


<b>PLAN OF SUBDIVISION</b>		EDITION 1	<b>PS906055Y</b>	
<b>LOCATION OF LAND</b> PARISH: BOLLINDA, BULLA BULLA AND BUTTLEJORRK WJT CLARKES CROWN SPECIAL SURVEY(PART) PARISH: BULLA BULLA SECTION: 21 CROWN ALLOTMENT: 1 (PART) PARISH: BOLLINDA SECTION: 1 CROWN ALLOTMENT: 3 & 4 (PARTS) TITLE REFERENCE: C/T VOL 12482 FOL 451 LAST PLAN REFERENCE: LOT E on PS901652G POSTAL ADDRESS: 250 RACECOURSE ROAD (at time of subdivision) SUNBURY 3429 MGA2020 CO-ORDINATES: E: 300 250           ZONE: 55 (of approx centre of land in plan)    N: 5 840 880				
<b>VESTING OF ROADS AND/OR RESERVES</b>		<b>NOTATIONS</b>		
IDENTIFIER	COUNCIL / BODY / PERSON	This is a SPEAR Plan.  Land being subdivided is enclosed within thick continuous lines  Lots 1 to 600 and A to E (all inclusive) have been omitted from this plan.  Underlined dimensions shown thus <u>204.91</u> are not the result of this survey.  <u>Other purpose of this plan</u>  To remove part of easement E-5 created on PS842444Q, and easement E-20 created on PS842475D that now lie within roads on this plan.  <u>Grounds for Removal of Easement</u> By agreement pursuant to Section 6(1)(k)(iv) of the Subdivision Act 1988.		
ROAD R-1	HUME CITY COUNCIL			
<b>NOTATIONS</b>				
DEPTH LIMITATION : DOES NOT APPLY				
SURVEY : This plan is based on survey  STAGING : This is not a staged subdivision  Planning Permit No. P22159  This survey has been connected to permanent marks Nos. Buttlejorrk PM 56 & 92  In Proclaimed Survey Area No. 46				
<b>EASEMENT INFORMATION</b>				
LEGEND: A - Appurtenant Easement    E - Encumbering Easement    R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of
		SEE SHEET 2 FOR EASEMENT DETAILS		
SHERWOOD GRANGE ESTATE - STAGE 6 (27 LOTS)				AREA OF STAGE - 3.353ha
 414 La Trobe Street PO Box 16084 Melbourne Vic 8007 T 61 3 9993 7888 spiire.com.au		SURVEYORS FILE REF: 305952SV00		ORIGINAL SHEET SIZE: A3
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## EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of
A-1	SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES)	0.30	PS842475D	LAND IN THIS PLAN
E-1	WATER SUPPLY	SEE PLAN	TRANSFER No. 675047	C/T VOL 3475 FOL 981
E-2	SEWERAGE	SEE PLAN	PS730378B	WESTERN WATER
E-3	WATER SUPPLY	SEE PLAN	TRANSFER No. 675047	C/T VOL 3475 FOL 981
E-3	SEWERAGE	SEE PLAN	PS730378B	WESTERN WATER
E-4	CARRIAGEWAY	4	PS730378B	LOT 2 ON PS730378B
E-5	SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES)	0.30	PS842444Q	THE RELEVANT ABUTTING LOT ON PS842444Q
E-6	SEWERAGE	SEE PLAN	PS832946V	GREATER WESTERN WATER CORPORATION
E-6	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	SEE PLAN	PS832946V	GREATER WESTERN WATER CORPORATION
E-6	POWERLINE	SEE PLAN	PS832946V - SECTION 88 OF THE ELECTRICITY INDUSTRY ACT 2000	JEMENA ELECTRICITY NETWORKS (VIC) LTD
E-7	DRAINAGE	SEE PLAN	PS842444Q	HUME CITY COUNCIL
E-7	SEWERAGE	SEE PLAN	PS842444Q	GREATER WESTERN WATER CORPORATION
E-8	SEWERAGE	SEE PLAN	PS842444Q	GREATER WESTERN WATER CORPORATION
E-9	WETLAND, FLOODWAY, DRAINAGE AND STORMWATER QUALITY MANAGEMENT AS SPECIFIED AND SET-OUT IN MEMORANDUM OF COMMON PROVISIONS NO. AA2741	SEE PLAN	PS832946V	MELBOURNE WATER CORPORATION
E-10	SEWERAGE	SEE PLAN	PS832946V	GREATER WESTERN WATER CORPORATION
E-11	WETLAND, FLOODWAY, DRAINAGE AND STORMWATER QUALITY MANAGEMENT AS SPECIFIED AND SET-OUT IN MEMORANDUM OF COMMON PROVISIONS NO. AA2741	SEE PLAN	PS832946V	MELBOURNE WATER CORPORATION
E-11	DRAINAGE	SEE PLAN	PS832946V	HUME CITY COUNCIL
E-12	DRAINAGE	0.30	PS842444Q	HUME CITY COUNCIL
E-12	SEWERAGE	0.30	PS842444Q	GREATER WESTERN WATER CORPORATION
E-12	SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES)	0.30	PS842475D	THE RELEVANT ABUTTING LOT ON PS842475D
E-13	SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES)	0.30	THIS PLAN	THE RELEVANT ABUTTING LOT ON THIS PLAN
E-14	DRAINAGE	0.30	PS842444Q	HUME CITY COUNCIL
E-14	SEWERAGE	0.30	PS842444Q	GREATER WESTERN WATER CORPORATION
E-14	SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES)	0.30	THIS PLAN	THE RELEVANT ABUTTING LOT ON THIS PLAN
E-15	DRAINAGE	SEE PLAN	THIS PLAN	HUME CITY COUNCIL
E-15	SEWERAGE	SEE PLAN	THIS PLAN	GREATER WESTERN WATER CORPORATION
E-16	SUPPORT (STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES)	0.30	THIS PLAN	THE RELEVANT ABUTTING LOT ON THIS PLAN
E-16	DRAINAGE	0.30	THIS PLAN	HUME CITY COUNCIL
E-16	SEWERAGE	0.30	THIS PLAN	GREATER WESTERN WATER CORPORATION

