

PLAN OF SUBDIVISION

EDITION 1

PS848061A

Location of Land

Parish: MOOLAP
Township: -
Section: 1
Crown Allotment: 16 (PART)
Crown Portion: -
Title Reference: VOL 8390 FOL 119
 VOL 8861 FOL 599
 VOL 8491 FOL 584
Last Plan Reference: LP87651 (LOTS 1 & 2)
 LP63799 (LOT 2)
Postal Address: 118-128 ASH ROAD
 (at time of subdivision) LEOPOLD 3224
MGA Co-ordinates: E 277 960 Zone: 55
 (of approx. centre of land N 5 768 880 GDA 2020
 in plan)

Council Name: CITY OF GREATER GEELONG **Ref:**

Vesting of Roads and/or Reserves

Notations

Identifier	Council/Body/Person
ROAD R1	CITY OF GREATER GEELONG
RESERVE No.1	CITY OF GREATER GEELONG
RESERVE No.2	POWERCOR AUSTRALIA LIMITED
RESERVE No.3	POWERCOR AUSTRALIA LIMITED

Lots 1 to 1626, B & C have been omitted from this plan
Creation of Restriction
 The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Upon registration of this plan the following restrictions are to be created:

Notations

Depth Limitation: DOES NOT APPLY
Survey: This plan is based on survey
Staging: This is not a staged plan of subdivision
Planning Permit No. P683/2021
This survey has been connected to permanent mark(s): 137 & 158
In Proclaimed Survey Area No. -
Estuary II Estate - Stage 16AW
25 Lots & Balance Lots A & D

Restriction 1
 Land to be burdened: Lots 1627 to 1651
 Land to benefit: Lots 1627 to 1651
Description of Restriction
 The registered proprietor or proprietors for the time being of any burdened lot must not develop or use a lot other than in accordance with the Memorandum of Common Provisions (MCP) registered in Dealing

WARNING:
 This document is a copy of an unregistered plan. It is preliminary in nature and remains so until it is ultimately registered at Land Victoria and titles have been amended or issued. Until that time changes may be made to this document without any notification. Tomkinson Group accepts no liability for any loss or damage arising from the use of this plan without you first having confirmed in writing, from Tomkinson, the currency and suitability of this document for your particular intended use.

Easement Information

Legend: E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement or other Encumbrance A - Appurtenant Easement

