11/24

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J.POYNER

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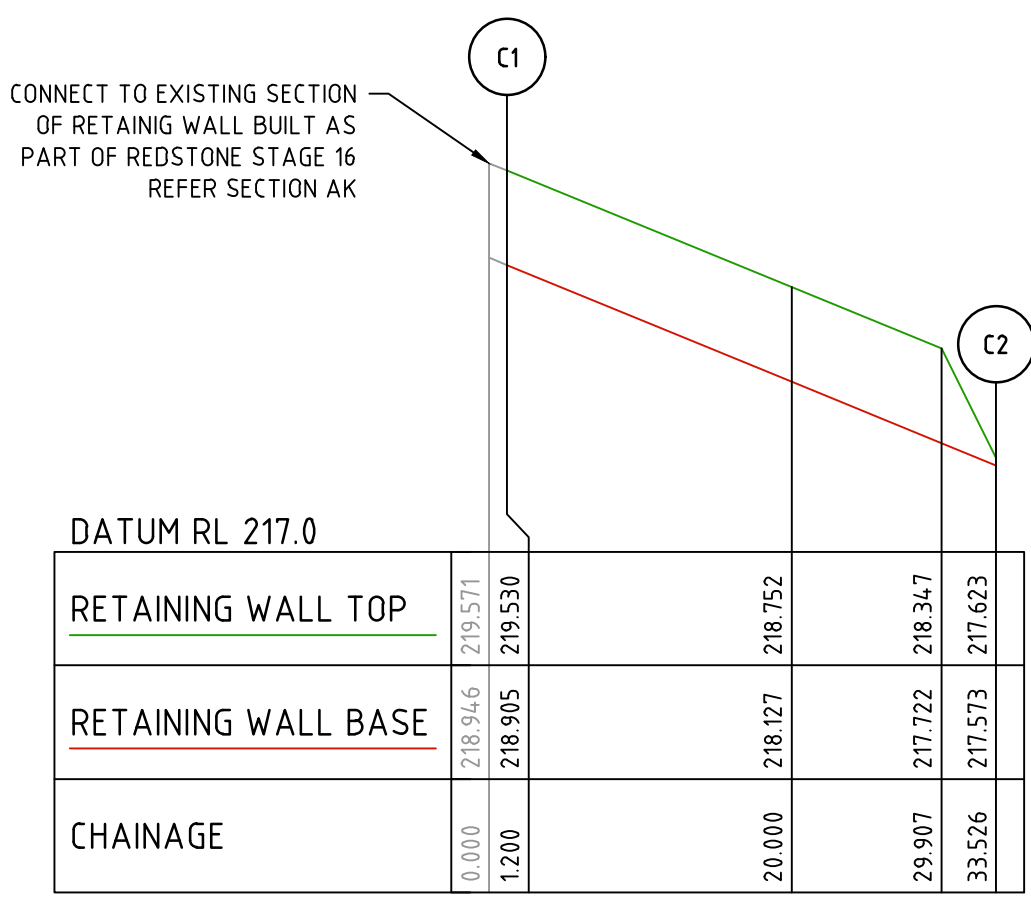
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STAGE 18A
ROAD AND DRAINAGE
RETAINING WALL PLAN
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