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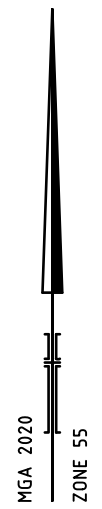
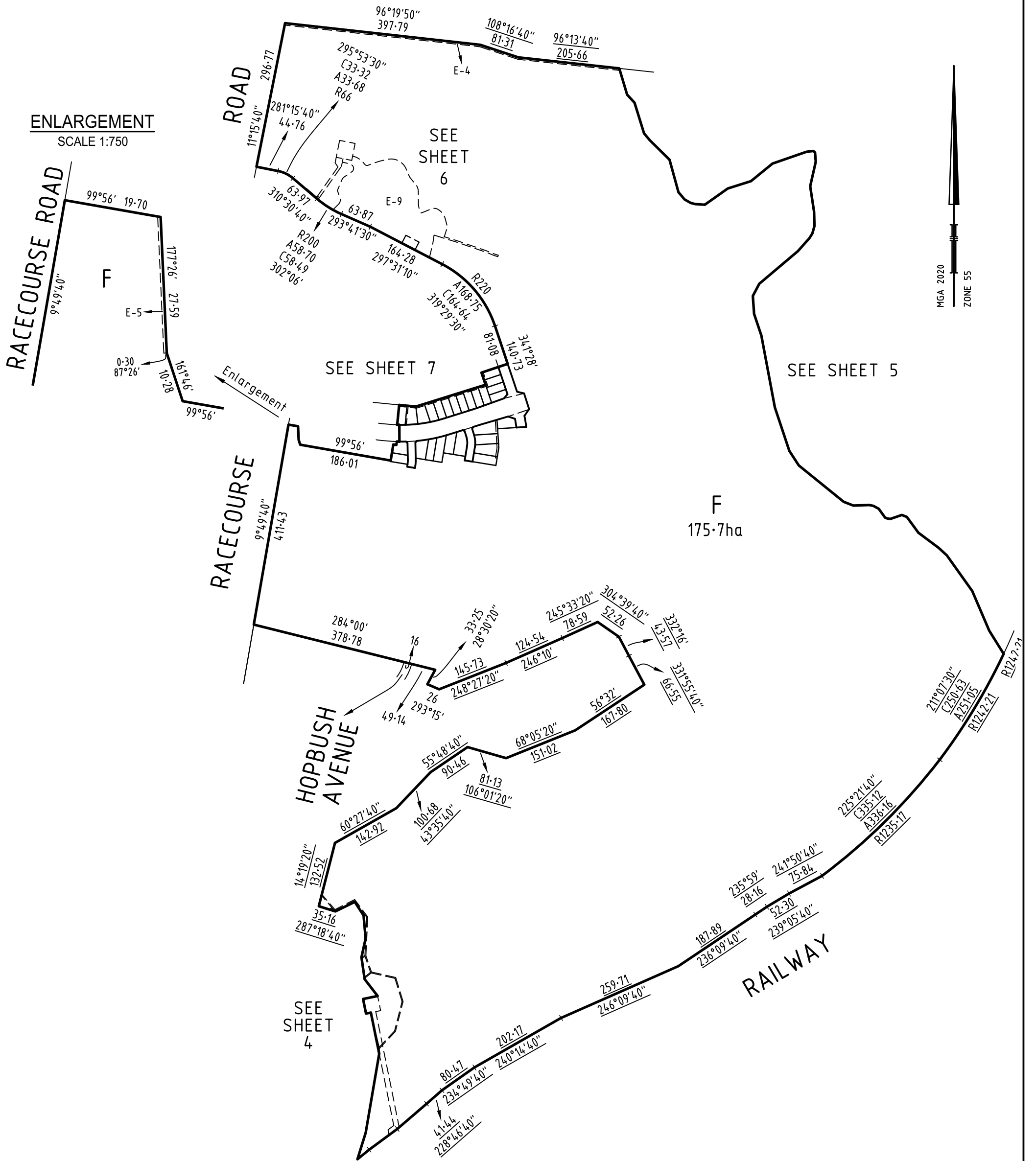
ORIGINAL SHEET  
SIZE: A3