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
TBA				



10 / 6-8 BOSTON ROAD TORQUAY PH 03 5261 3788
 ABN 11 103 336 358 WWW.TOMKINSON.COM



SURVEYOR'S FILE REF: A4041D-16AW VERSION A
 PLOTTED 03/03/2022 JEP

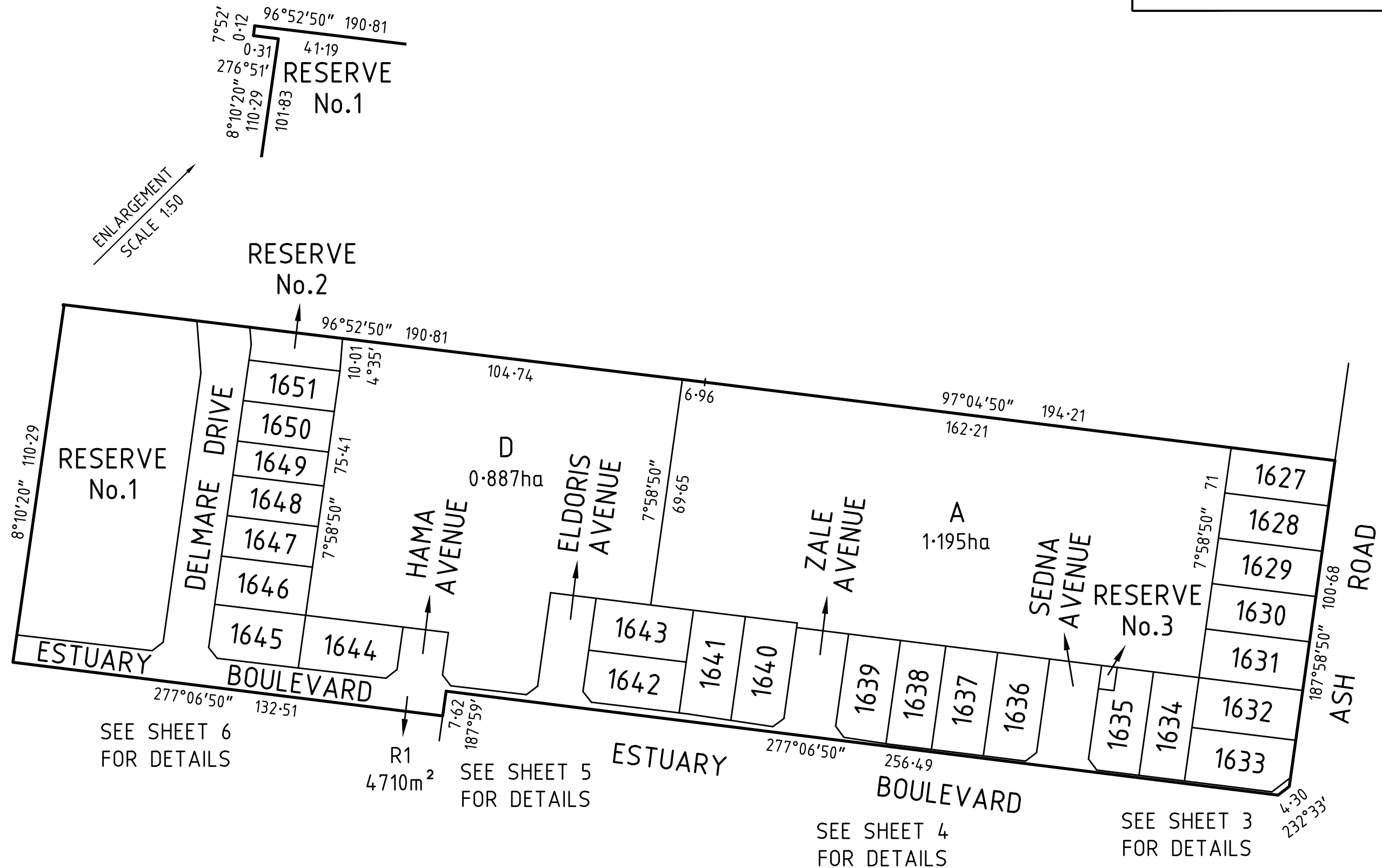
JASON ERIC PARKER

ORIGINAL SHEET
 SIZE: A3

Sheet 1 of 6 Sheets

MGA2020
ZONE 55

ENLARGEMENT
SCALE 1:50



SEE SHEET 6
FOR DETAILS

R1
4710m²
SEE SHEET 5
FOR DETAILS

SEE SHEET 4
FOR DETAILS

SEE SHEET 3
FOR DETAILS



