

CORIDALE ESTATE

STAGE 15A

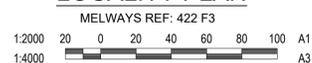
CITY OF GREATER GEELONG

GENERAL NOTES:

- THE WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT INFRASTRUCTURE DESIGN MANUAL STANDARD DRAWINGS AND GREATER GEELONG CITY COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS. WORKS TO BE CARRIED OUT TO THE SATISFACTION OF COUNCIL'S SUPERVISING OFFICER.
- THE CONTRACTOR IS RESPONSIBLE FOR SAFETY OF WORK ON SITE IN ACCORDANCE WITH APPROPRIATE LEGISLATION. THEY SHALL ERECT AND MAINTAIN ALL SHORING, PLANKING AND STRUTTING DEVICES, BARRICADES, SIGNS, LIGHTS, ETC. NECESSARY TO KEEP WORKS IN A SAFE AND STABLE CONDITION, AND TO PROTECT THE PUBLIC FROM HAZARDS ASSOCIATED WITH THE WORKS.
- THE CONTRACTOR SHALL:
 - COMPLY WITH THE "SAFETY PRECAUTIONS IN TRENCHING OPERATIONS" (CODE OF PRACTICE No.8, 1998)
 - NOTIFY WORK SAFE OF HIS INTENTION TO COMMENCE TRENCHING OPERATIONS WHERE TRENCHES ARE 1.5 METRES OR DEEPER.
 - ENSURE THAT THE MINE MANAGER OR HIS DEPUTY AS REQUIRED BY THE REGULATIONS IS IN ATTENDANCE WHEN TRENCHING OPERATIONS ARE IN PROGRESS.
- THE CONTRACTOR IS TO NOTIFY COUNCIL AND ALL SERVICE AUTHORITIES SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE LOCATION OF EXISTING SERVICES SHOULD BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCING ANY EXCAVATION BY CONTACTING ALL RELEVANT SERVICE AUTHORITIES. ANY EXISTING SERVICES SHOWN ON THE DRAWINGS ARE OFFERED AS A GUIDE ONLY AND ARE NOT GUARANTEED AS CORRECT.
- RED CLIM TREES MARKED ON THE APPROVED PLANS FOR REMOVAL MUST BE REMOVED IN ACCORDANCE WITH COUNCIL'S PLANNING PERMIT. NO EXCAVATION SHALL BE CARRIED OUT WITHIN THE TREE PROTECTION ZONE OF ANY EXISTING TREE WITHOUT WRITTEN APPROVAL FROM COUNCIL'S ENVIRONMENT DEPARTMENT.
- ALL ROAD CHAINAGES ARE MEASURED ALONG THE ROAD CENTRELINE EXCEPT KERB RETURNS AND COURTHHEADS, WHERE LIP OF KERB CHAINAGES ARE SPECIFIED. ALL DIMENSIONS AND RADII ARE GIVEN TO THE LIP OF KERB. DO NOT SCALE OFF THESE DRAWINGS, WRITTEN DIMENSIONS ONLY SHALL BE USED.
- ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
- ALL EXCAVATED OR FILLED AREAS OUTSIDE THE ROAD RESERVES TO BE STRIPPED OF TOPSOIL AND STOCKPILED PRIOR TO EARTHWORKS COMMENCING. THESE AREAS SHALL BE RESURFACED WITH A 150mm LAYER OF TOPSOIL AS SPECIFIED.
- NO TOPSOIL TO BE REMOVED FROM SITE.
- NO FILL OR STOCKPILING OF MATERIAL IS TO BE PLACED ON ANY RESERVE UNLESS DIRECTED BY THE SUPERINTENDENT.
- FILLING ON ALLOTMENTS AND UNDER ROAD PAVEMENTS TO HAVE LEVEL 1 SUPERVISION IN ACCORDANCE WITH AS3798-1996. INDIVIDUAL LOT CERTIFICATES ARE TO BE PROVIDED TO THE SUPERINTENDENT.
- FILLING UNDER DRIVEWAYS AND FOOTPATH IS TO BE APPROVED BY THE SUPERINTENDENT AND CONSTRUCTED IN LAYERS 150mm DEPTH. COMPACTION ACHIEVING A MINIMUM DENSITY RATIO OF 98% (STANDARD) IN ACCORDANCE WITH AS1288 CLAUSE 5.1.1.
- CUT AND FILL BATTER SLOPES ARE NOT TO EXCEED 1 in 6 UNLESS SHOWN OTHERWISE.
- ALL DRAINAGE PIPES ARE TO BE SPIGOT-SOCKET RUBBER RING JOINTED UNLESS STATED OTHERWISE.
- ALL DRAINAGE TRENCHES UNDER PARKING BAYS, DRIVEWAYS, FOOTPATHS AND BEHIND KERB & CHANNEL, SHALL BE BACKFILLED WITH CRUSHED ROCK AS SPECIFIED.
- ALL PIPES UNDER ROADS SHALL BE BACKFILLED WITH 2% STABILISED SAND TO SPRINGLINE. ABOVE THIS POINT, PROVIDE 20mm NOM. SIZE CLASS 3 FINE CRUSHED ROCK (WETMIX) COMPACTED TO 98% MODIFIED COMPACTION IN 150mm MAXIMUM LAYER.
