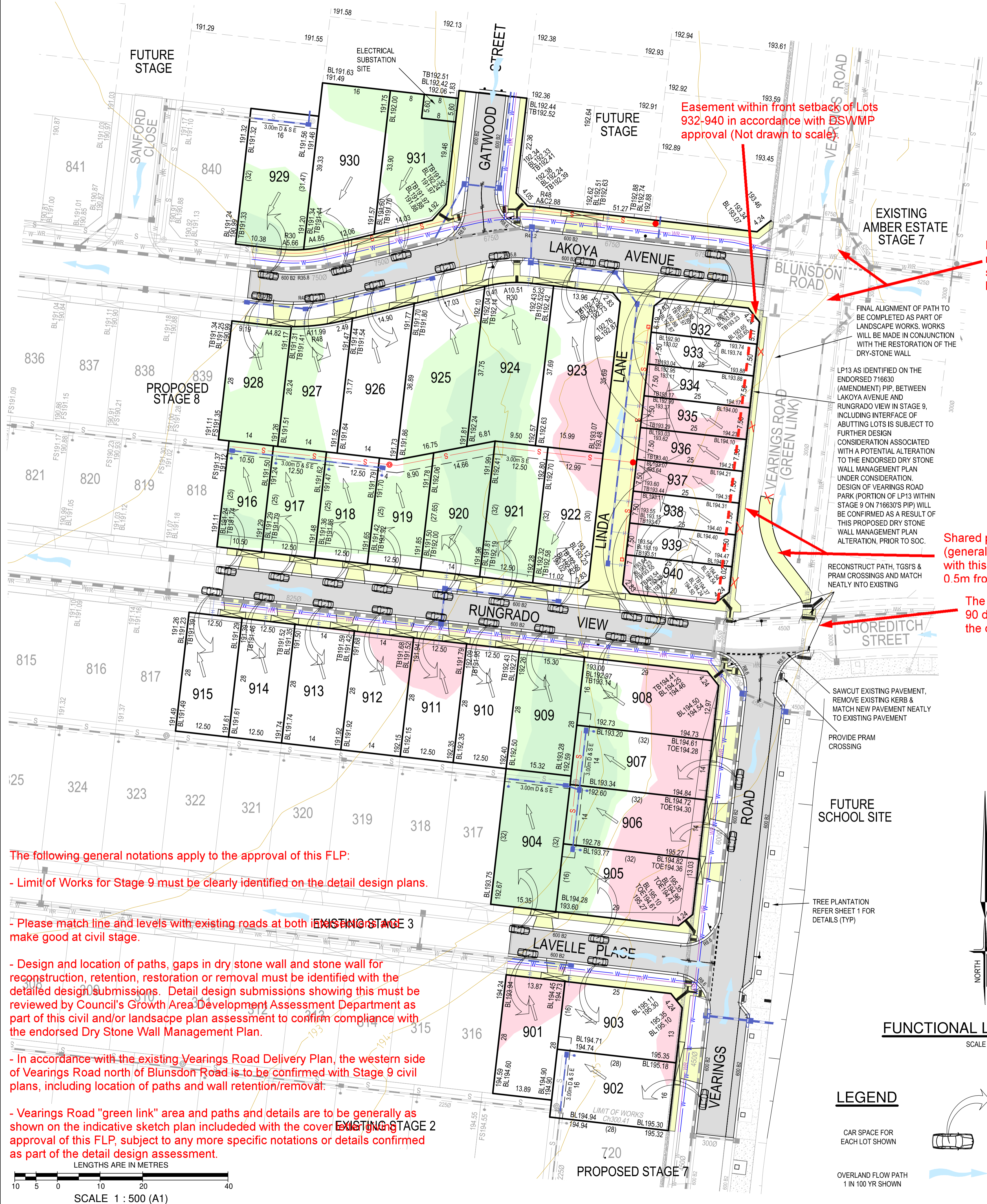


Please note that the primary purpose of this plan is, in part, to ensure that adequate provision is made for the spatial requirements of landscaping and civil infrastructure is made on the Plan of Subdivision. The Functional Layout Plan is not a definite statement of the required content for Construction Plans. The endorsement of this plan is an approval of the subdivision layout under the planning permit and therefore does not provide approval for items of landscaping or civil infrastructure as shown (or omitted) either for the purpose of informing elements of the layout or for clarity on the plan.