CONSTRUCTION

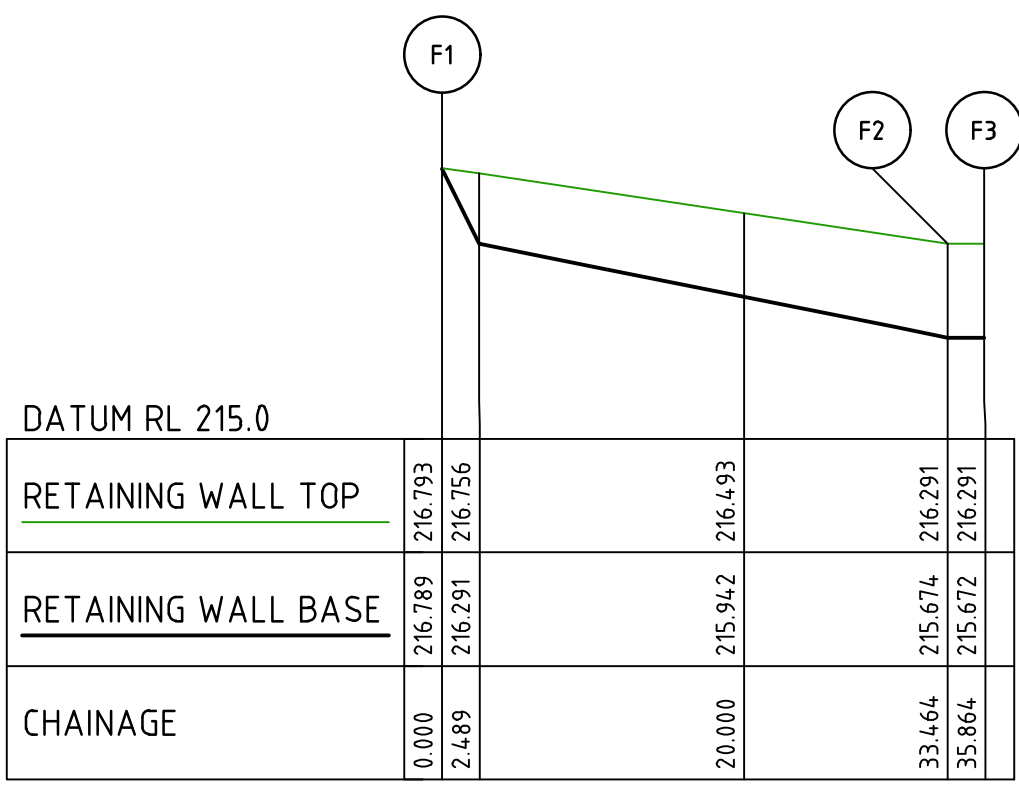
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Rev
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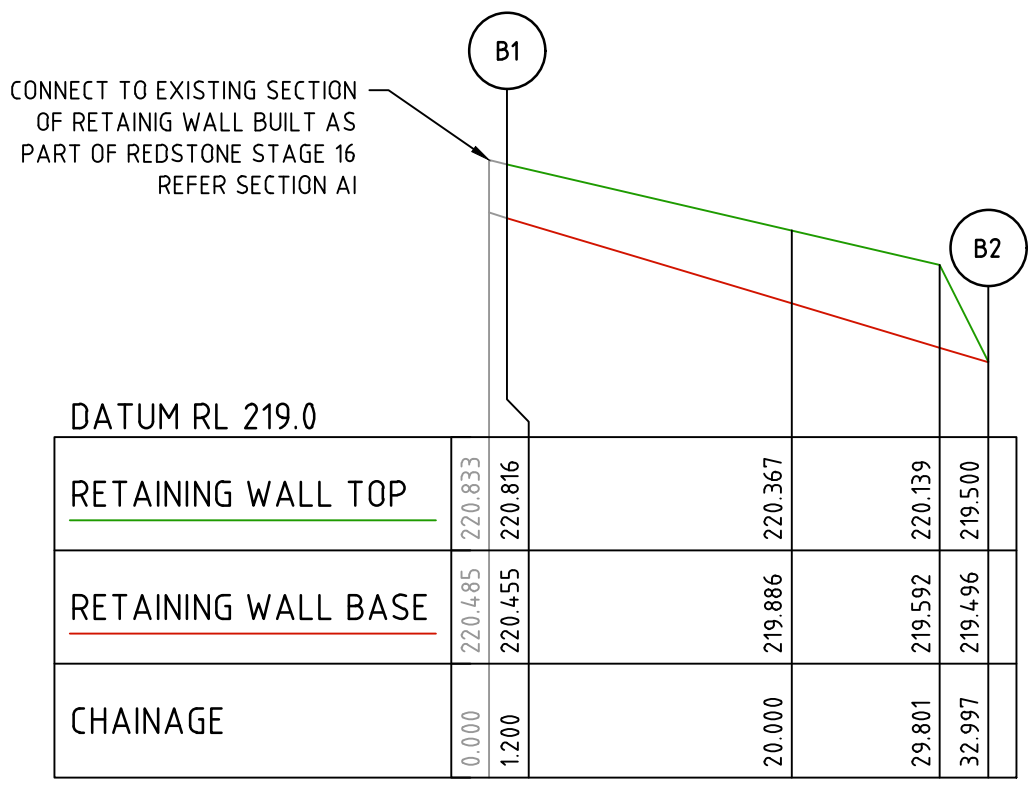
NOTE:
1. REFER TO MIGLIC MACLEOD STRUCTURAL DRAWINGS FOR CONSTRUCTION DETAILS OF RETAINING WALLS
2. DEPTH OF SERVICES MUST BE ABOVE ANGLE OF REPOSE OF RETAINING WALL FOOTING