SEE SHEET 2

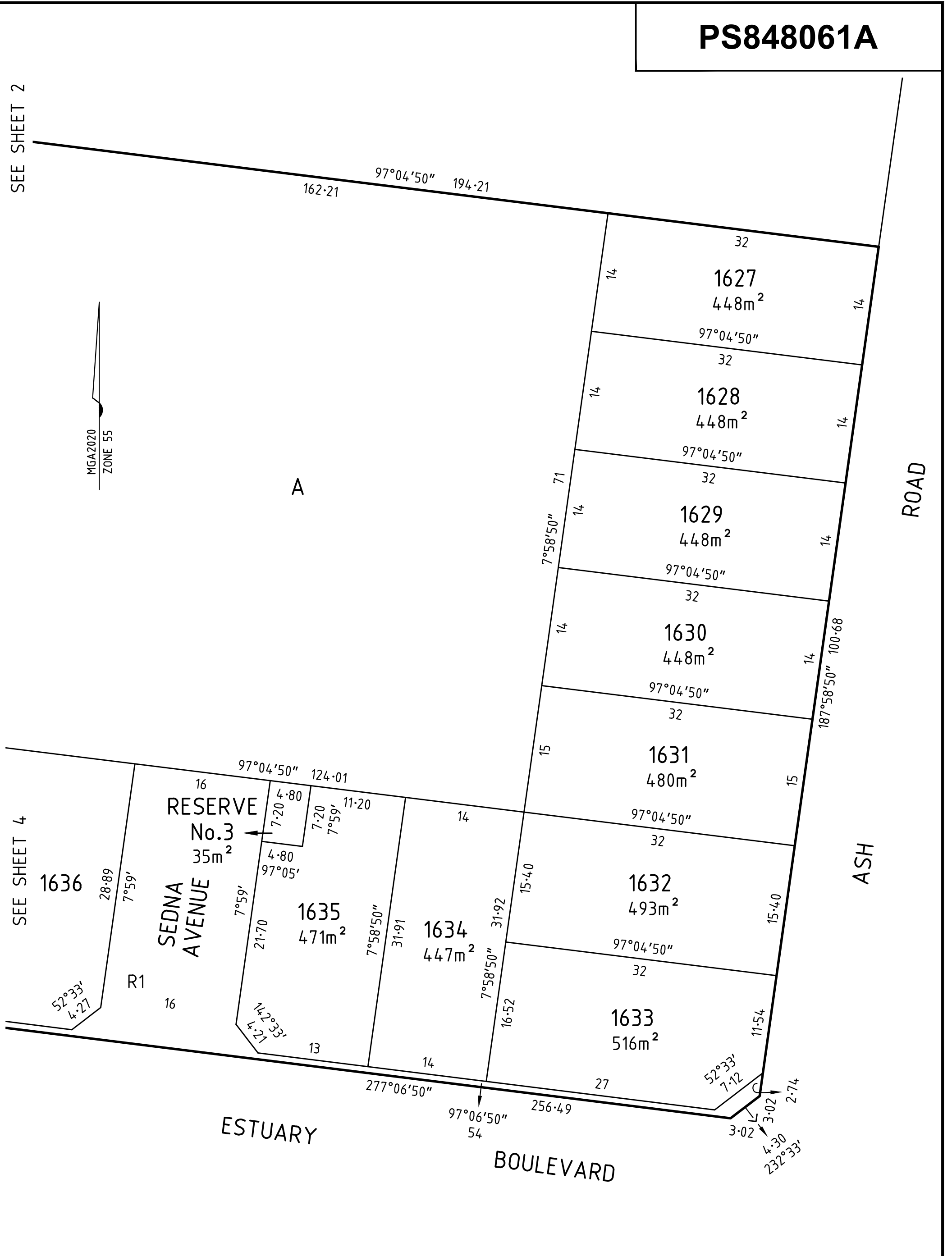
MGA2020
ZONE 55

A

ROAD

ASH

SEE SHEET 4



Tomkinson
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT

10 / 6-8 BOSTON ROAD TORQUAY PH 03 5261 3788
ABN 11 103 336 358 WWW.TOMKINSON.COM

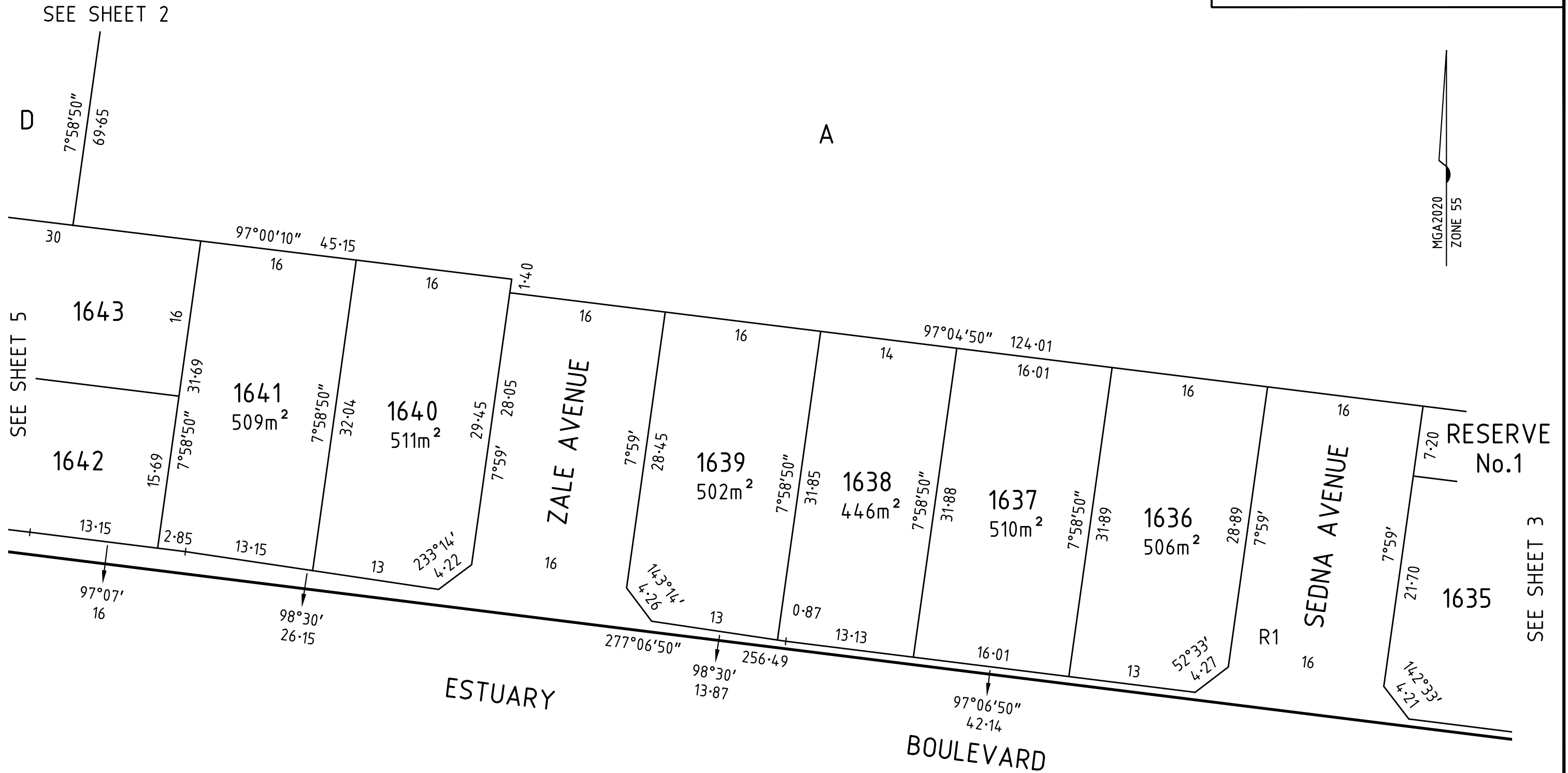
SCALE 1:400

4 0 4 8 12 16
LENGTHS ARE IN METRES

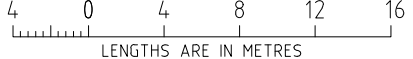
JASON ERIC PARKER

ORIGINAL SHEET SIZE A3	SURVEYORS REF No. A4041D-16AW	VER A	PLOTTED 03/03/2022	JEP
			Sheet 3	