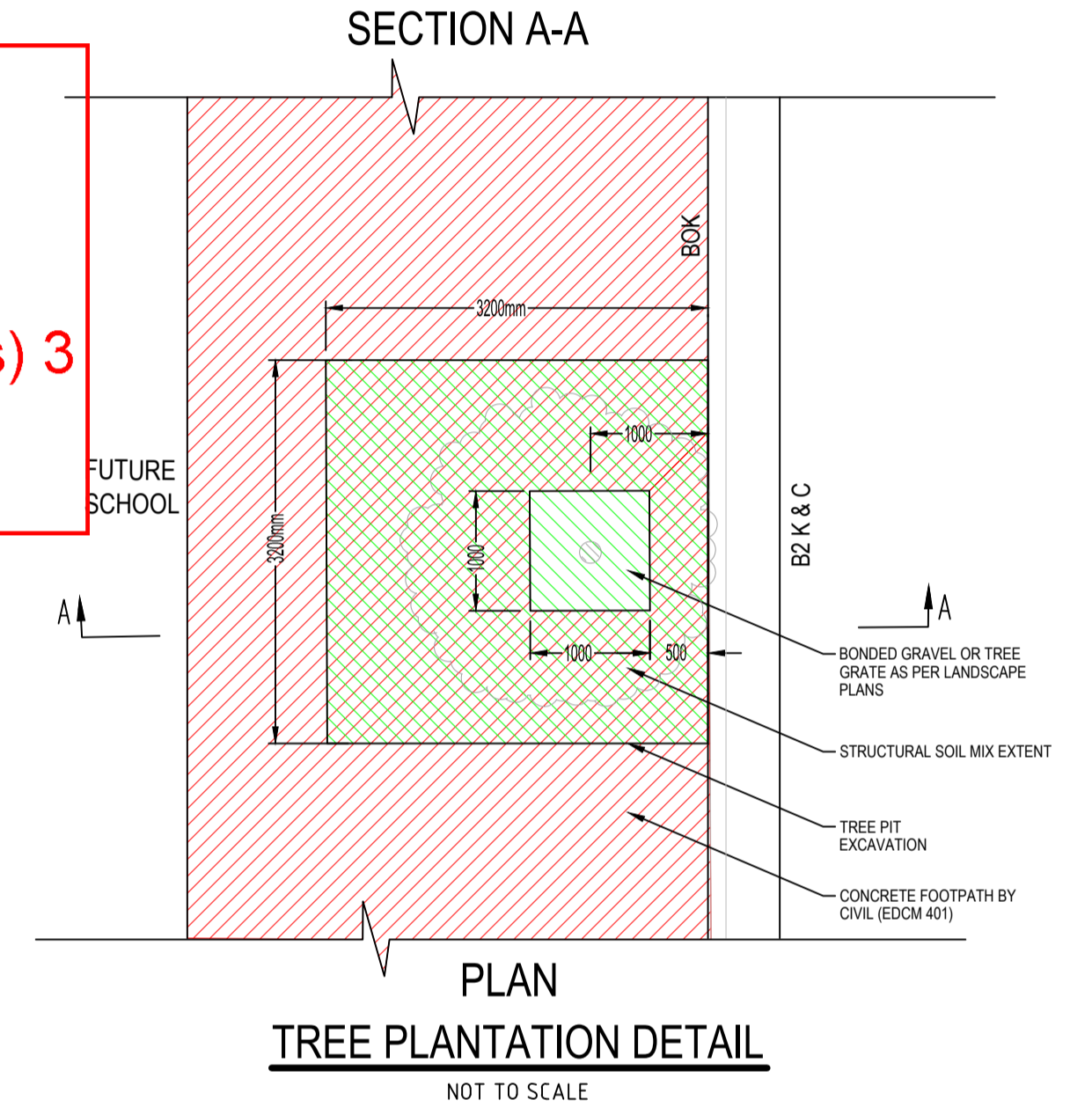
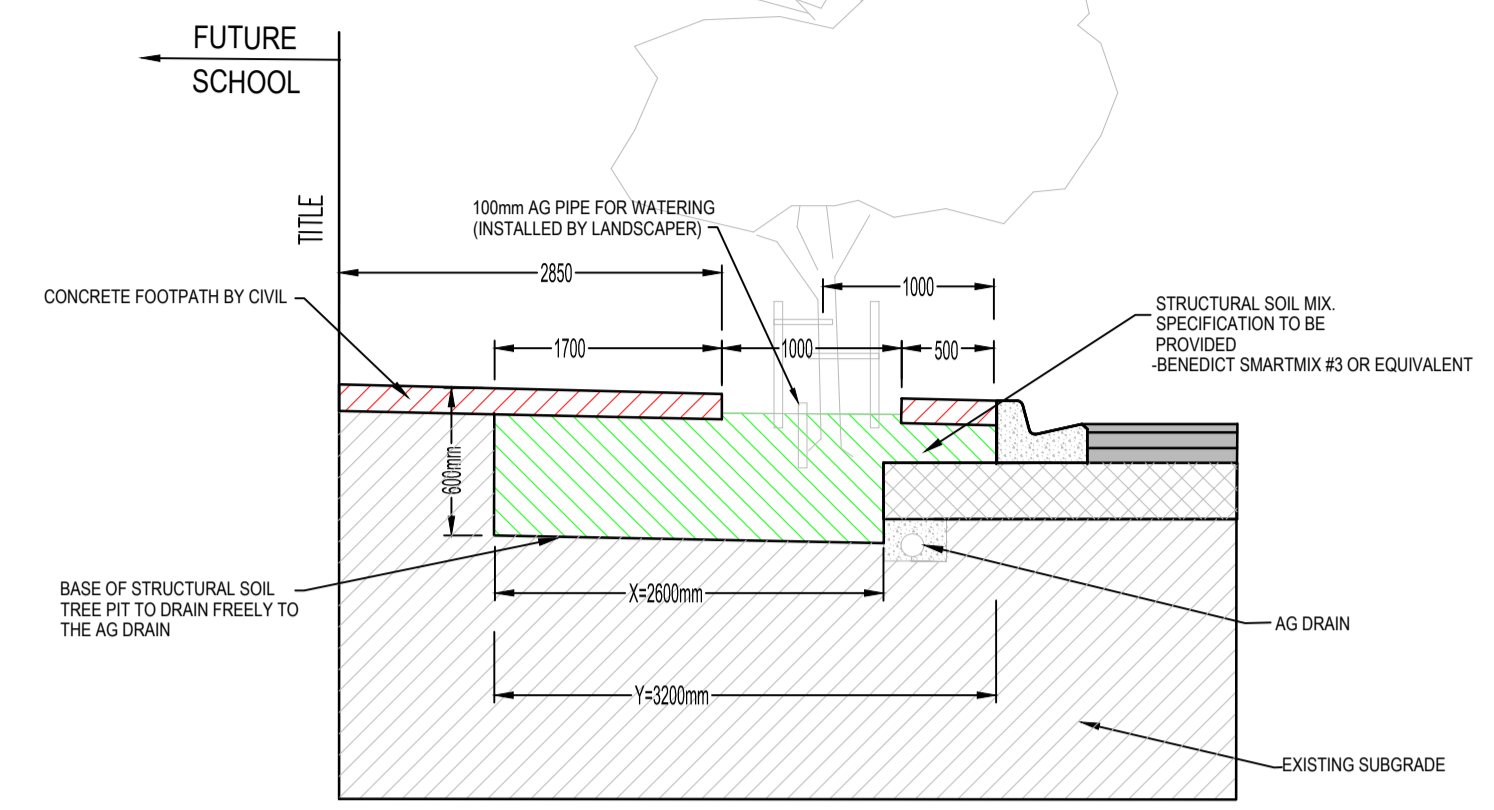
Easement within front setback of Lots 932-940 in accordance with BSWMP approval (Not drawn to scale).