- PROPERTY INLETS AS PER INFRASTRUCTURE DESIGN MANUAL (IDM) STANDARD DRAWING SD 520 ARE TO BE LOCATED 1.0m FROM LOW SIDE BOUNDARY UNLESS SHOWN OTHERWISE.
- ALL HOUSE DRAIN CONNECTIONS ARE TO BE LOCATED NO CLOSER THAN 6.0m FROM THE SIDE BOUNDARY OR FROM EASEMENT ALONG THE SIDE BOUNDARY UNLESS NOTED OTHERWISE AND CONNECTED DIRECTLY TO UNDERGROUND DRAIN OR PIT. HOUSE DRAIN LOCATION TO BE MARKED (50mm STAMPED IMPRESSION) ON THE TOP OF THE KERB.
- SUBSOIL DRAINS SHALL BE INSTALLED BEHIND OR BELOW ALL KERB AND CHANNEL.
- CONDUIT LOCATIONS ARE SUBJECT TO AMENDMENT AND CONDUITS SHALL NOT BE LAID UNTIL WRITTEN APPROVAL IS GIVEN BY THE SUPERINTENDENT. CONDUITS TO BE EXTENDED TO PROPERTY LINE AND ARE REQUIRED WHEN CONNECTIONS EXTEND UNDER ROAD PAVEMENT, FOOTPATH OR OTHER INFRASTRUCTURE. BOTH KERBS ARE TO BE MARKED (50mm STAMPED IMPRESSION) WITH THE LETTERS E (ELECTRICAL), G (GAS), T (TELEPHONE), W (WATER) AND C (COUNCIL COMMUNICATION) ABOVE CONDUIT LOCATION.
- ALL SERVICING TRENCHES UNDER ROADS, DRIVEWAYS, FOOTPATHS ETC. ARE TO BE BACKFILLED & COMPACTED WITH F.C.R. IN THE CASE OF TRENCHES UNDER ROADS WHERE BACKFILLING HAS NOT ACHIEVED THE SPECIFIED COMPACTION OR SHOWS EXCESSIVE MOVEMENT UNDER PROOF ROLLING, THE BACKFILLING SHALL BE REMOVED AND REPLACED WITH 2% STABILISED COMPACTED F.C.R.
- NO COMMUNICATION PITS ARE TO BE LOCATED IN THE FOOTPATH.
- VEHICULAR CROSSINGS TO BE LOCATED CLEAR OF DRAINAGE PITS, SEWER MAINTENANCE HOLES AND EXISTING TREES. VEHICLE CROSSINGS TO BE 1m FROM PROPERTY BOUNDARY OR EASEMENT UNLESS OTHERWISE SHOWN. VEHICULAR CROSSINGS TO BE CONSTRUCTED AS PER CITY OF GREATER GEELONG "DESIGN NOTES No.4" DATED AUGUST 2012 & IDM STANDARD DRAWINGS SD205 to SD265.
- ALL PEDESTRIAN CROSSINGS TO BE IN ACCORDANCE WITH INFRASTRUCTURE DESIGN MANUAL SD200.
- ALL STREET SIGNS TO BE IN ACCORDANCE WITH INFRASTRUCTURE DESIGN MANUAL STANDARD DRAWINGS. STREET SIGNS TO BE ATTACHED TO LIGHT POLES USING 'SINGLE DIRECTION COLLAR' OR '90° RIGHT ANGLE COLLAR' UNLESS SHOWN OTHERWISE.
- ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHOULD BE TO AS1742.2 AND AS1742.1 STANDARD RESPECTIVELY. TEMPORARY LINEMARKING TO BE PLACED DURING MAINTENANCE PERIOD PRIOR TO PLACEMENT OF WEARING COURSE. FINAL LINEMARKING TO BE LONG LIFE ROAD MARKING WITH LONGITUDINAL LINES IN THERMOPLASTIC AND TRANSVERSE MARKINGS IN COLD APPLIED.
- UPON COMPLETION OF CONSTRUCTION THE WHOLE SITE SHALL BE CLEANED, GRADED, ALL RUBBISH REMOVED AND LEFT IN A CLEAN AND TIDY CONDITION TO THE SATISFACTION OF THE SUPERINTENDENT.
- ALL AREAS OF SUBDIVISION EXPOSED OF VEGETATION, INCLUDING NATURE STRIPS, LOTS AND RESERVES ARE TO BE FULLY GRASSED BY HYDRO MULCHING, WATERED AND MAINTAINED, UNTIL THE END OF MAINTENANCE PERIOD.
- ALL SUMPS IN PRECAST CONCRETE PITS ARE TO BE FILLED WITH CONCRETE FLUSH TO THE INVERT LEVEL OF THE OUTLET PIPE, UNLESS APPROVED OTHERWISE BY THE COUNCIL WORKS INSPECTOR.
- CITY OF GREATER GEELONG REQUIRES CCTV OF ALL DRAINAGE PIPES AND PITS, PRIOR TO THE ISSUE OF THE STATEMENT OF COMPLIANCE.
- ALL CONCRETE WORKS ARE TO BE PROVIDED IN ACCORDANCE WITH CITY OF GREATER GEELONG DESIGN NOTE 12 REQUIREMENTS INCLUDING THE CONSTRUCTION OF ALL FOOTPATH WITH A MINIMUM OF 32MPa CONCRETE.