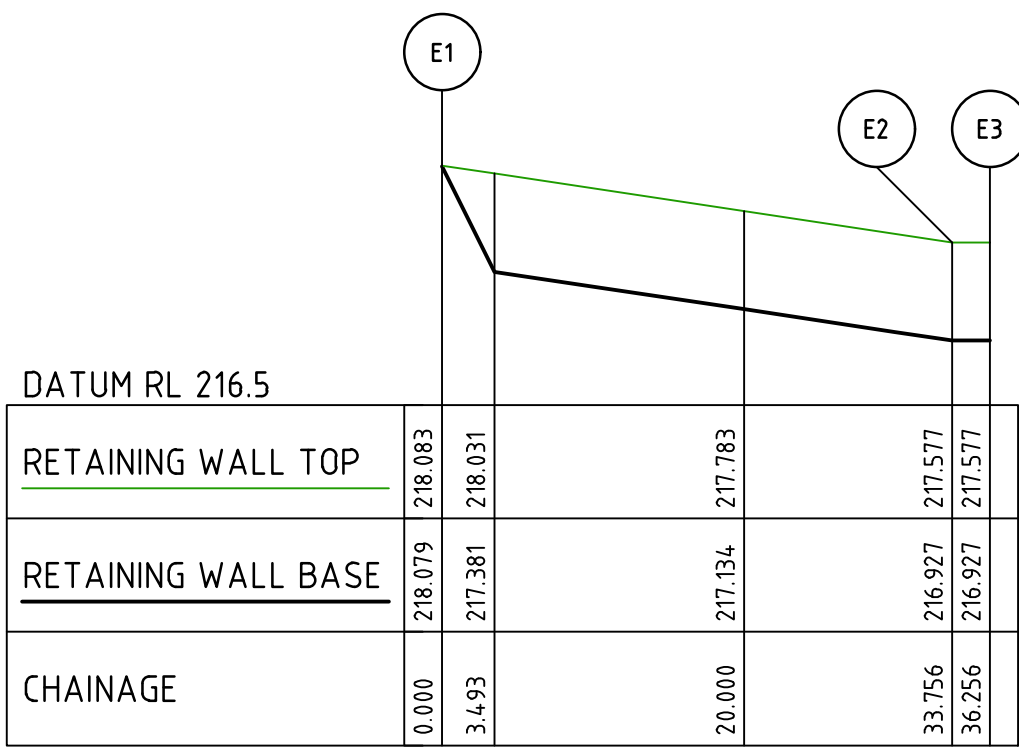
RETAINING WALL C



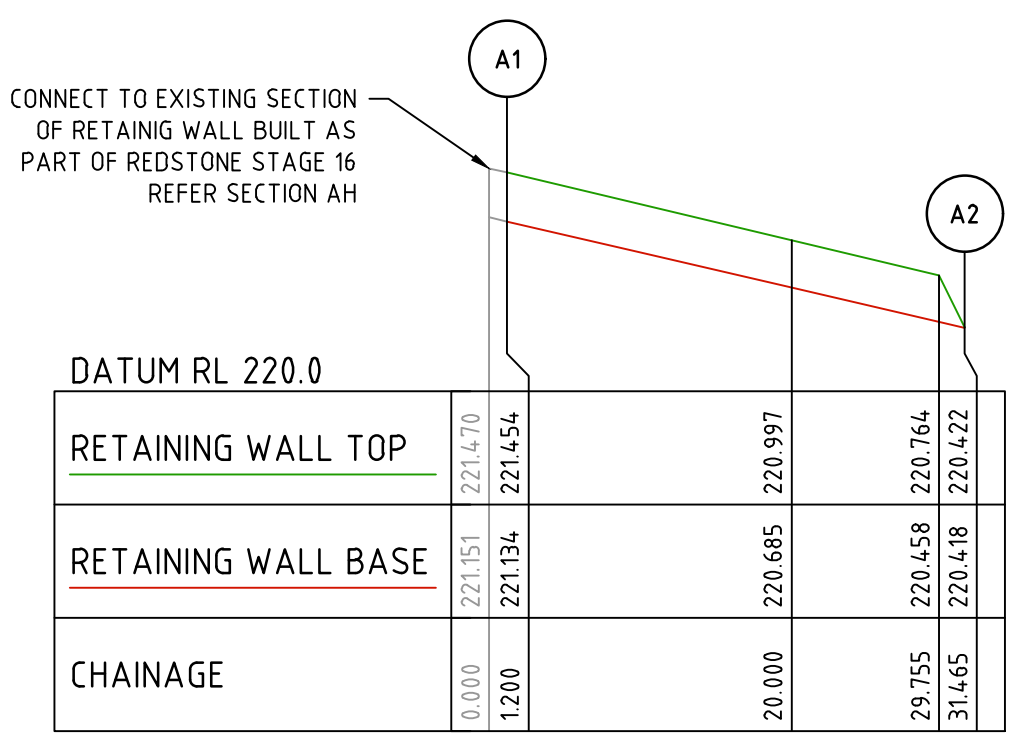
RETAINING WALL F



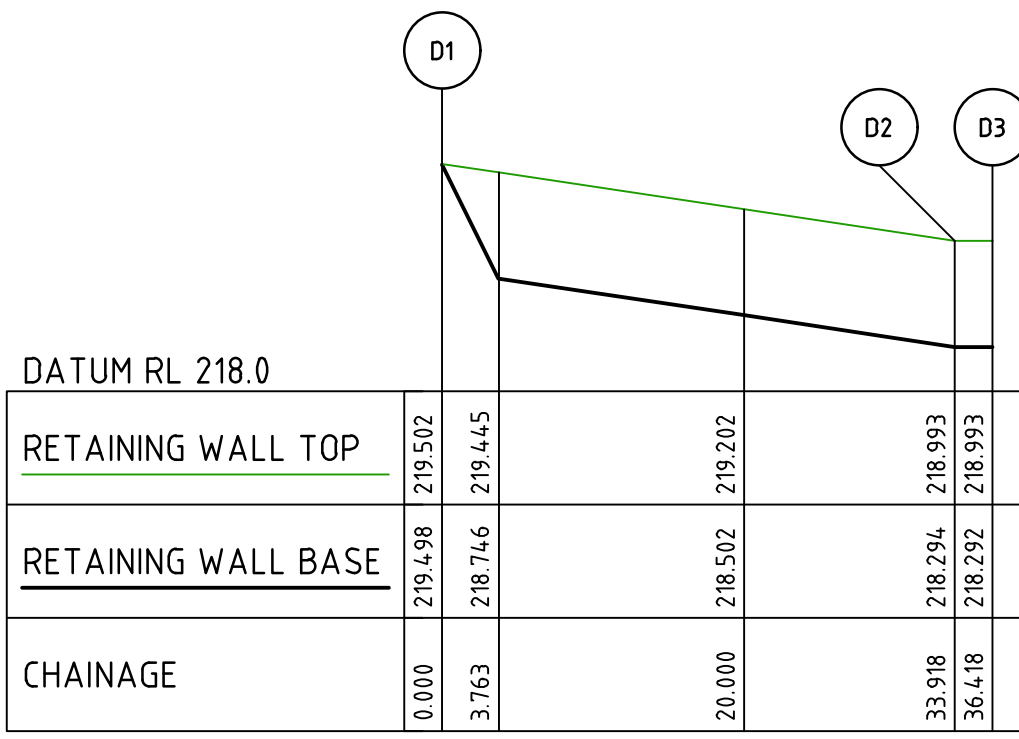