Footpath over Veerings Road at Blunson Road must be realigned (generally as per the indicative sketch in the cover letter with this FLP approval), to be shown with detail design plans.

PLANNING & ENVIRONMENT ACT 1987
WHITTLESEA PLANNING SCHEME
 Planning Permit No: 716630 (Amendment)
ENDORSED PLAN
 Endorsed to show compliance with Condition (s) 3
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 Sheet 1 of 2 Date: 07/05/2021

Shared path to be relocated to service Lots 932-940 (generally as per the indicative sketch in the cover letter with this FLP approval), and to be offset approximately 0.5m from the retained dry stone wall.

The Shared path crossing of Shoreditch Street must be constructed to cross at 90 degrees to the road centreline. The 90 degree crossing must be shown on the detail design plans.



PRELIMINARY

SERVICE OFFSETS AND LOCATION TABLE

ROAD NAME	ROAD RESERVE	SIDE	POTABLE WATER		NON-POTABLE WATER		GAS		ELECTRICITY				TELECOMMUNICATIONS		BOK	
			OFFSET	SIDE	OFFSET	SIDE	OFFSET	POLE	U/G CABLE	SIDE	OFFSET	SIDE	OFFSET	SIDE	SIDE	
VEARINGS ROAD	20.6m	W	2.80	W	2.30	W	1.80	0.90*	W	4.00	W	3.50	4.65 E	6.05 W		
LAKOYA AVENUE	18m	N	3.10	N	2.60	N	2.10	0.90*	S	2.60	S	1.80	5.20 N	5.20 S		
RUNGRADO VIEW	16m	S	3.10	S	2.60	S	2.10	0.90*	N	2.60	N	1.80	4.05 N	4.35 S		
GATWOOD STREET	16m	E	3.10	E	2.60	E	2.10	0.90*	W	2.60	W	1.80	4.35 E	4.05 W		
LAVELLE PLACE	16m	S	3.20	S	2.70	S	2.20	0.90*	N	2.60	N	1.85	4.05 N	4.35 S		
LOTS 932 TO 940	-	E	Ex 2.55	E	Ex 2.10	E	Ex 1.70	-	E	Ex 3.55	E	Ex 3.10	-	-		

1. TELEPHONE AND ELECTRICITY CABLES ARE TO BE CONSTRUCTED IN A COMMON TRENCH IN ACCORDANCE WITH ELECTRICITY AUTHORITY STANDARD DRAWINGS
 2. GAS AND WATER MAINS ARE TO BE CONSTRUCTED IN A COMMON TRENCH
 3. * DENOTES OFFSET FROM BACK OF KERB

The following general notations apply to the approval of this FLP:

- Limit of Works for Stage 9 must be clearly identified on the detail design plans.
- Please match line and levels with existing roads at both EXISTING STAGE 3 make good at civil stage.
- Design and location of paths, gaps in dry stone wall and stone wall for reconstruction, retention, restoration or removal must be identified with the detailed design submissions. Detail design submissions showing this must be reviewed by Council's Growth Area Development Assessment Department as part of this civil and/or landscape plan assessment to confirm compliance with the endorsed Dry Stone Wall Management Plan.
- In accordance with the existing Veerings Road Delivery Plan, the western side of Veerings Road north of Blunson Road is to be confirmed with Stage 9 civil plans, including location of paths and wall retention/removal.
- Veerings Road "green link" area and paths and details are to be generally as shown on the indicative sketch plan included with the cover letter with this FLP, subject to any more specific notations or details confirmed as part of the detail design assessment.