SHEET 2



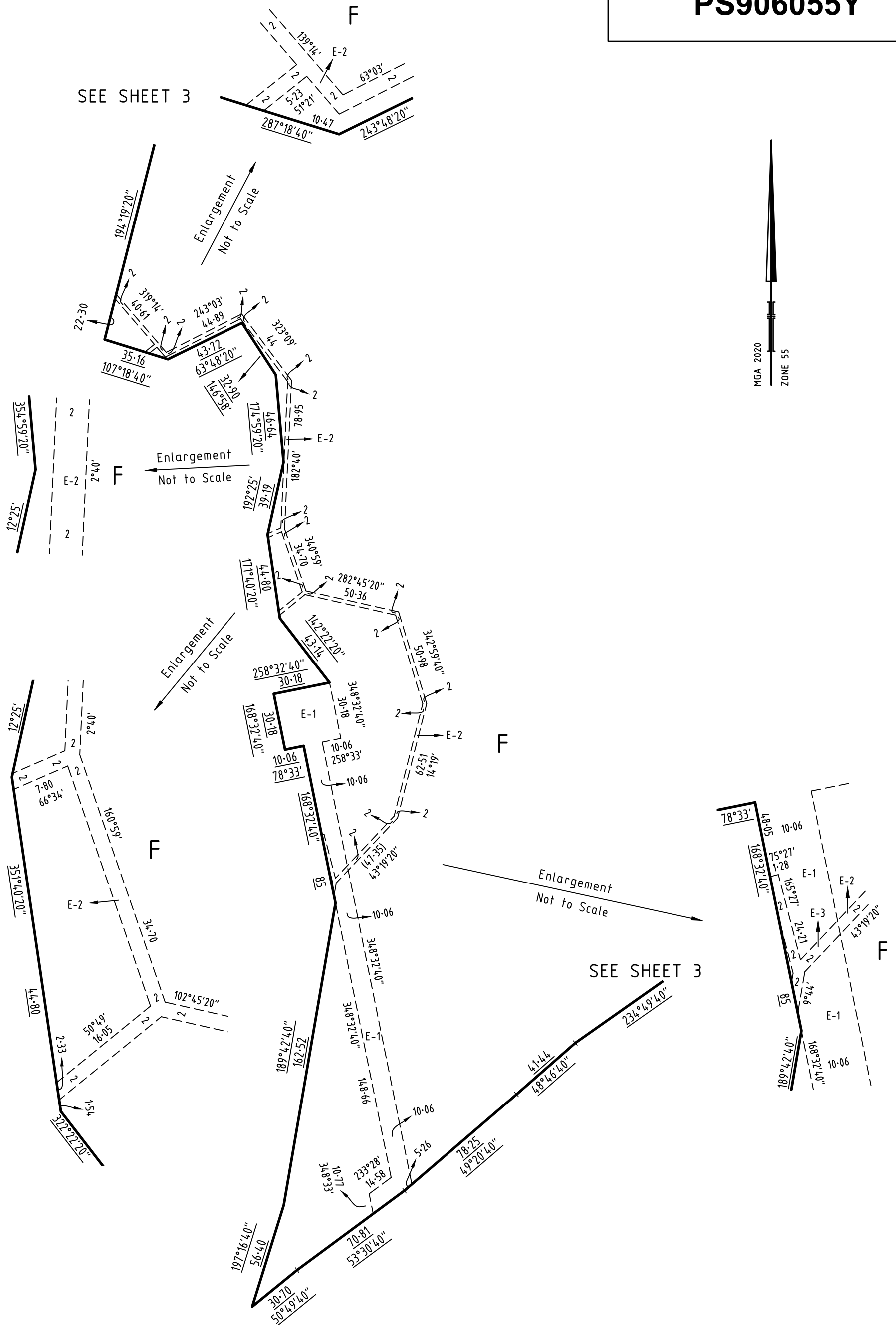
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SEE SHEET 3