RETAINING WALL B



RETAINING WALL E

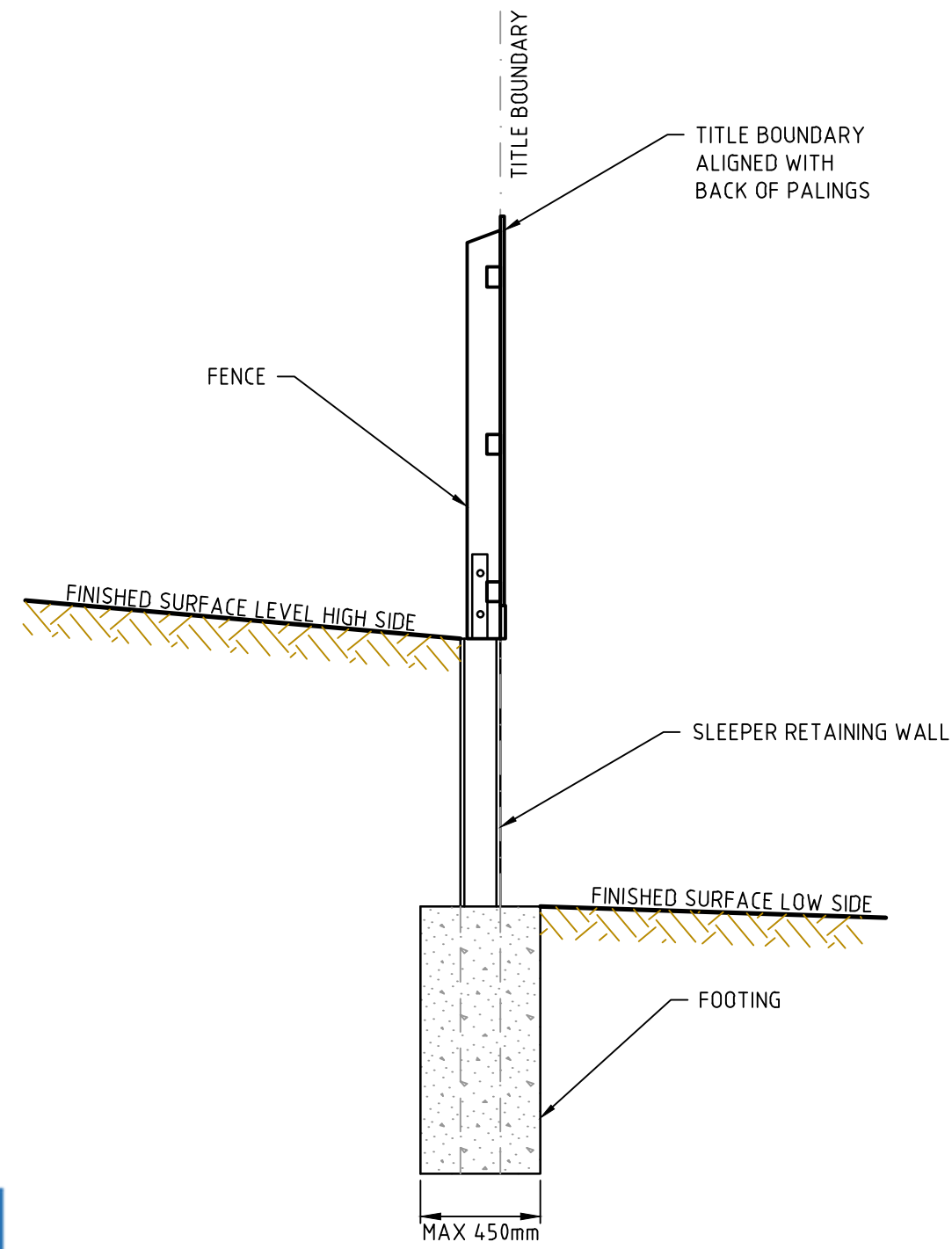


RETAINING WALL A



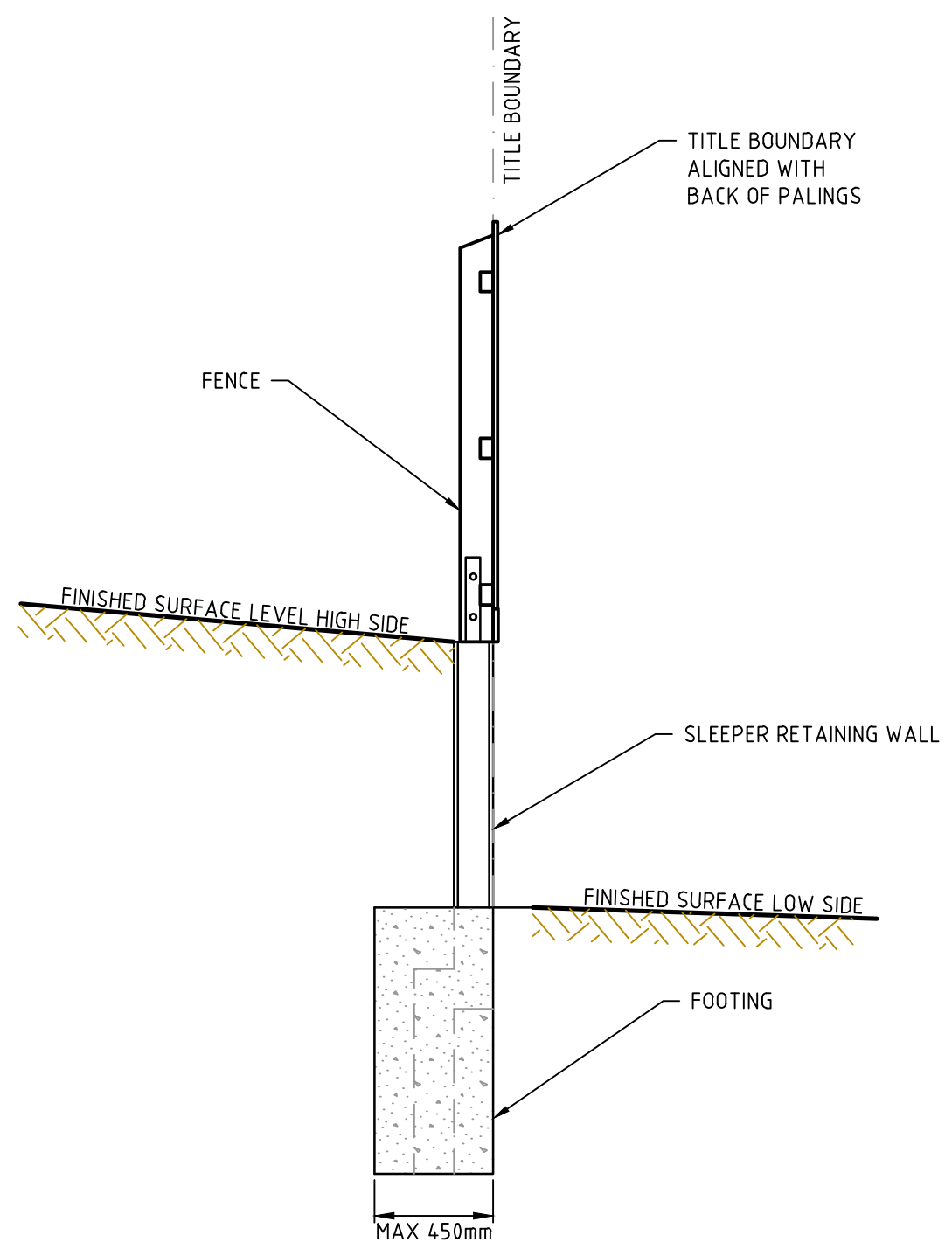
RETAINING WALL D

SUBDIVISION ACT 1988
This approved engineering plan forms part of Planning Permit P22160.
Date: 18/08/2025
Sheet 16 of 23
Signature of Responsible Authority:
Nirpal Singh