WARNING
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- ATTENTION TO CONTRACTOR
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DIGITAL PLAN, PROVIDED FOR SETOUT PURPOSES, MATCHES THE TBM COORDINATES SHOWN.
 - Contractor to ensure that the site is pegged by a licenced surveyor and/or set out checked by a licenced surveyor prior to underground infrastructure being installed.
 - Where concrete works about a sewer access chamber surround or similar structure, an expansion joint of approved material shall be provided between the two faces.

SYMBOL LEGEND

Drains	Prop	Prev Stage	Ex/Natural/FS Level	+28.57
Sewer < 3000	S	S	FS @ Building Line	+BL28.57
Sewer > 3000	S	S	Top/Toe of Batter	+TOP28.57
Water (DW)	W	W	Top Ret. Wall Level	+TW28.57
Water (NDW)	W	W	100yr Flood Level	+FL28.57
House Drain	H	H	Fill Proposed (<0.3m±0.3m)	
Property Inlet	I	I	Cut Proposed	
Street Sign	St	St	Asphalt Surface Prop	
PSM	PSM	PSM	Concrete Surface Prop (Paths/Driveways/Slabs)	
Rock Ret Wall	R	R	Tree To Be Removed	X
Sloped Ret Wall	RS	RS	Tree To Be Retained with Tree Protection Zone (TPZ)	Drop
Conduits 50mm	GW	GW		
Conduits 100mm	W100	W100		
Street Tree without/with Passive Irrigation (Refer Detail)	T	T		
Ex Drains	Ex-D	Ex-D		
Ex Water/DW/NDW	Ex-W	Ex-W		
Ex Sewer/Gas	Ex-S	Ex-S		
Ex Elec/Comm	Ex-E	Ex-E		

FUNCTIONAL LAYOUT PLAN

LEGEND

- CAR SPACE FOR EACH LOT SHOWN
- OVERLAND FLOW PATH 1 IN 100 YR SHOWN

breese pitt dixon pty. ltd.
 land surveyors civil engineers
 1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310

RATHDOWNE ESTATE STAGE 9
 FUNCTIONAL LAYOUT PLAN

MELWAY REF. 388 C-10
 SURVEY BPD
 DESIGN M.A.
 DRAWN M.A.