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SCALE 1: 2000

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

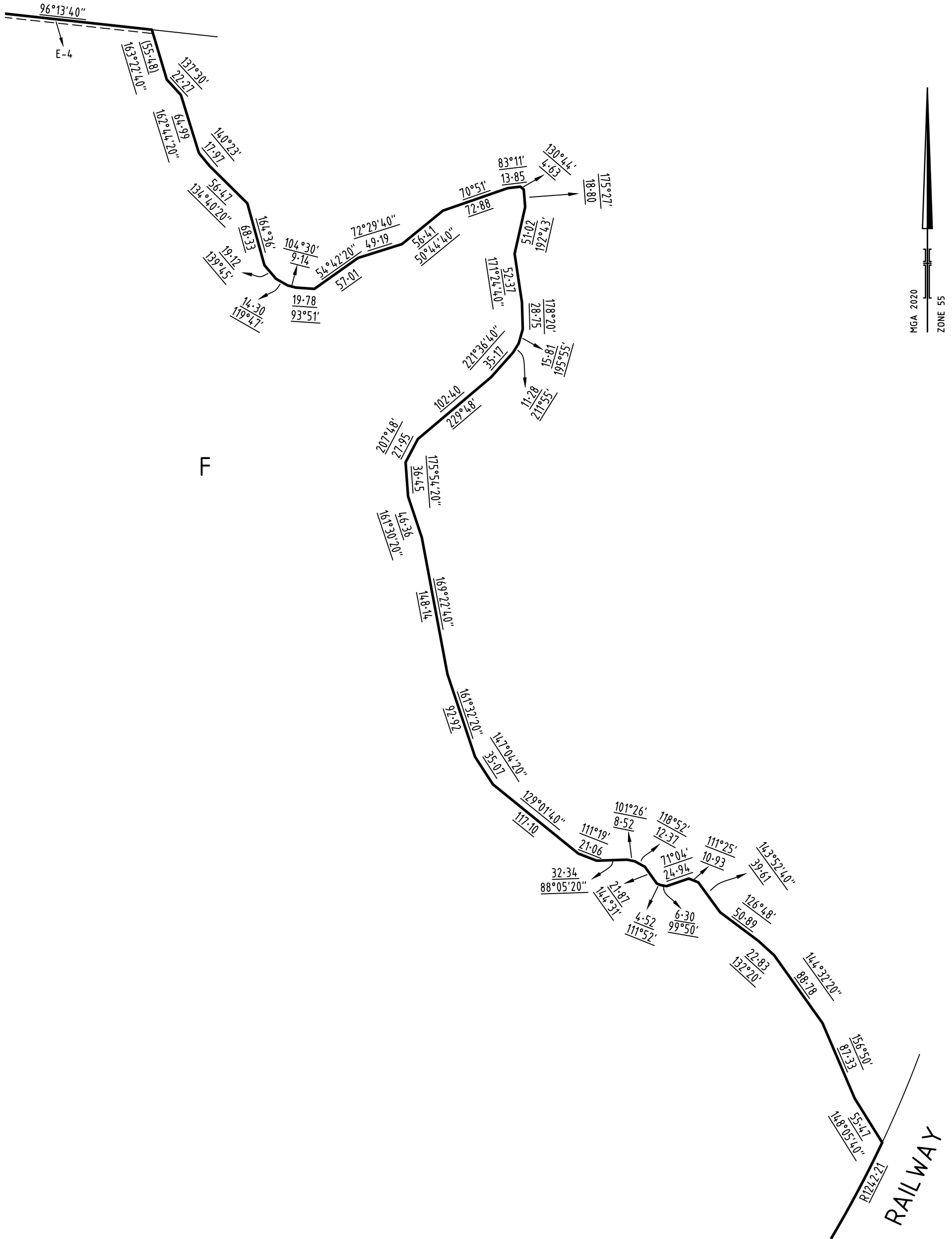
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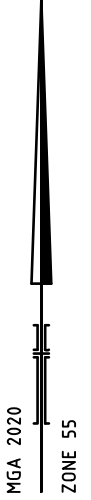
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SEE SHEET 3