LOCALITY PLAN



NOTE:
THE SITE OF WORKS IS SUBJECT TO THE PROVISIONS OF CULTURAL HERITAGE MANAGEMENT PLAN No. 15781. ALL WORKS AND PERSONNEL MUST OBSERVE THE REQUIREMENTS OF THE MANAGEMENT PLAN AT ALL TIMES.

NOTE:
WLRB5 MUST BE COMPLETED PRIOR TO STATEMENT OF COMPLIANCE OF STAGE 15A.

Drawing No.	Drawing Title	Revision
R100	COVER SHEET	0
R200	LAYOUT PLAN	0
R400	ROAD LONGITUDINAL SECTION	0
R500	ROAD CROSS SECTIONS - 1	0
R501	ROAD CROSS SECTIONS - 2	0
R600	DRAINAGE PIT SCHEDULE	0
R700	TYPICAL DETAILS	0
R701	SPS RESERVE DETAIL PLAN	0
R702	INTERIM O'HALLORAN'S ROAD DETAIL PLAN	0
R800	SIGNAGE & LINEMARKING PLAN	0

Name	Type	Easting	Northing	RL
TBM 61	STAR PICKET	269880.4000	5789262.7900	15.7000
TBM 77	RIVET IN KERB	269880.4400	5788974.1600	15.8300
TBM 78	RIVET IN KERB	269901.6400	5789163.2100	15.3000