AMENDMENTS

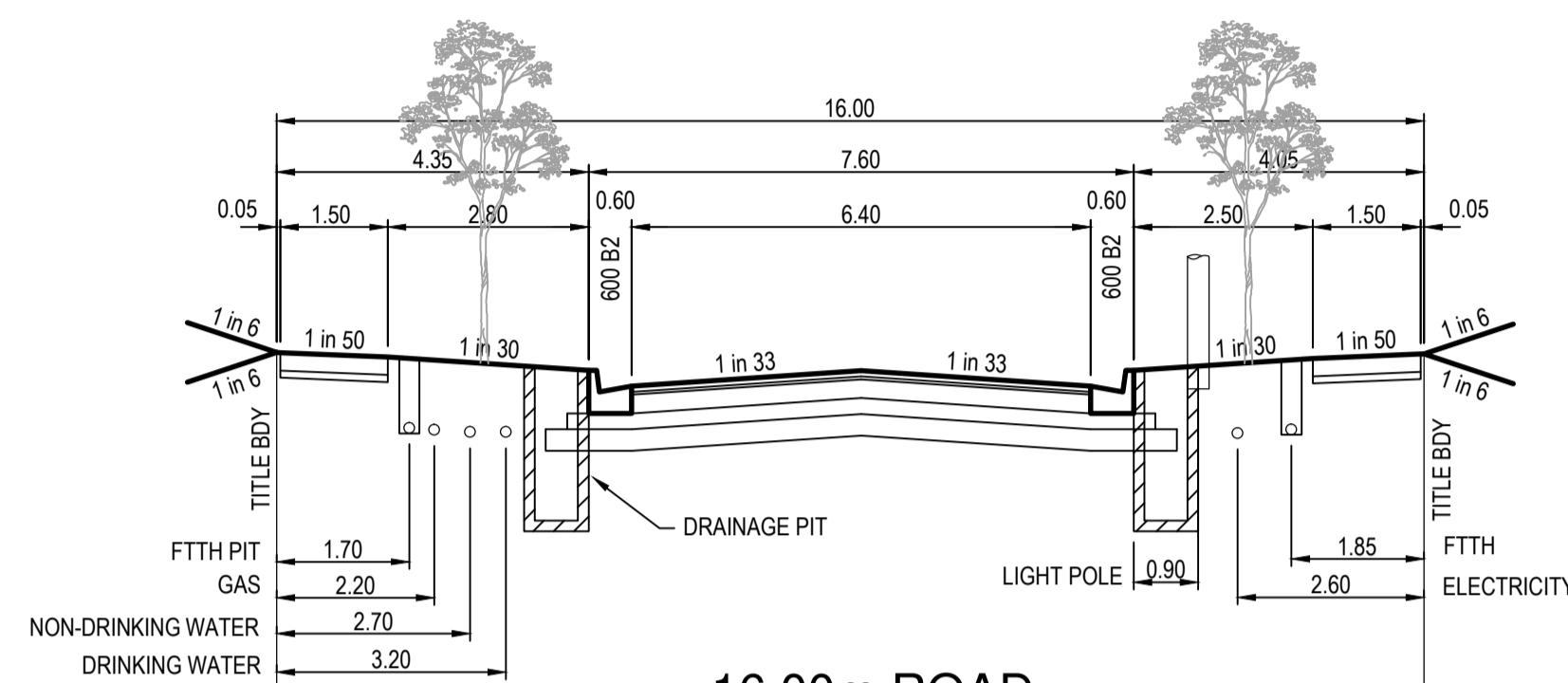
NO.	DATE	REMARKS

CHECKED SCALE AS SHOWN DATUM AHD DATE NOV '20 SHEET 1 OF 3

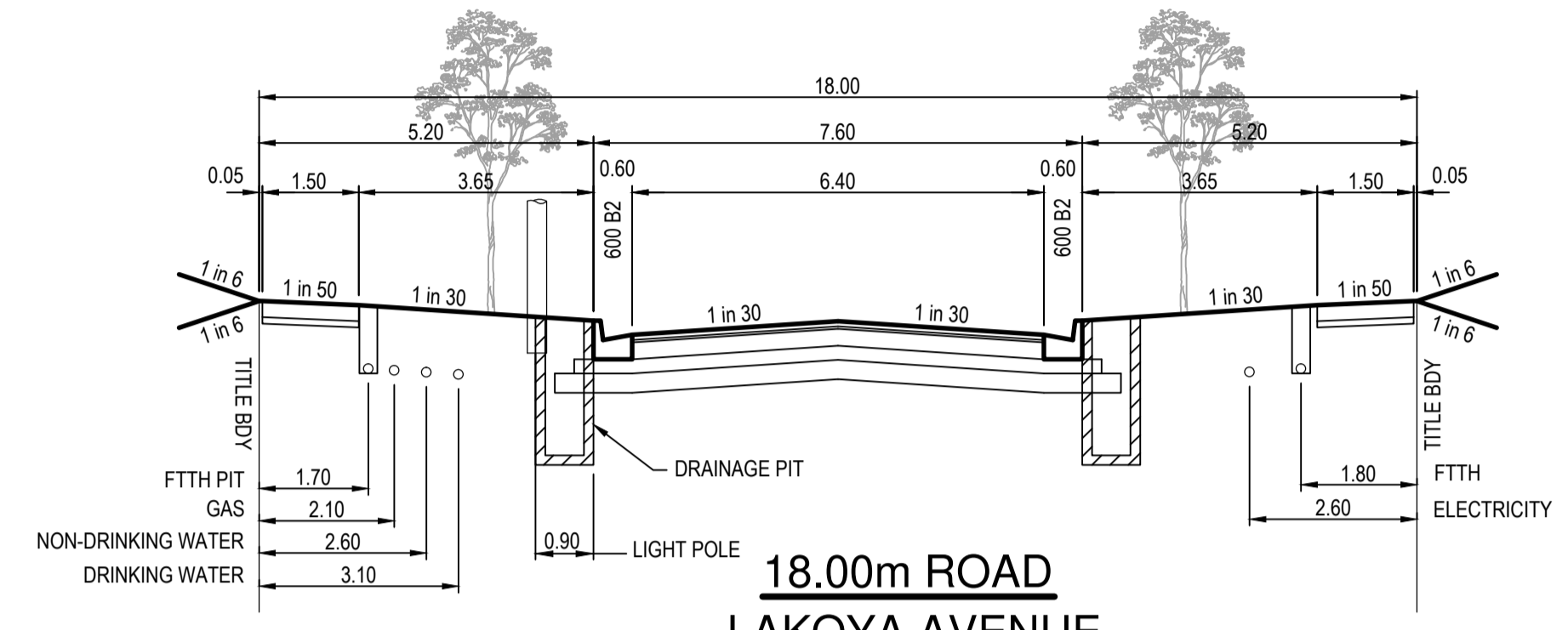


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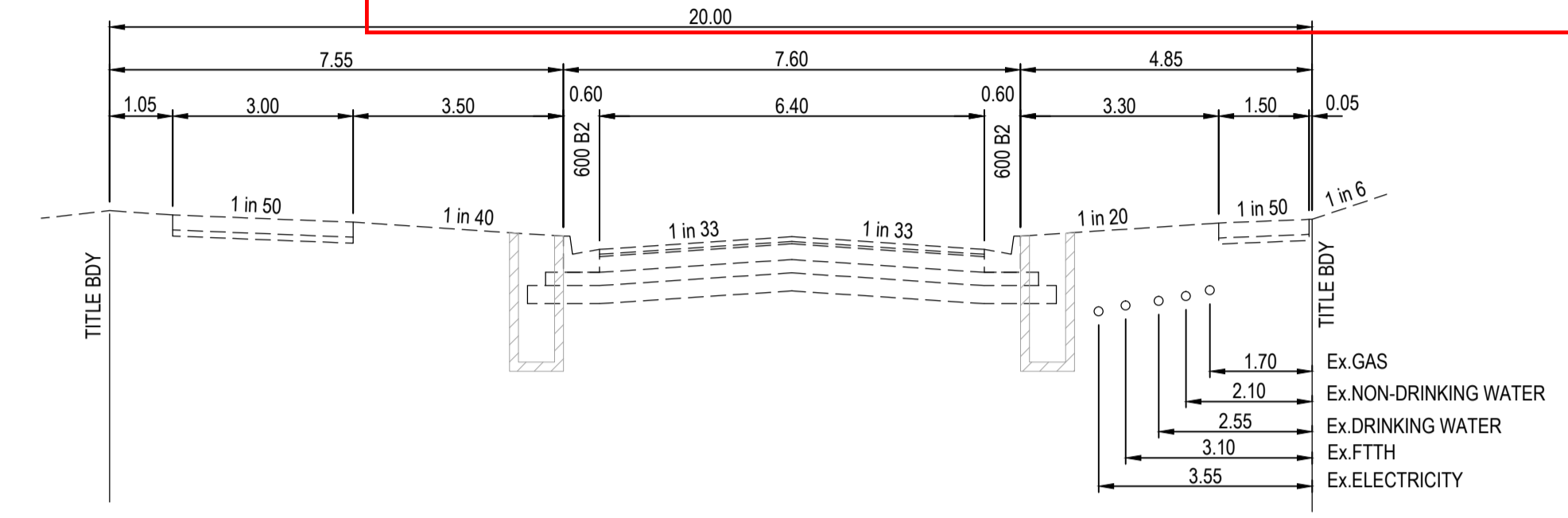