PS848061A




Tomkinson
 SURVEY ► ENGINEERING ► PLANNING ► PROJECT MANAGEMENT
 10 / 6-8 BOSTON ROAD TORQUAY PH 03 5261 3788
 ABN 11 103 336 358 WWW.TOMKINSON.COM
 

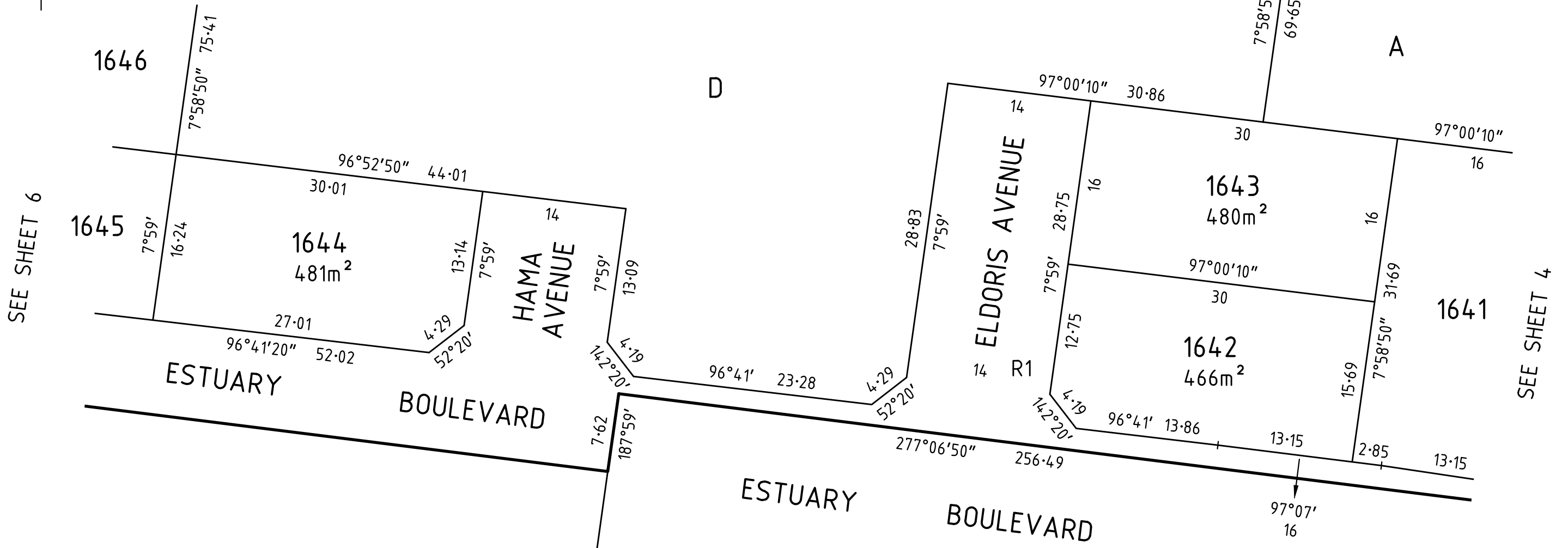
SCALE
 1:400

 LENGTHS ARE IN METRES

JASON ERIC PARKER

ORIGINAL SHEET SIZE A3	SURVEYORS REF No. A4041D-16AW	VER A	PLOTTED 03/03/2022	JEP
		Sheet 4		

MGA2020
ZONE 55

SEE SHEET 2



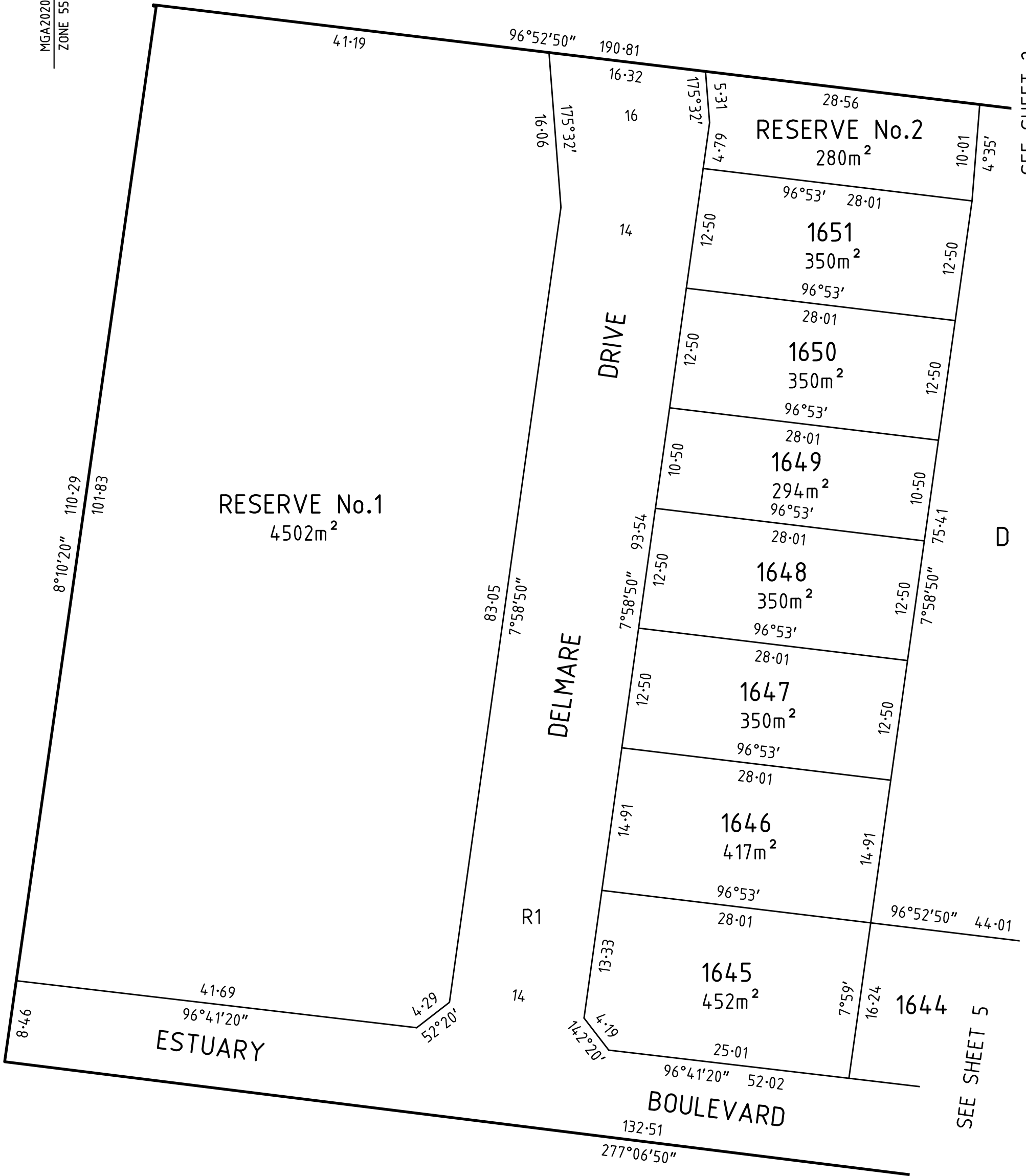
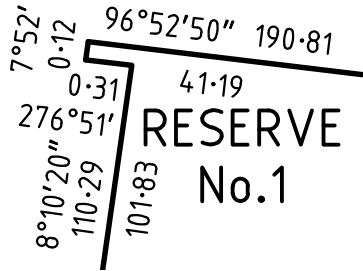
SEE SHEET 6