Name	Easting	Northing	RL
MORANGHURK PM17	270000.0000	5790220.0000	14.0400
MORANGHURK PM122	269845.0320	5788675.9690	15.9270
MORANGHURK PM128	269998.2110	5790198.2930	13.6170

WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES
THE LOCATIONS OF UNDERGROUND & OVERHEAD SERVICES ARE APPROXIMATE ONLY & THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. LOCATE ALL UNDERGROUND SERVICES BEFORE COMMENCEMENT OF WORKS
DIAL 1100 BEFORE YOU DIG
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P:\2018\18014_205-245 CHALLORAN RD_LARA\18014_15A\DWG12_DRAWING\CAD\18014_15A_R100_COVER SHEET.DWG

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	15/10/21	CONSTRUCTION ISSUE	C.ROHDE	M.TROUNCE	T.PALIOS
A	18/08/21	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS

Communities Designed for Living

Suite 1, 2 Bloomsbury Street
Geelong, VIC, Australia 3220

DRAWING TITLE
**CORIDALE ESTATE - STAGE 15A
COVER SHEET**

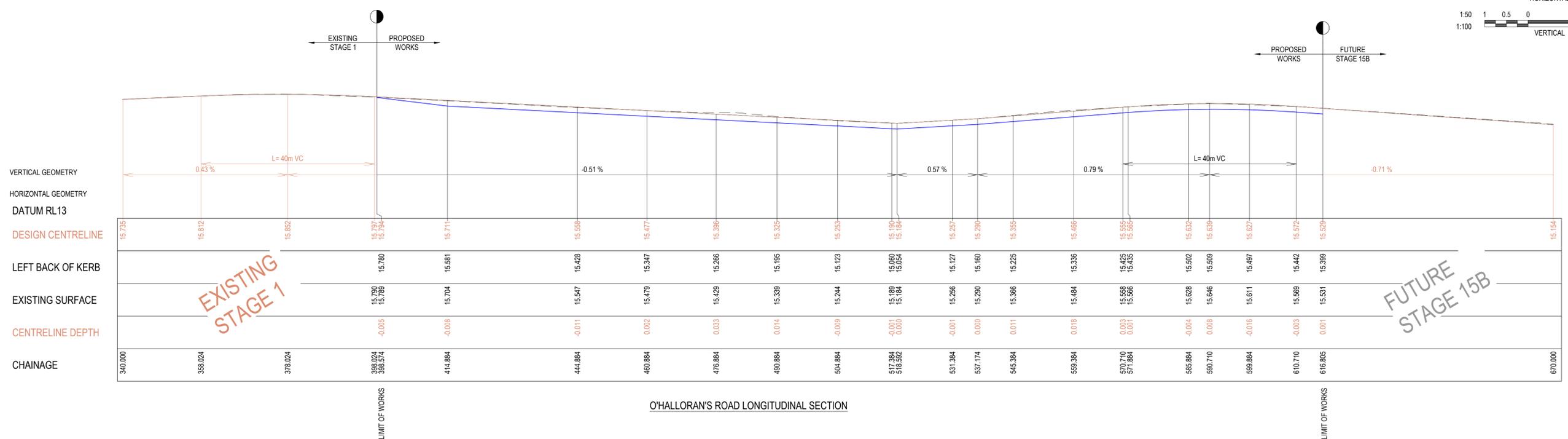
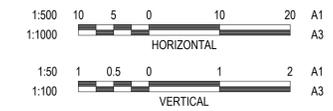
STATUS
**ISSUED FOR
CONSTRUCTION**

SCALE AT A1	DRAWN	DESIGNED
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PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	T.PALIOS	AUGUST 2021
PROJECT No.	DRAWING No.	REVISION
180014.15A	R100	0