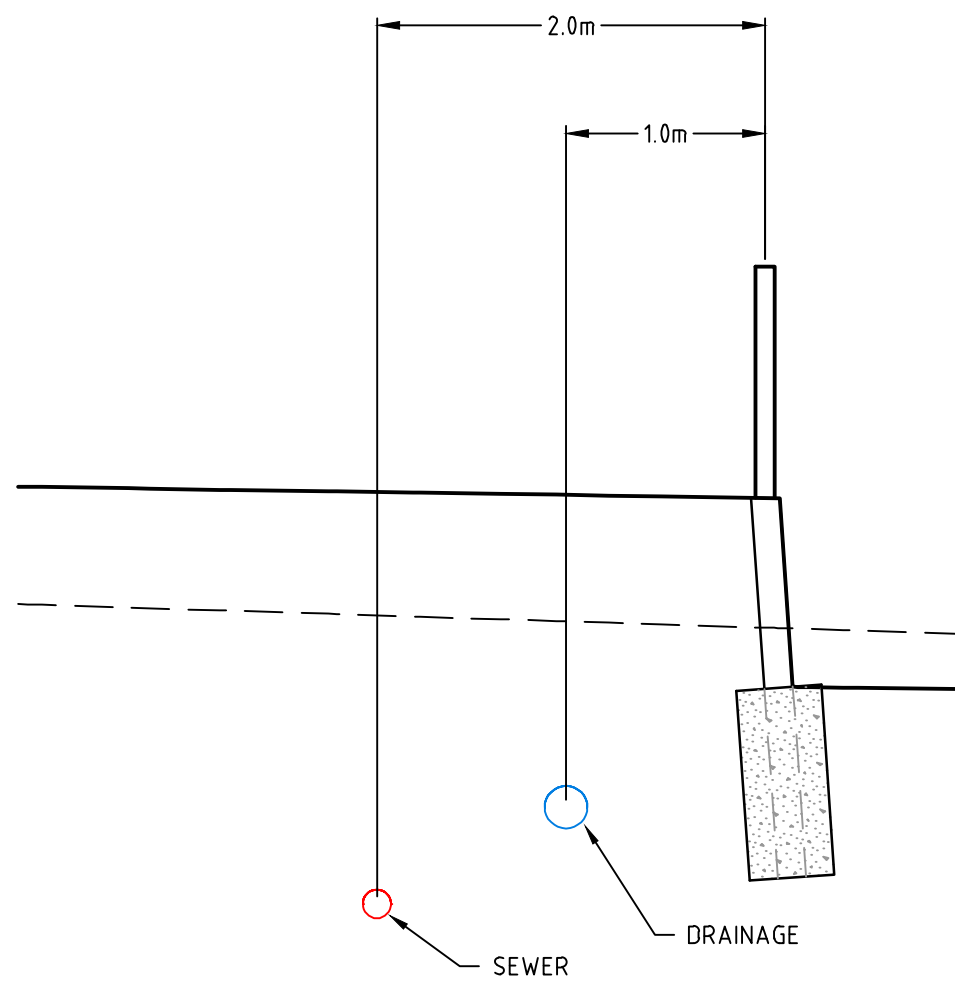
SLEEPER RETAINING WALL TYPICAL DETAIL

NOT TO SCALE

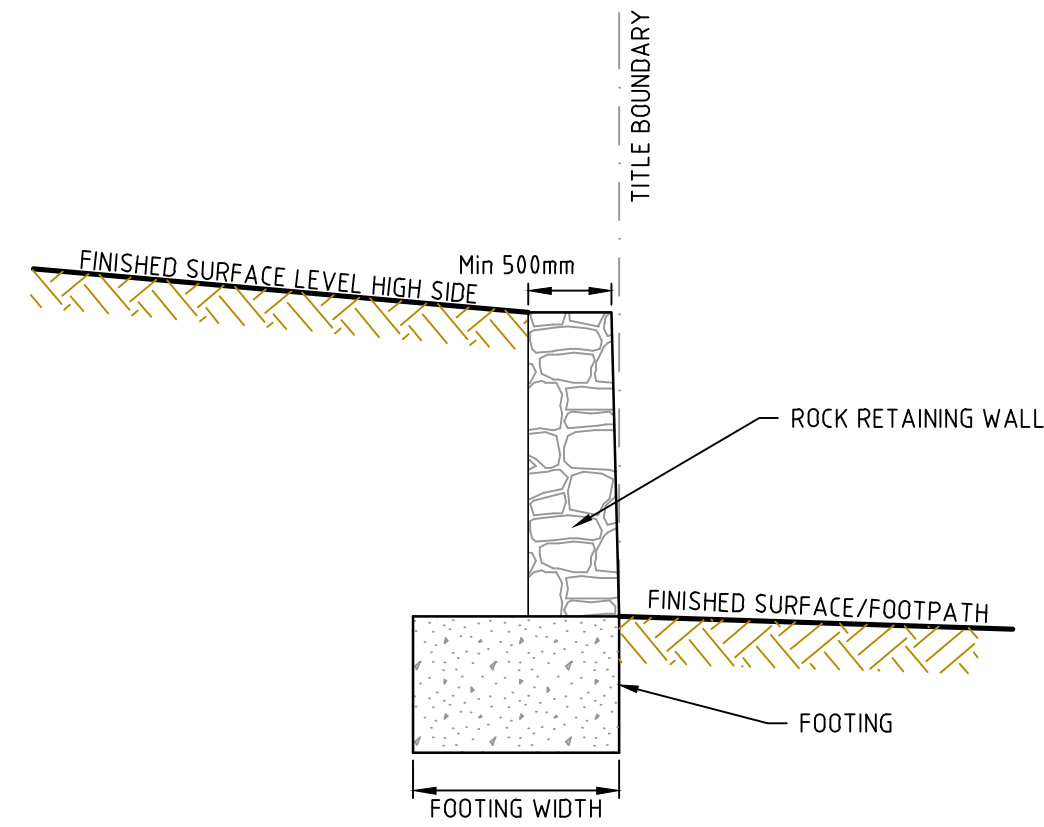


SLEEPER RETAINING WALL ALTERNATE DETAIL
(FOR USE ON BOUNDARY WITH 38 SHEPARDS LANE)

NOT TO SCALE



SECTION A-A
NOT TO SCALE



ROCK RETAINING WALL (WITH PROVISION FOR FENCING) TYPICAL DETAIL

NOT TO SCALE

file name: 310068-001CR901.dwg, layout name: CR901, plotted by: Julia Russell, file location: G:\310068\001CR901\310068-001CR901.dwg, plot date: 24/03/2025 3:29 PM, Sheet 16 of 16 Sheets

Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	M.R	24/03/25
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A	ISSUED TO COUNCIL	M.R	29/11/24

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Authorised
M.RANJANAN

Checked
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Date
29/11/24

**REDSTONE ESTATE
STAGE 18A
ROAD AND DRAINAGE
RETAINING WALL SECTIONS AND DETAILS**
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

CONSTRUCTION

Dwg No
310068-001CR901

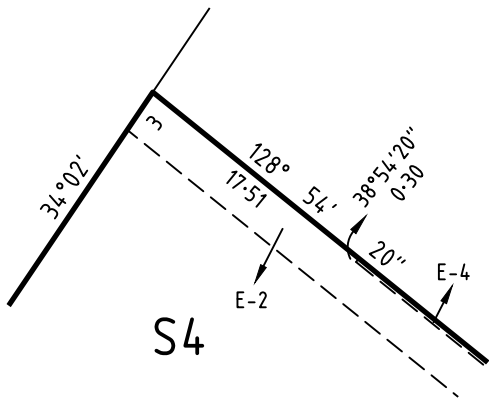
Rev
0

				PS 912552Y/S2
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of
E-1	POWERLINE	10	SECTION 103B S.E.C. ACT 1958 (LP 145244B)	S.E.C.V.
E-2	DRAINAGE	SEE DIAG.	PS 912552Y	HUME CITY COUNCIL
E-2	SEWERAGE	SEE DIAG.	PS 912552Y	GREATER WESTERN WATER CORPORATION
E-3	SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES)	0.30	PS 912552Y	THE RELEVANT ABUTTING LOT
E-4	DRAINAGE	SEE DIAG.	PS 912552Y	HUME CITY COUNCIL
E-4	SEWERAGE	SEE DIAG.	PS 912552Y	GREATER WESTERN WATER CORPORATION
E-4	SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES)	0.30	PS 912552Y	THE RELEVANT ABUTTING LOT
E-5	DRAINAGE	SEE DIAG.	THIS PLAN	HUME CITY COUNCIL
E-5	SEWERAGE	SEE DIAG.	THIS PLAN	GREATER WESTERN WATER CORPORATION
E-6	SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES)	0.30	THIS PLAN	THE RELEVANT ABUTTING LOT
E-7	DRAINAGE	SEE DIAG.	THIS PLAN	HUME CITY COUNCIL
E-7	SEWERAGE	SEE DIAG.	THIS PLAN	GREATER WESTERN WATER CORPORATION
E-7	SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES)	0.30	THIS PLAN	THE RELEVANT ABUTTING LOT
				<div><div><div>SUBDIVISION ACT 1988 This approved engineering plan forms part of Planning Permit P22160. Date: 18/06/2025 Sheet 18 of 23 Signature for Responsible Authority: Nirpal Singh</div></div></div>
SURVEYOR'S FILE REF: 310068SV00				ORIGINAL SHEET SIZE: A3
 <div>414 La Trobe Street PO Box 16084 Melbourne Vic 8007 T 61 3 9993 7888 spiire.com.au</div>		Digitally signed by: Mark Oswald Stansfield, Licensed Surveyor, Surveyor's Plan Version (1), 26/11/2024, SPEAR Ref: S240576S		SHEET 2