PLANNING & ENVIRONMENT ACT 1987
WHITTLESEA PLANNING SCHEME
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 Sheet 2 of 2 Date: 07/05/2021



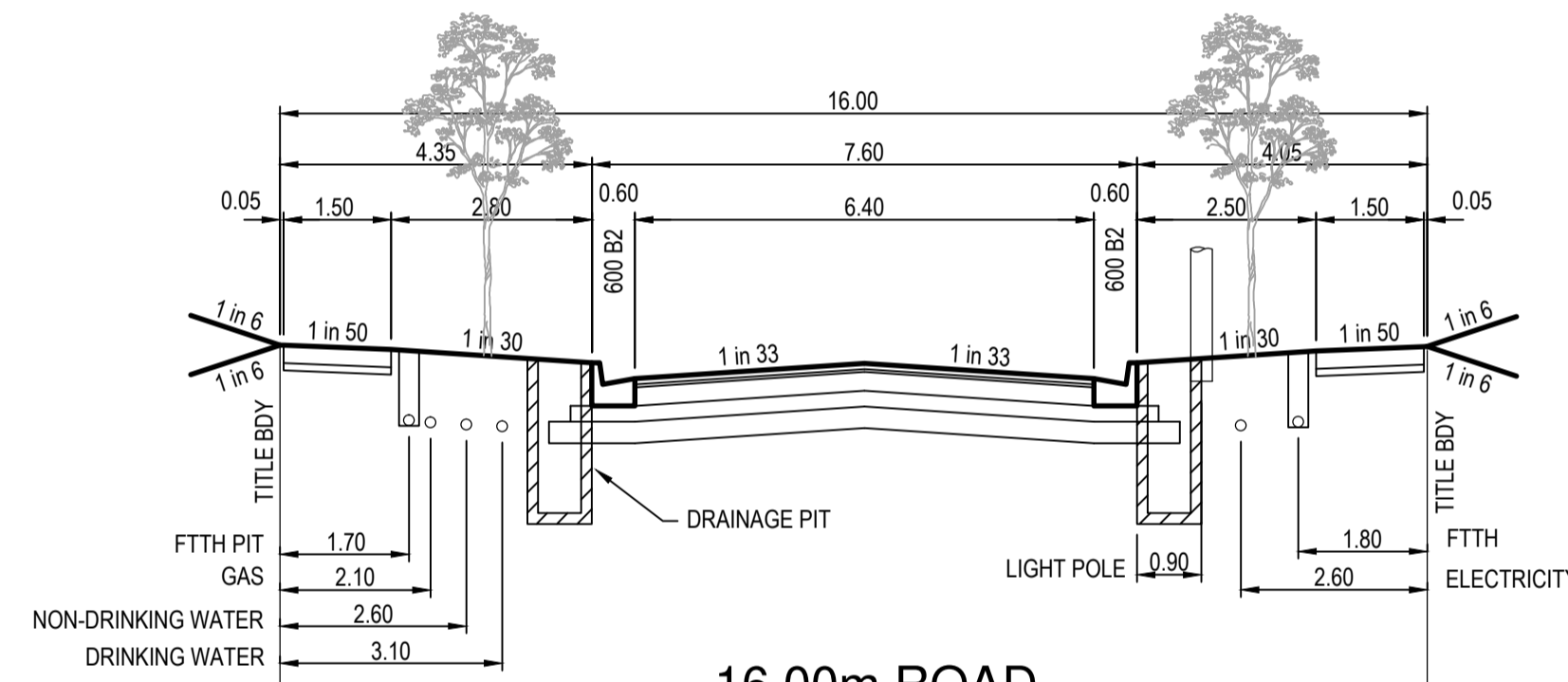
16.00m ROAD
LAVELLE PLACE
 LOCAL ACCESS STREET - LEVEL 1