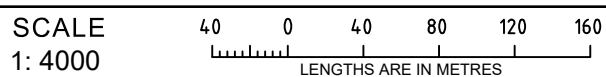


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SEE SHEET 3

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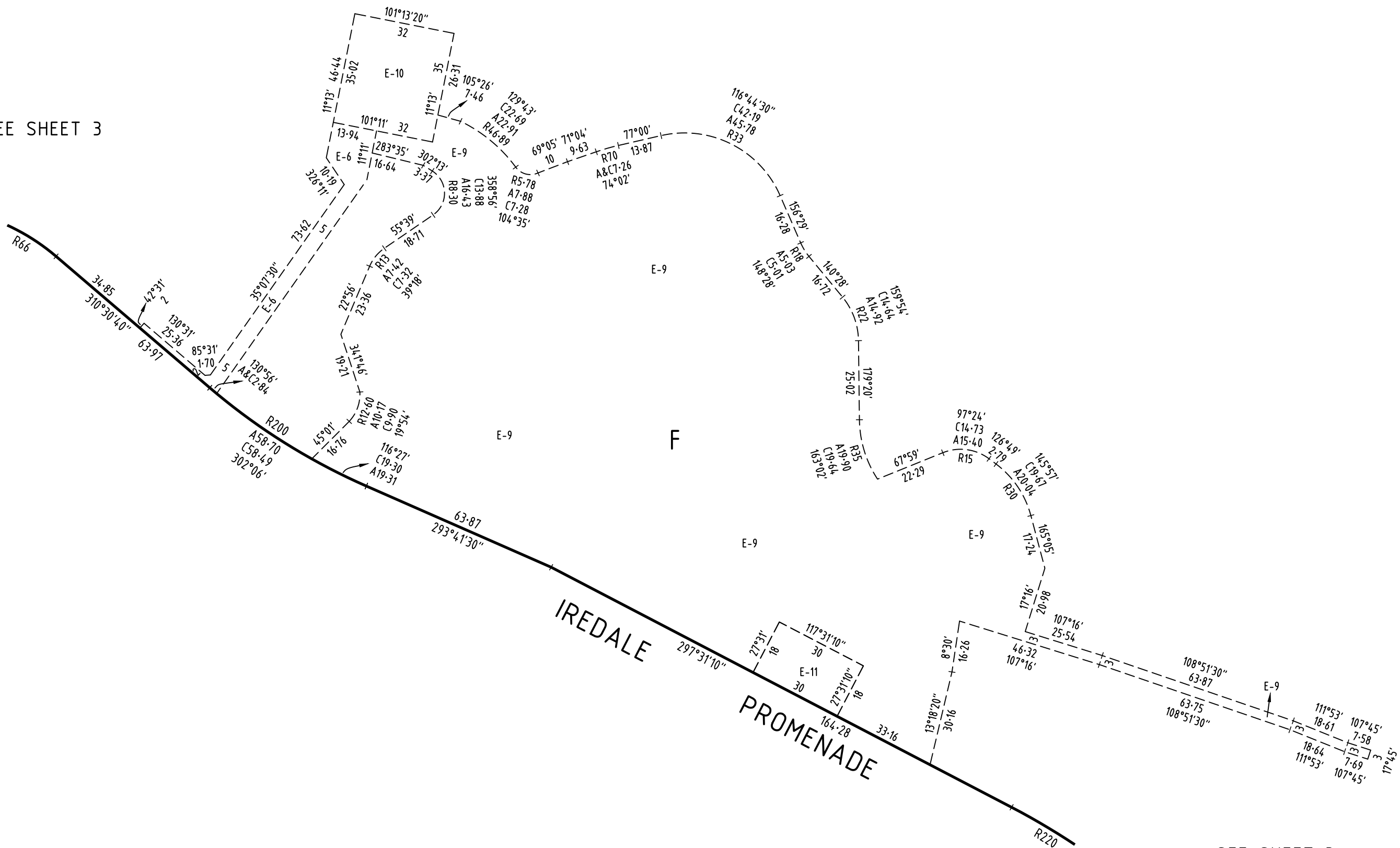
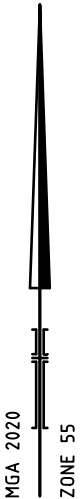
SHEET 5