WARNING
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LEGEND

	EXISTING SURFACE
	EXISTING CENTRELINE
	LEFT BACK OF KERB



O'HALLORAN'S ROAD LONGITUDINAL SECTION

NOTE: O'HALLORAN'S ROAD CENTRELINE IS EXISTING ACROSS THE FULL EXTENTS

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	15/10/21	CONSTRUCTION ISSUE	C.ROHDE	M.TROUNCE	T.PALIOS
A	18/08/21	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS

villawood
properties
Communities Designed for Living

creo
CONSULTANTS
Suite 1, 2 Bloomsbury Street
Geelong, VIC, Australia 3220

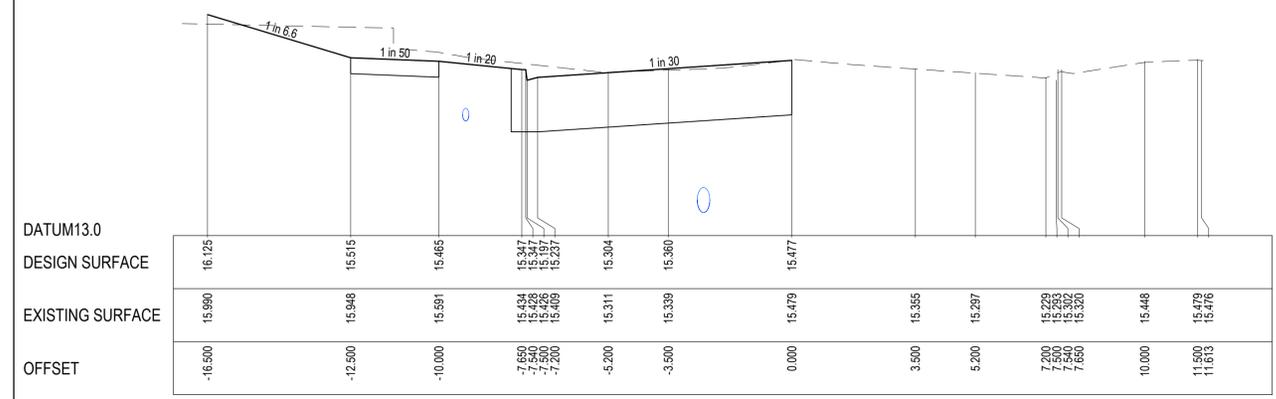
Coridale
LARA

CORIDALE ESTATE - STAGE 15A
ROAD LONGITUDINAL SECTION

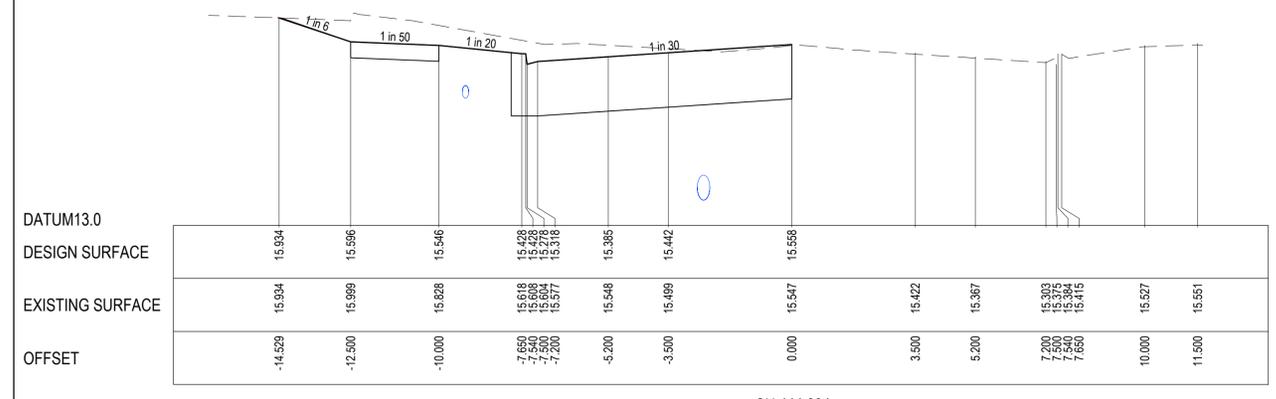
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	T.PALIOS	AUGUST 2021
PROJECT No.	DRAWING No.	REVISION
180014.15A	R400	0