SEE SHEET 4



MGA2020
ZONE 55

ENLARGEMENT
SCALE 1:50



SEE SHEET 2

D

SEE SHEET 5

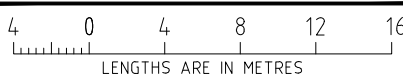


10 / 6-8 BOSTON ROAD TORQUAY PH 03 5261 3788
ABN 11 103 336 358 WWW.TOMKINSON.COM



JASON ERIC PARKER

SCALE
1:400



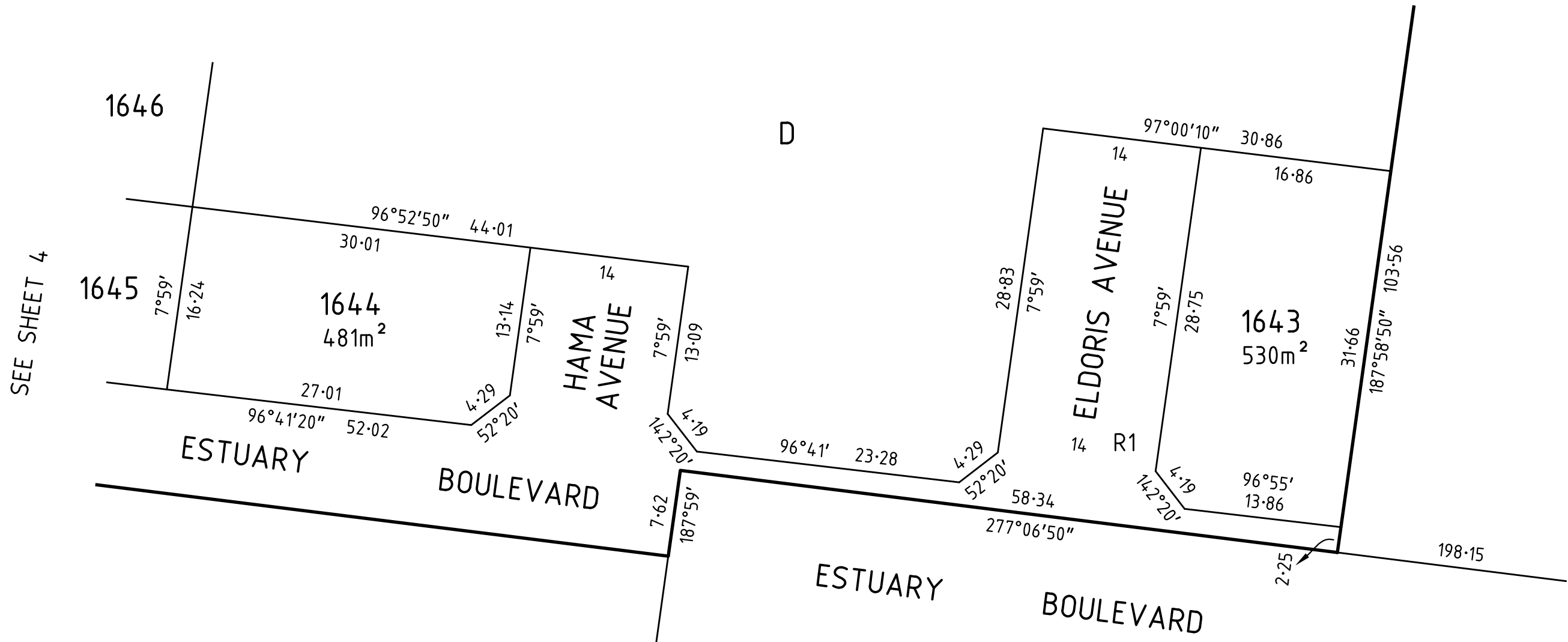
ORIGINAL
SHEET SIZE
A3

SURVEYORS REF No.
A4041D-16AW

VER
A

PLOTTED 03/03/2022 JEP
Sheet 6

SEE SHEET 2

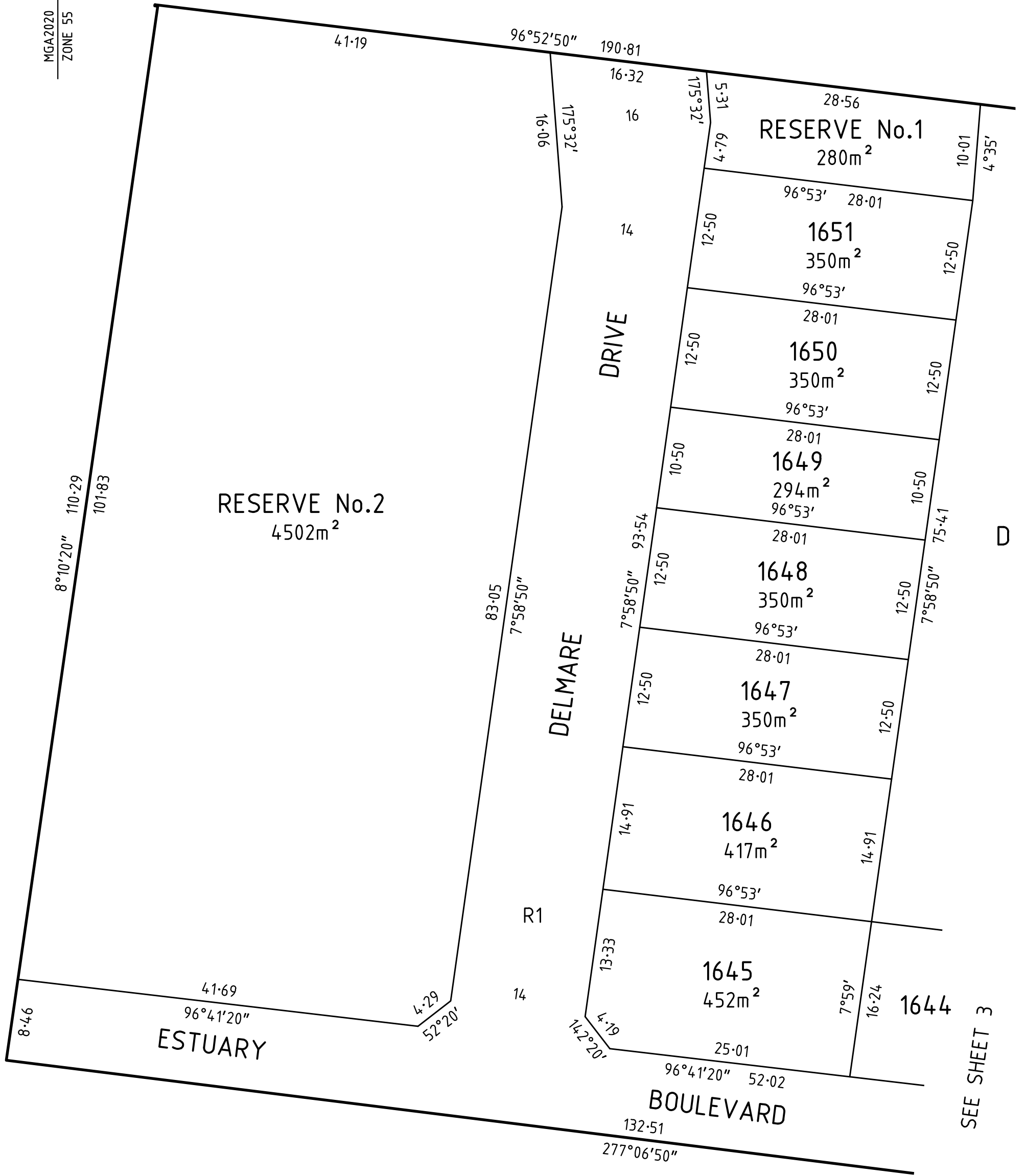
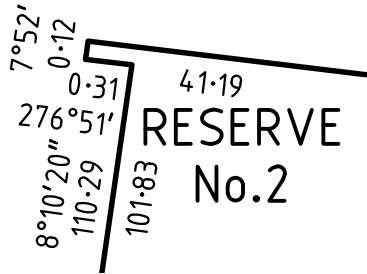


SEE SHEET 4



MGA2020
ZONE 55

ENLARGEMENT
SCALE 1:50



SEE SHEET 2

D

SEE SHEET 3



PLAN OF SUBDIVISION

EDITION 1

PS848058N

Location of Land

Parish: MOOLAP
Township: -
Section: 1
Crown Allotment: 16 (PART)
Crown Portion: -
Title Reference: VOL 8341 FOL 435

Last Plan Reference: LP48473 (LOT 1)

Postal Address: 110-116 ASH ROAD
 (at time of subdivision) LEOPOLD 3224

MGA Co-ordinates: E 278 150 Zone: 55
 (of approx. centre of land N 5 768 970 GDA 2020
 in plan)

Council Name: CITY OF GREATER GEELONG **Ref:**

Vesting of Roads and/or Reserves

Notations

Identifier	Council/Body/Person
RESERVE No.1	CITY OF GREATER GEELONG

Lots 1 to 1622 and A have been omitted from this plan

Creation of Restriction

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Upon registration of this plan the following restrictions are to be created:

Restriction 1

Land to be burdened: Lots 1623 to 1626
 Land to benefit: Lots 1623 to 1626

Description of Restriction

The registered proprietor or proprietors for the time being of any burdened lot must not develop or use a lot other than in accordance with the Memorandum of Common Provisions (MCP) registered in Dealing

WARNING:

This document is a copy of an unregistered plan. It is preliminary in nature and remains so until it is ultimately registered at Land Victoria and titles have been amended or issued. Until that time changes may be made to this document without any notification. Tomkinson Group accepts no liability for any loss or damage arising from the use of this plan without you first having confirmed in writing, from Tomkinson, the currency and suitability of this document for your particular intended use.

Notations

Depth Limitation: DOES NOT APPLY

Survey: This plan is based on survey

Staging: This is not a staged plan of subdivision

Planning Permit No. P683/2021

This survey has been connected to permanent mark(s): 137 & 158

In Proclaimed Survey Area No. -

Estuary II Estate - Stage 16V
4 Lots & Balance Lot B

Easement Information

Legend: E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement or other Encumbrance A - Appurtenant Easement