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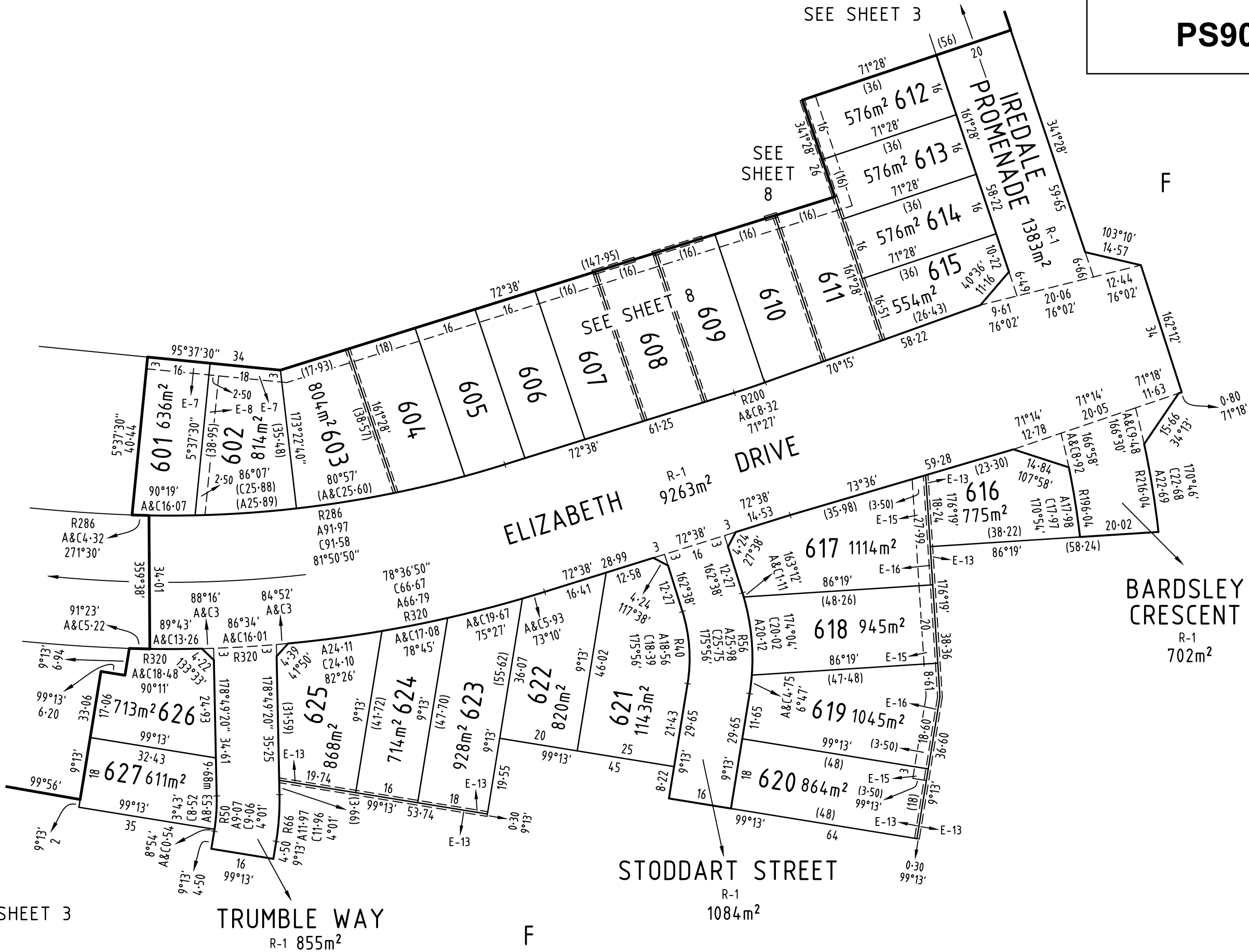
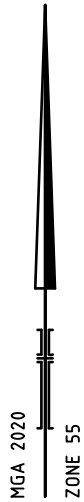
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LENGTHS ARE IN METRES