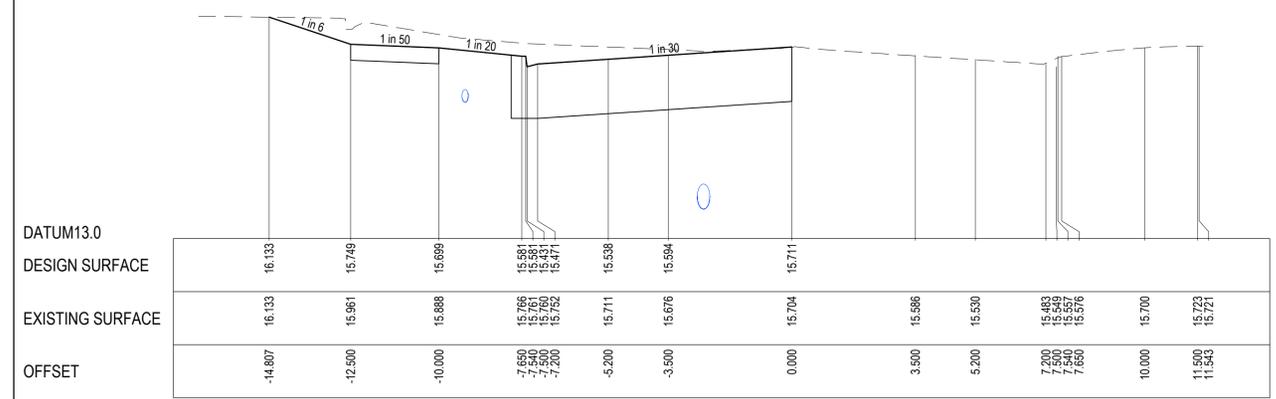
P:\2018\18014_205-345 CHALLENGERS RD_LARA\18014_15A\DWG\12 DRAFTING\CAD\18014_15A_R500 - ROAD CROSS SECTIONS.DWG