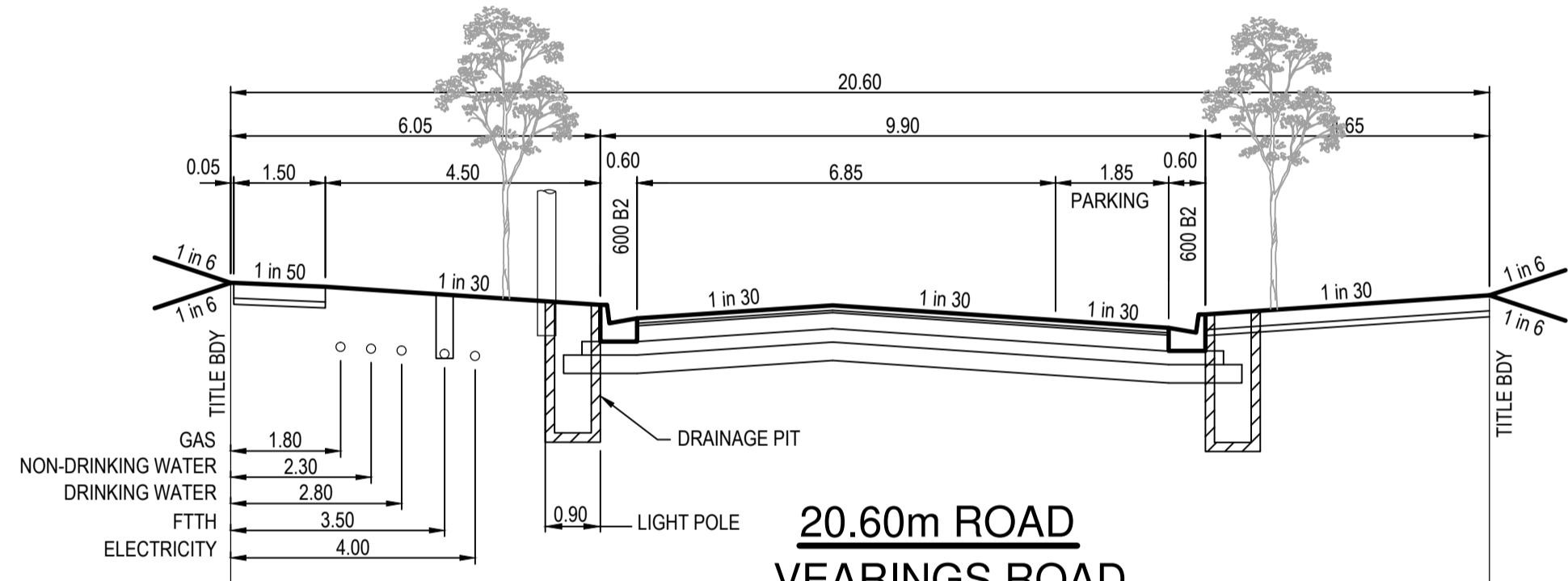
18.00m ROAD
LAKOYA AVENUE
 LOCAL ACCESS STREET - LEVEL 1



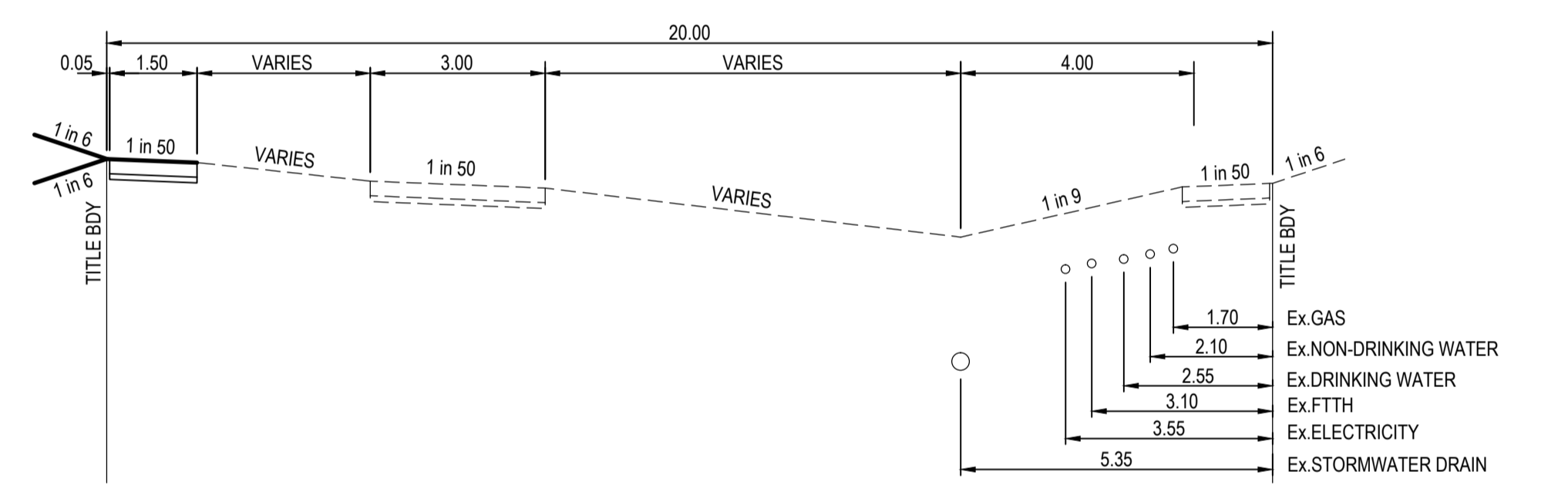
20.00m ROAD
VEARINGS ROAD (NORTH OF BLUNSDON ROAD)
EXISTING AMBER ESTATE STAGE 7
 LOCAL ACCESS STREET - LEVEL 1