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SHEET 6



SEE SHEET 3

TRUMBLE WAY  
R-1 855m<sup>2</sup>

STODDART STREET  
R-1 1084m<sup>2</sup>

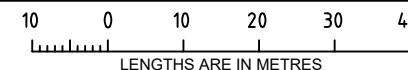
BARDSLEY CRESCENT  
R-1 702m<sup>2</sup>

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SCALE  
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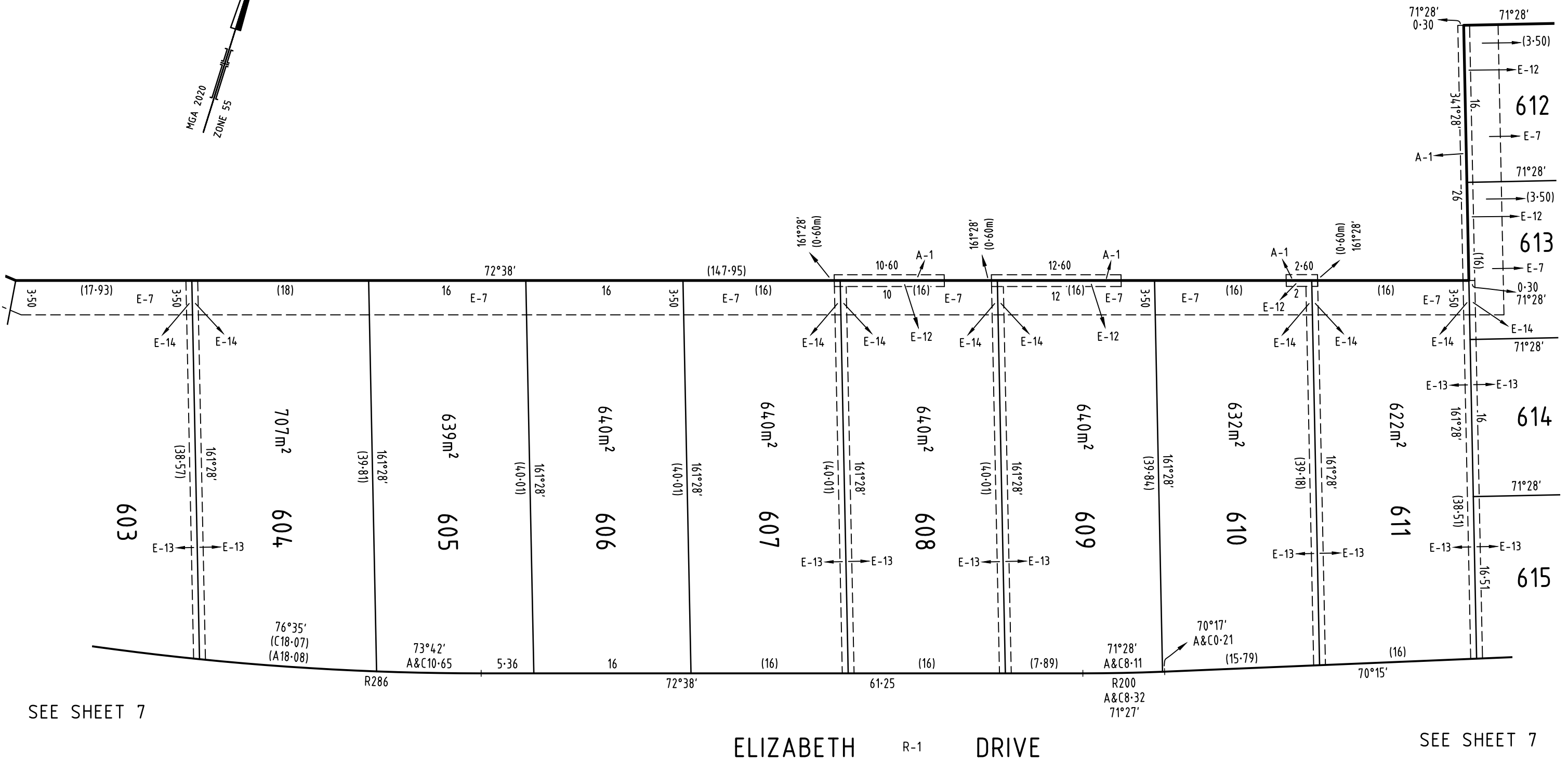
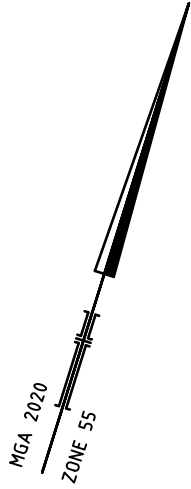