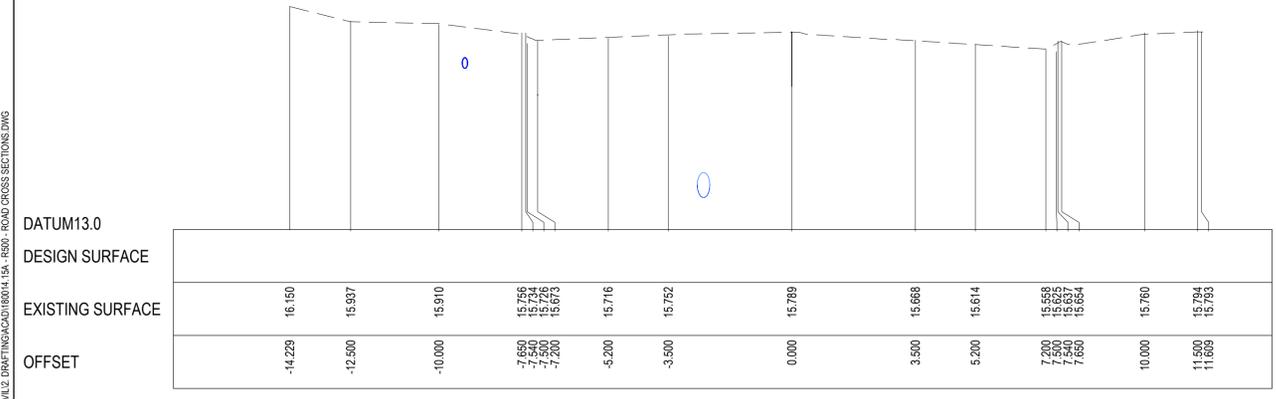
CH 460.884



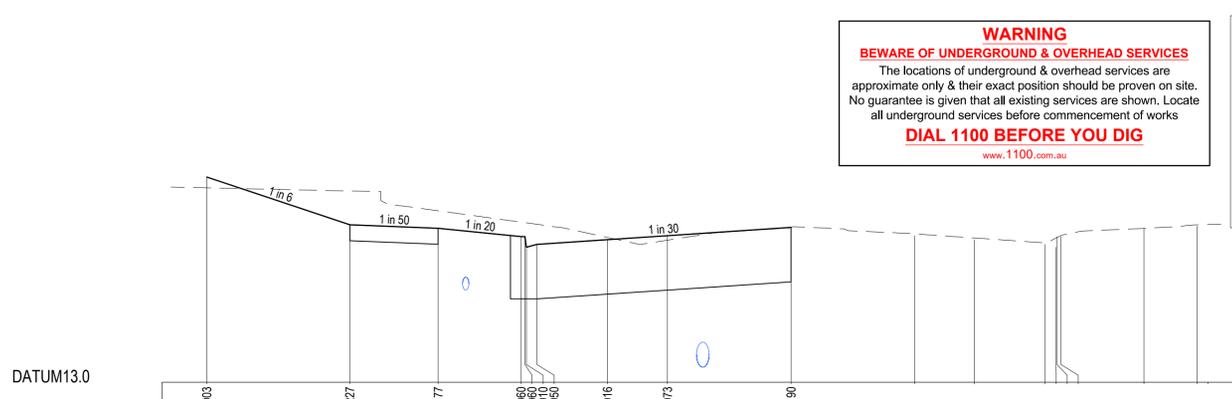
CH 444.884



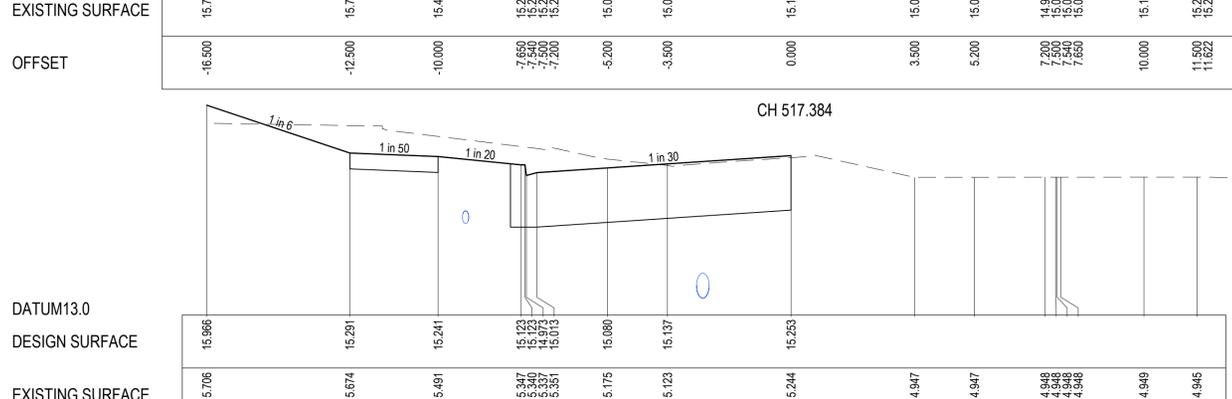
CH 414.884



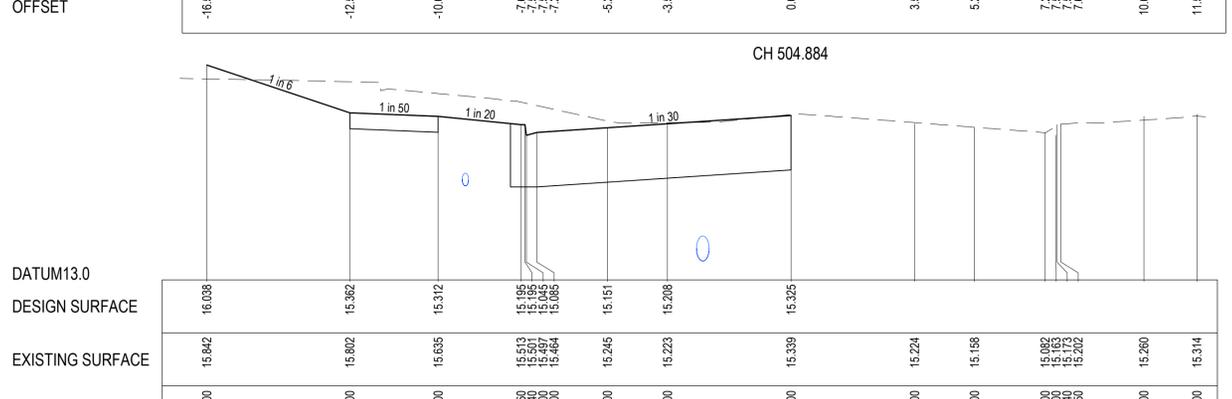
CH 398.574 (LIMIT OF WORKS)