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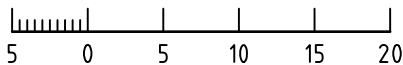
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MGA 2020
ZONE 55



ENLARGEMENT

1:500



See
Enlargement


SEE SHEETS 4 & 5
FOR DETAILS

10
SEC 27

S4
103.0ha

JACKSONS

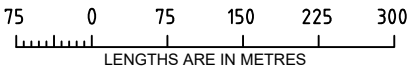
CREEK



SUBDIVISION ACT 1988
This approved engineering plan
forms part of Planning Permit
P22160.
Date: 18/06/2025
Sheet 19 of 23
Signature for Responsible
Authority:
Nirpal Singh

SURVEYOR'S FILE REF: 310068SV00

SCALE
1: 7500



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SHEET 3

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MGA 2020

ZONE 55



S4

FIRESTICK
DRIVE

DRIVE

BASALT
DRIVE

108°59'
A&C9.50
R86

BASALT
DRIVE

Diagram illustrating a road intersection with a 50-50% split and a 16% grade. The road is labeled CEREMONY ROAD.

TOMAHAWK

1802

1803

1804

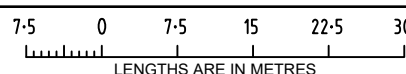
1805

1806

1807

SEE SHEET 5

SCALE
1: 750




SHEET 4

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SUBDIVISION ACT 1988

This approved engineering plan forms part of Planning Permit P22160.