ORIGINAL SHEET  
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SHEET 7

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SEE SHEET 3



SEE SHEET 7

ELIZABETH R-1 DRIVE

SEE SHEET 7

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SCALE 1: 400

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SHEET 8



**CREATION OF RESTRICTION 1**

The following restriction is to be created upon Registration of this plan by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

For the purposes of this restriction:

- (a) A dwelling means a house.
- (b) A building means any structure except a fence.

Land to Benefit: Lots 601 to 627 (both inclusive) on this plan

Land to be Burdened: Lots 601 to 627 (both inclusive) on this plan

**DESCRIPTION OF RESTRICTION**

Except with the written consent of the Responsible Authority the registered proprietor or proprietors for the time being of any burdened Lot on the Plan of Subdivision shall not:

**Design Guidelines**

- (a) build or allow to be built on the Lot any building other than a building which has been approved by the Sherwood Grange Design Assessment Panel in accordance with the Sherwood Grange Design Guidelines as approved by the Responsible Authority or amended from time to time to the satisfaction of the Responsible Authority.
- (b) construct or permit to be constructed more than one dwelling on any burdened lot.

**Building Envelopes and MCP**

- (c) build or erect or allow to be built on the Lot any building other than building which is built in accordance with the building envelope plans and provisions shown on the endorsed Memorandum of Common Provisions (MCP) registered in Dealing Number AA9511, which memorandum of common provisions is incorporated into and by this plan.

**Expiry**

- (d) the restrictions specified in paragraphs (a) and (b) (inclusive) shall cease to burden any Lot on the Plan of Subdivision with effect 1 year after the issue of an Occupancy Permit under the Building Act 1993 is issued for the whole of the dwelling on the burdened lot.
- (e) the restrictions specified in paragraph (c) shall cease to burden any Lot on the Plan of Subdivision with effect 10 years after the issue of an Occupancy Permit under the Building Act 1993 is issued for the whole of the dwelling on the burdened lot.

**CREATION OF RESTRICTION 2**

The following restriction is to be created upon registration of this plan;

- For the purposes of this restriction:
- a) A dwelling means a house
  - b) A building means any structure except a fence


**Land to Benefit:** Lots 601 to 627 (both inclusive) on this plan

**Land to be Burdened:** Lots 601 to 627 (both inclusive) on this plan

**Description of Restriction:**

The registered proprietor or proprietors for the time being of any lot on this plan to which the following restriction applies must not:

- (a) Construct any dwelling or commercial building unless that building incorporates dual plumbing for alternative water supply for toilet flushing and garden watering use should an alternative water supply become available.

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