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
TBA				



10 / 6-8 BOSTON ROAD TORQUAY PH 03 5261 3788
 ABN 11 103 336 358 WWW.TOMKINSON.COM

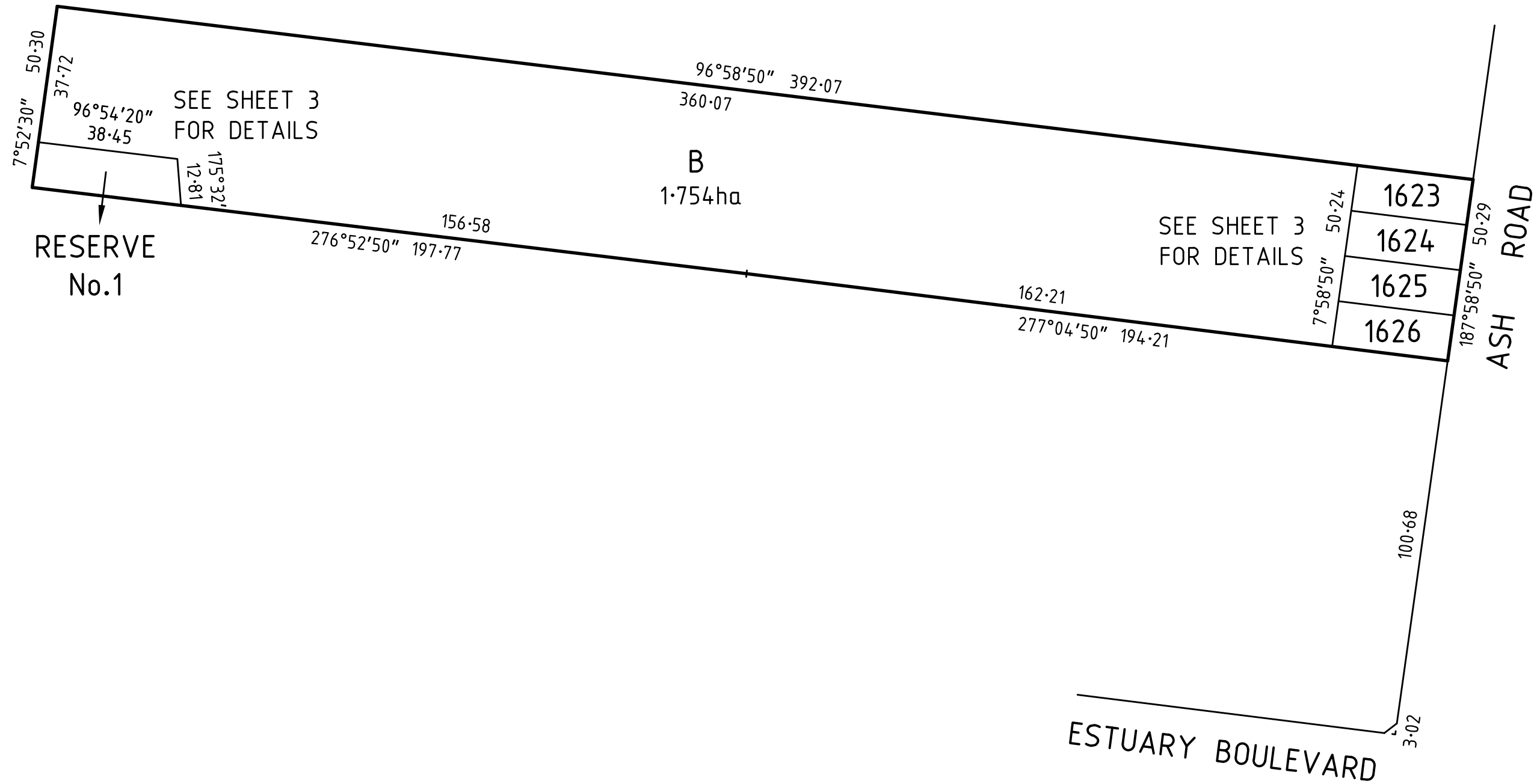


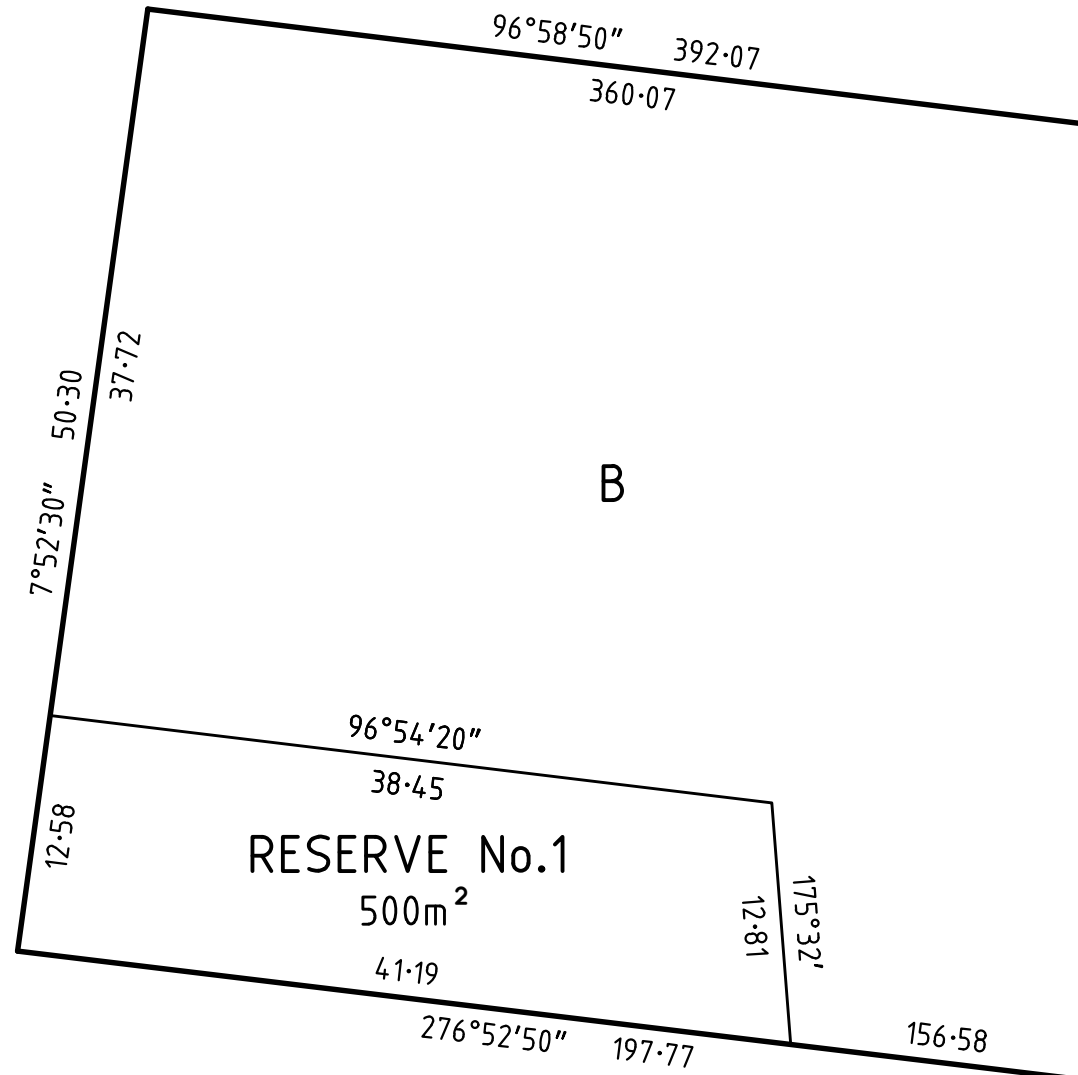
SURVEYOR'S FILE REF: A4041D-16V VERSION A
 PLOTTED 09/12/2021 JEP

JASON ERIC PARKER

ORIGINAL SHEET
 SIZE: A3

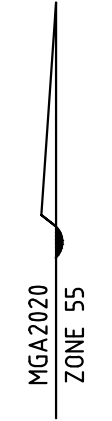
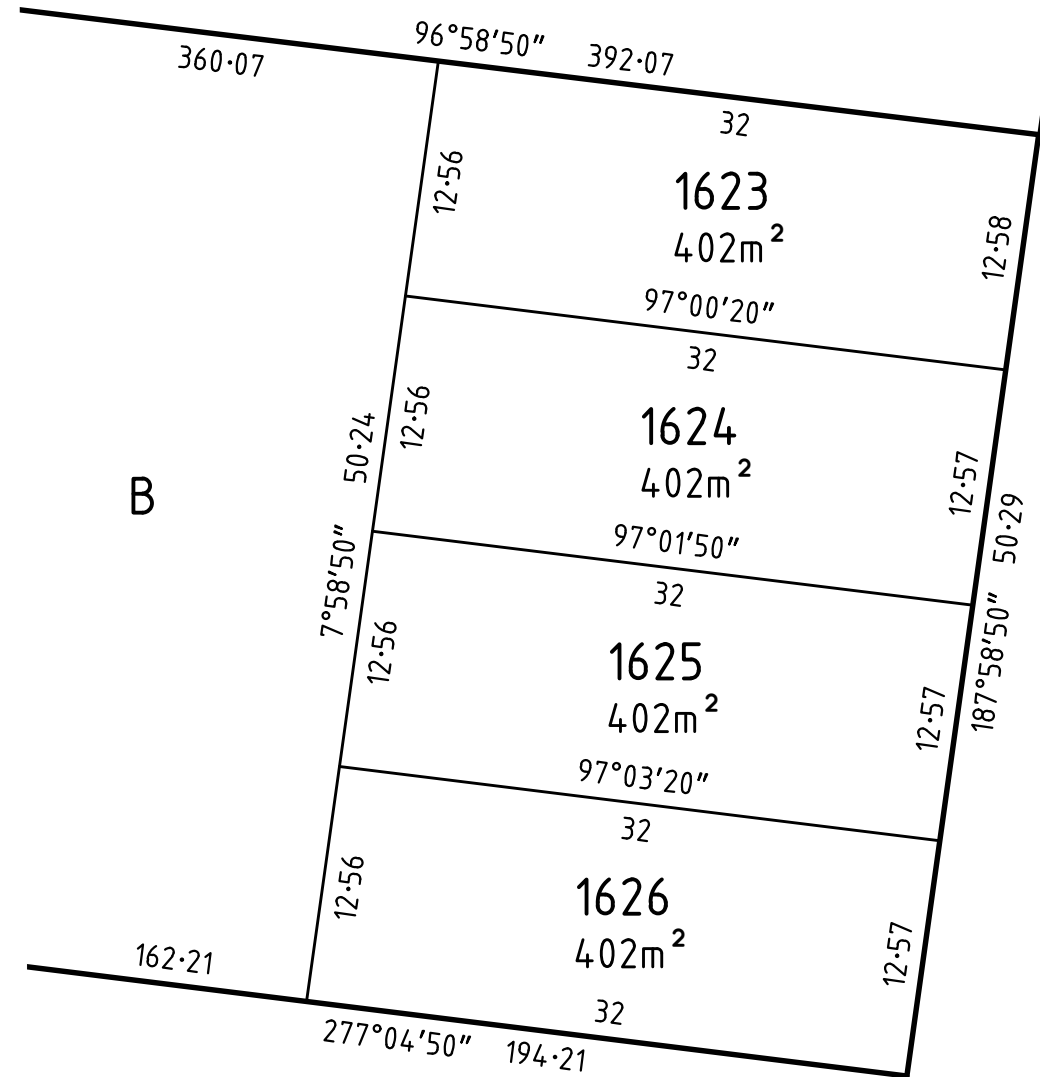
Sheet 1 of 3 Sheets





SEE SHEET 2

SEE SHEET 2



ROAD

ASH



PLAN OF SUBDIVISION

EDITION 1

PS848059L

Location of Land

Parish: MOOLAP
Township: -
Section: 1
Crown Allotment: 16 (PART)
Crown Portion: -
Title Reference: VOL 8341 FOL 436

Last Plan Reference: LP48473 (LOT 2)

Postal Address: 90-108 ASH ROAD
 (at time of subdivision) LEOPOLD 3224

MGA Co-ordinates: E 278 165 Zone: 55
 (of approx. centre of land N 5 769 070 GDA 2020
 in plan)

Council Name: CITY OF GREATER GEELONG **Ref:**

Vesting of Roads and/or Reserves

Notations

Identifier	Council/Body/Person
ROAD R1	CITY OF GREATER GEELONG

Lots 1 to 1613, A & B have been omitted from this plan

Creation of Restriction

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Upon registration of this plan the following restrictions are to be created:

Restriction 1

Land to be burdened: Lots 1614 to 1622
 Land to benefit: Lots 1614 to 1622

Description of Restriction

The registered proprietor or proprietors for the time being of any burdened lot must not develop or use a lot other than in accordance with the Memorandum of Common Provisions (MCP) registered in Dealing

WARNING:

This document is a copy of an unregistered plan. It is preliminary in nature and remains so until it is ultimately registered at Land Victoria and titles have been amended or issued. Until that time changes may be made to this document without any notification. Tomkinson Group accepts no liability for any loss or damage arising from the use of this plan without you first having confirmed in writing, from Tomkinson, the currency and suitability of this document for your particular intended use.

Notations

Depth Limitation: DOES NOT APPLY

Survey: This plan is based on survey

Staging: This is not a staged plan of subdivision

Planning Permit No. P683/2021

This survey has been connected to permanent mark(s): 137 & 158

In Proclaimed Survey Area No. -

Estuary II Estate - Stage 16P
4 Lots & Balance Lot C

Easement Information

Legend: E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement or other Encumbrance A - Appurtenant Easement