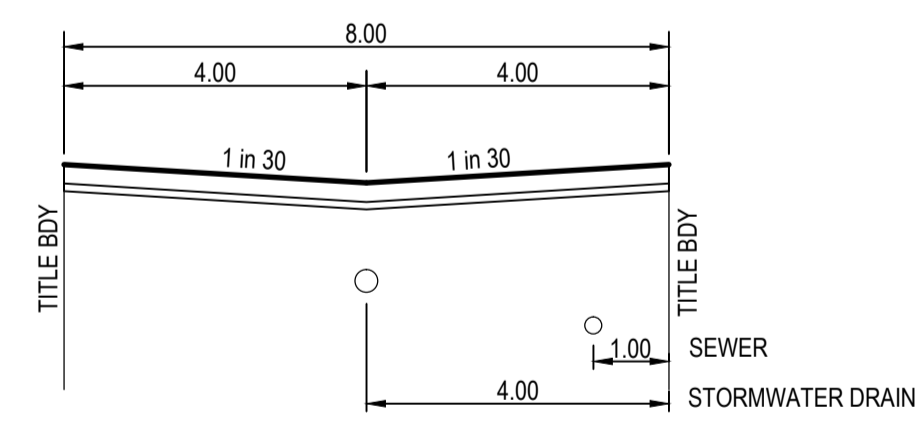
16.00m ROAD
RUNGRADO VIEW & GATWOOD STREET
 LOCAL ACCESS STREET - LEVEL 1



20.60m ROAD
VEARINGS ROAD
 LOCAL ACCESS STREET - LEVEL 1



20.00m ROAD
VEARINGS ROAD (GREEN LINK)
EXISTING AMBER ESTATE STAGE 7



8.00m ROAD
LINDA LANE
 LOCAL ACCESS LANE

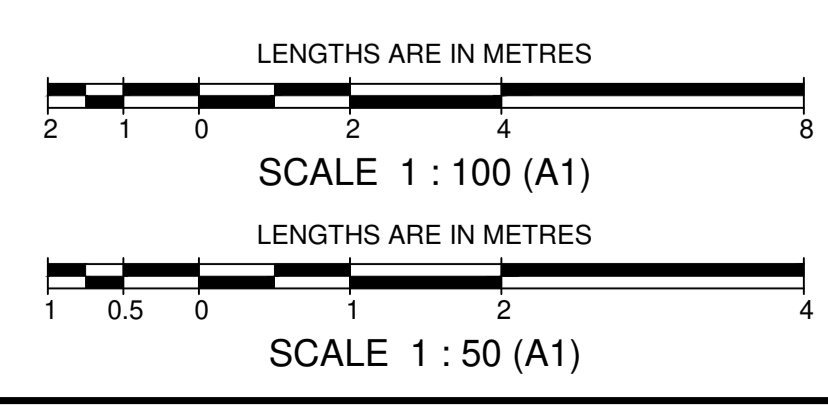
See also notations on Sheet 1.
 Notations may especially impact cross section detail shown for Vearings Road and require changes as part of detail design.

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SYMBOL LEGEND	
Drains	Prop
Sewer < 3000	S
Sewer ≥ 3000	S
Water (DW)	W
Water (NDW)	W
House Drain	H
Property Inlet	H
Street Sign	+
PSM	+
Rock Ret Wall	+
Sleeper Ret Wall	+
Conduits 50mm	GW
Conduits 100mm	GW
Street Tree without/with Passive Irrigation (Refer Detail)	+
Ex Drains	Ex W
Ex Water DW/NDW	Ex W
Ex Sewer/Gas	Ex S
Ex Elect/Comm	Ex E
Ex/Natural/FS Level	+28.57
FS @ Building Line	+BL28.57
Top/Toe of Batter	+TOP28.57
Top Ret. Wall Level	+TW28.57
100yr Flood Level	+FL28.57
Fill Proposed (<0.3m) ≥ 0.3m	
Cut Proposed	
Asphalt Surface Prop	
Concrete Surface Prop (Paths/Driveways/Slabs)	
Tree To Be Removed	X
Tree To Be Retained with Tree Protection Zone (TPZ)	Drop

TYPICAL CROSS SECTIONS
 NOT TO SCALE

PRELIMINARY



AMENDMENTS			breese pitt dixon pty. ltd. land surveyors civil engineers	1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310		
VER	DATE				MELWAY REF. 388 C-10 SURVEY BPD DESIGN M.A. DRAWN M.A.	RATHDOWNE ESTATE STAGE 9 TYPICAL CROSS SECTIONS
REMARKS	CHECKED	SCALE AS SHOWN	DATUM AHD	DATE NOV '20	SHEET 2 OF 3	P4

19/11/2020 10:30 AM