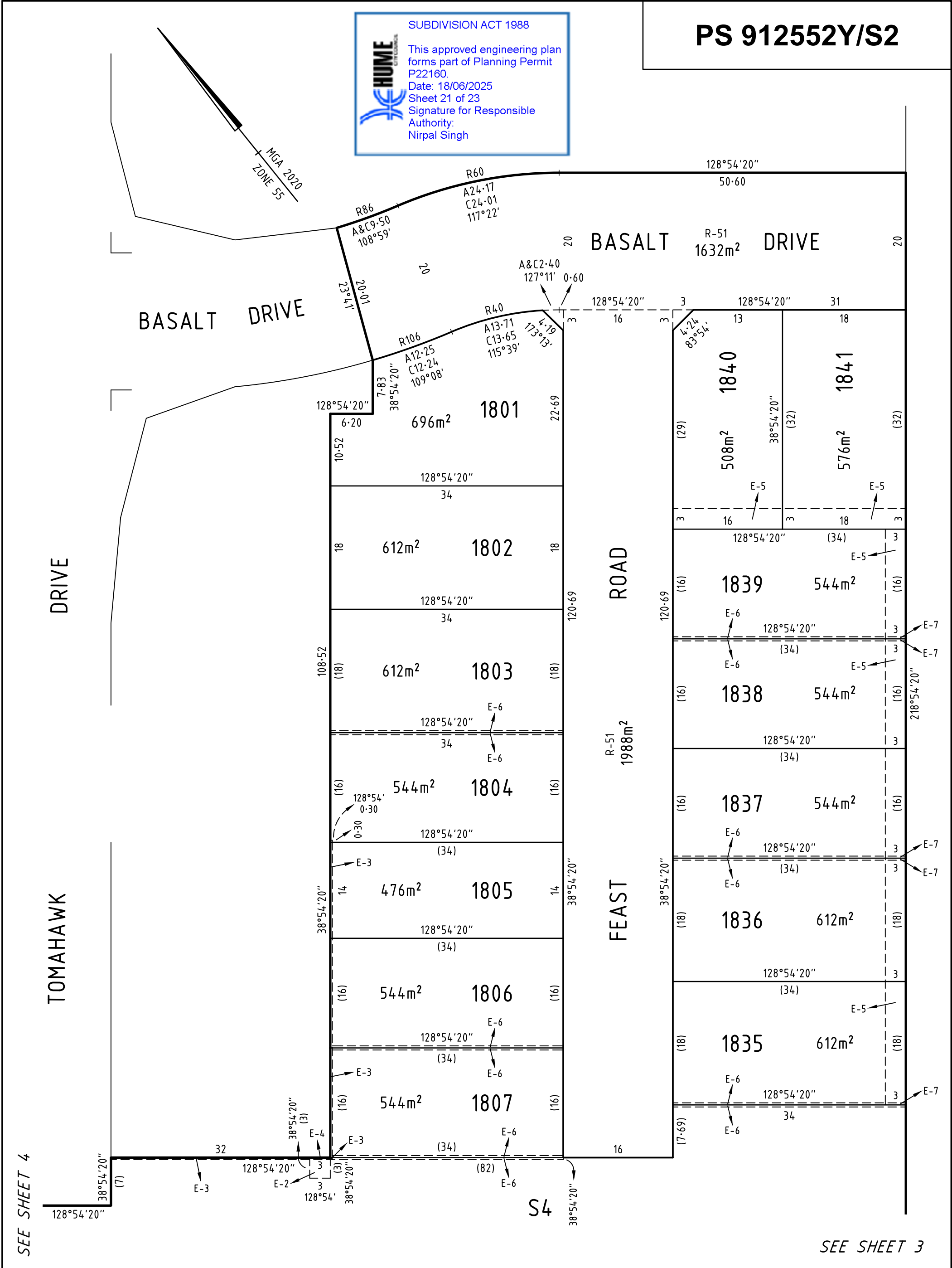
Date: 18/06/2025


Sheet 21 of 23

Signature for Responsible Authority:

Nirpal Singh

PS 912552Y/S2



SURVEYOR'S FILE REF: 310068SV00	SCALE 1: 500 <div><div>50101520</div><div>LENGTHS ARE IN METRES</div></div>	ORIGINAL SHEET SIZE: A3	SHEET 5
<div><div></div><div>414 La Trobe Street PO Box 16084 Melbourne Vic 8007 T 61 3 9993 7888 spiire.com.au</div></div>	Digitally signed by: Mark Oswald Stansfield, Licensed Surveyor, Surveyor's Plan Version (1), 26/11/2024, SPEAR Ref: S240576S		

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The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

CREATION OF RESTRICTION No. 1

The following restriction is to be created upon registration of this plan.

Land to Benefit: Lots 1801 to 1807 and 1835 to 1841 (all inclusive)
Land to be Burdened: Lots 1801 to 1807 and 1835 to 1841 (all inclusive)

Description of Restriction:

The registered proprietor or proprietors for the time being of a lot on this plan of subdivision his/her heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof;

- (i) Build or cause to be built or allow to be built or allow to remain a dwelling or any other improvements or carry out cause to be carried out or allow to be carried out any building or construction works on the lot for the whole of the dwelling on the lot unless all building plans have been endorsed by the Design Assessment Panel as a prerequisite to a building permit for a lot specified as requiring such endorsement in the Building Envelope Plan.
- (ii) Construct a dwelling on any lot with a lot area greater than 350 square metres unless the building incorporates dual plumbing for connection to a rainwater tank with a capacity greater than 2000 litres for use in toilet flushing and garden watering.
- (iii) Unless otherwise approved by the Responsible Authority build or erect any dwelling or structure other than a dwelling or structure which is built in accordance with MCP

The requirement for endorsement of building plans by the Design Assessment Panel to cease to have effect on a lot one year after an occupancy permit under the Building Act 1993 is issued for the whole of the dwelling on that lot.

Expiry Date:
The restriction shall expire on 31st October 2034.

CREATION OF RESTRICTION No. 2

The following restriction is to be created upon registration of this plan.

Land to Benefit: Lots 1801 to 1807 and 1835 to 1841 (all inclusive)
Land to be Burdened: Lots 1801 to 1807 and 1835 to 1841 (all inclusive)

Description of Restriction:

The registered proprietor or proprietors for the time being of a lot on this plan of subdivision his/her heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof;

- (i) Construct or cause to be constructed any building not in conformity with the approved Building Envelope Plan unless with the written consent of the Design Assessment Panel or Responsible Authority;
- (ii) Amend a Building Envelope Plan unless the Responsible Authority has considered and approved the amendment to the Building Envelope Plan.

A Building Envelope Plan to cease to have effect on the lot ten years after an occupancy permit under the Building Act 1993 is issued for the whole of the dwelling on the lot.

Expiry Date:
The restriction shall expire on 31st October 2034.



OWNERS CORPORATION SCHEDULE

PS912552Y/S2

Owners Corporation No. 1	Plan No. PS912552Y
--------------------------	--------------------

Plan No. PS912552Y

Land affected by Owners Corporation:	All of the Lots in the table below and Common Property No 1. All existing Lots in Owners Corporation No 1 not affected by this plan.
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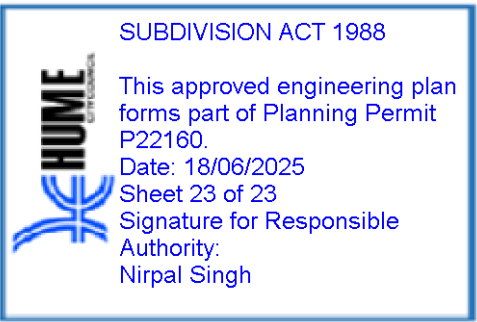
All of the Lots in the table below and Common Property No 1. All existing Lots in Owners Corporation No 1 not affected by this plan.

Common Property No.: 1

Limitations of Owners Corporation:	Unlimited
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Unlimited

Notations



Totals		
	Entitlement	Liability
This schedule	2040	141
Balance of existing OC	890	691
Overall Total	2930	832

Lot Entitlement and Lot Liability

	Lot	Entitlement	Liability		Lot	Entitlement	Liability		Lot	Entitlement	Liability
	1801	10	10								
	1802	10	10								
	1803	10	10								
	1804	10	10								
	1805	10	10								
	1806	10	10								
	1807	10	10								
	1835	10	10								
	1836	10	10								
	1837	10	10								
	1838	10	10								
	1839	10	10								
	1840	10	10								
	1841	10	10								
	S4	1900	1								



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SHEET 1
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