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
TBA				



10 / 6-8 BOSTON ROAD TORQUAY PH 03 5261 3788
 ABN 11 103 336 358 WWW.TOMKINSON.COM



SURVEYOR'S FILE REF: A4041D-16P VERSION B
 PLOTTED 14/12/2021 JEP

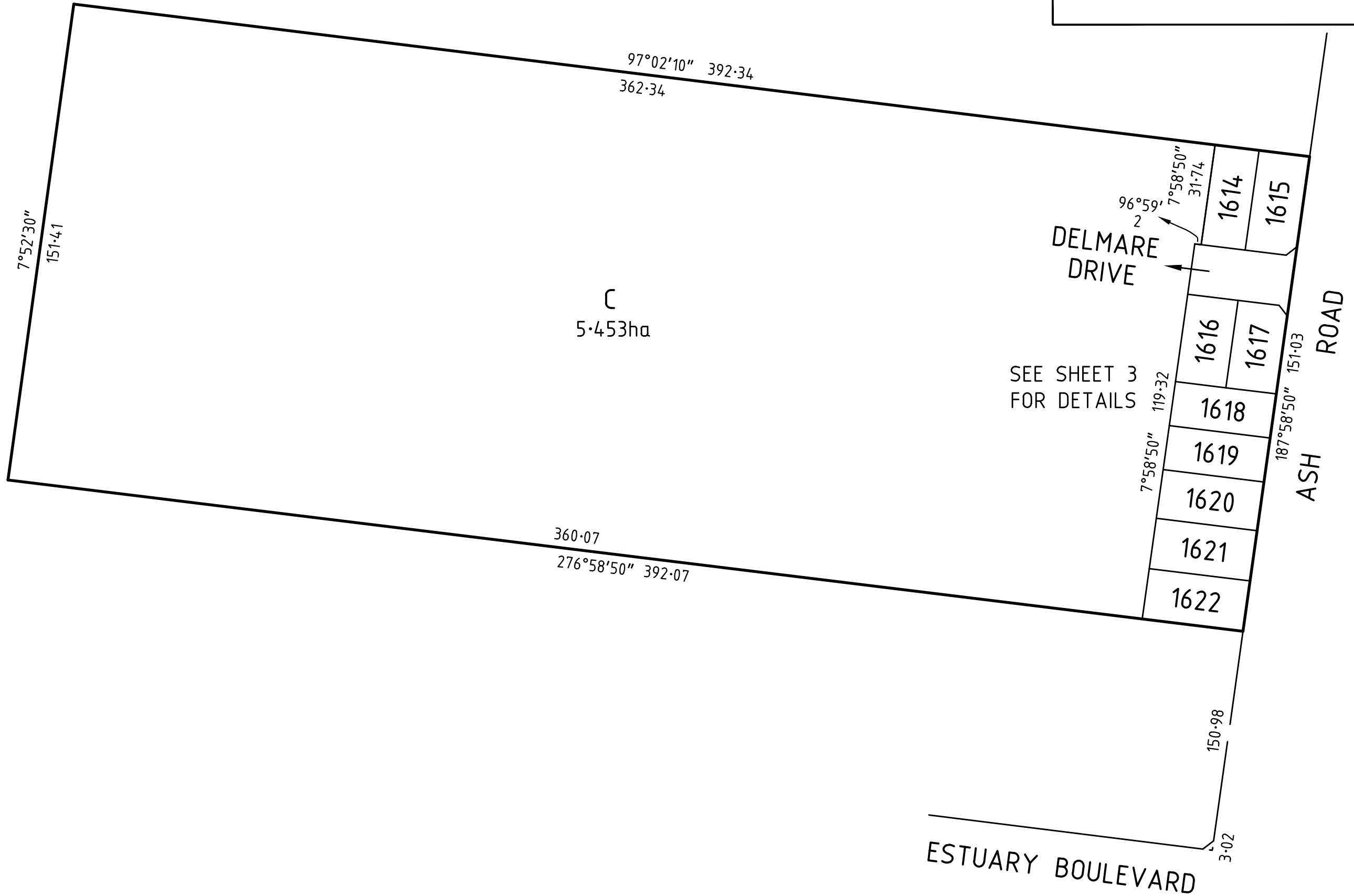
JASON ERIC PARKER

ORIGINAL SHEET
 SIZE: A3

Sheet 1 of 3 Sheets

PS848059L

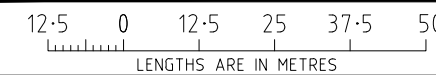
MGA2020
ZONE 55



10 / 6-8 BOSTON ROAD TORQUAY PH 03 5261 3788
 ABN 11 103 336 358 WWW.TOMKINSON.COM



SCALE
1:1250



ORIGINAL SHEET SIZE
A3

SURVEYORS REF No.
A4041D-16P

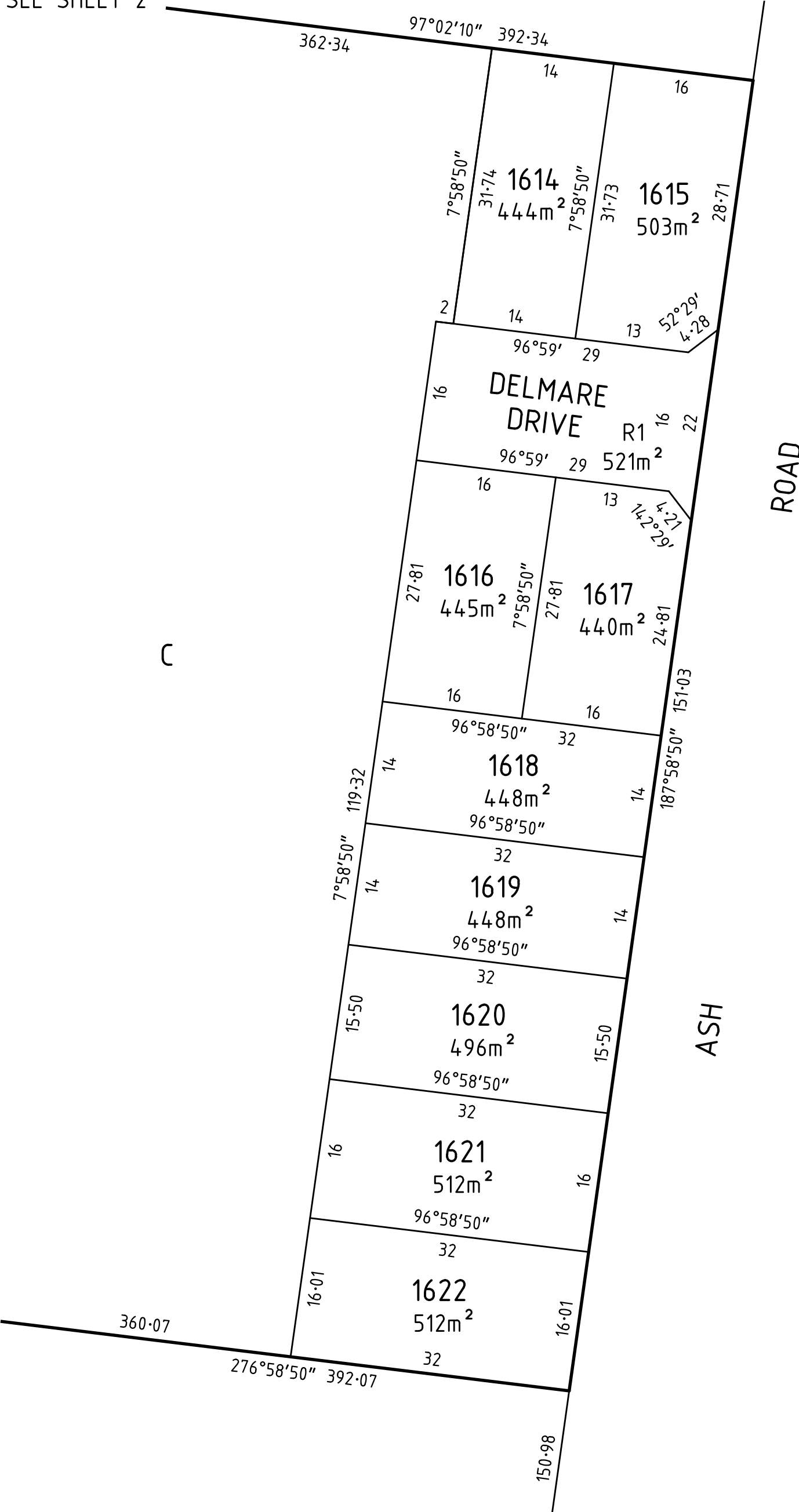
VER
B

PLOTTED 14/12/2021 JEP
Sheet 2

JASON ERIC PARKER

PS848059L

SEE SHEET 2



MGA2020
ZONE 55

SEE SHEET 2

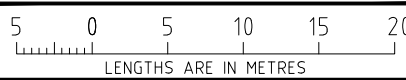


10 / 6-8 BOSTON ROAD TORQUAY PH 03 5261 3788
ABN 11 103 336 358 WWW.TOMKINSON.COM



JASON ERIC PARKER

SCALE
1:500



ORIGINAL SHEET SIZE
A3

SURVEYORS REF No.
A4041D-16P

VER
B

PLOTTED 14/12/2021 JEP
Sheet 3