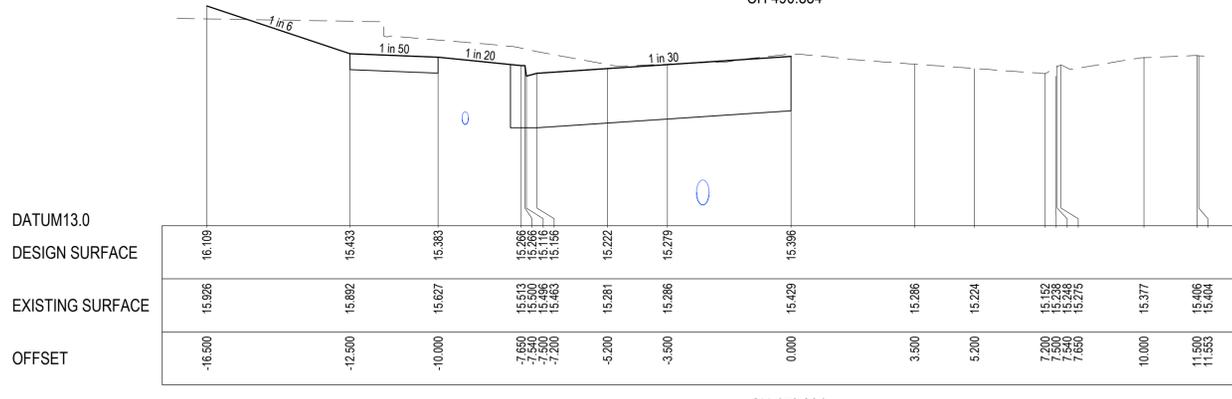
CH 517.384



CH 504.884



CH 490.884



CH 476.884

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CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

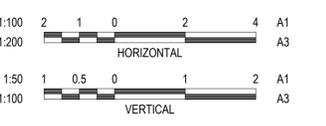
Endorsed Plan
 Planning Permit No: 496-2018, cert 15152
 Sheet 4 of 10
 Approved By Edwin Rowe
 Approved Date 2/12/2021

NOTE: THIS IS NOT A BUILDING APPROVAL

LEGEND

--- EXISTING SURFACE
 — DESIGN LINE
 [Hatched Box] SELECT FILL
 [Blue Circle] EXISTING WATER MAIN (APPROXIMATE LOCATION ONLY)

NOTE:
 "SELECT FILL" EXTENDING 200mm BELOW NATURAL SURFACE REQUIRED UNDER ALL PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. SELECT FILL IS TO BE TO LEVEL 1 STANDARD AND IN ACCORDANCE WITH SECTION 7.4 OF 'REPORT ON GEOTECHNICAL INVESTIGATION CORIDALE ESTATE' PREPARED BY DOUGLAS PARTNERS (FILE NAME: 87082.00.R.001.REV0, DATED 17/01/2020).



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	15/10/21	CONSTRUCTION ISSUE	C.ROHDE	M.TROUNCE	T.PALIOS
A	18/08/21	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS

CLIENT

Communities Designed for Living

PROJECT

Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

DRAWING TITLE

Coridale
 LARA

PROJECT

CORIDALE ESTATE - STAGE 15A
ROAD CROSS SECTIONS - 1
O'HALLORAN'S ROAD - SHEET 1

STATUS

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	T.PALIOS	AUGUST 2021
PROJECT No.	DRAWING No.	REVISION
180014.15A	R500	0

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GREATER GEELONG CITY COUNCIL
 PLANNING ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME

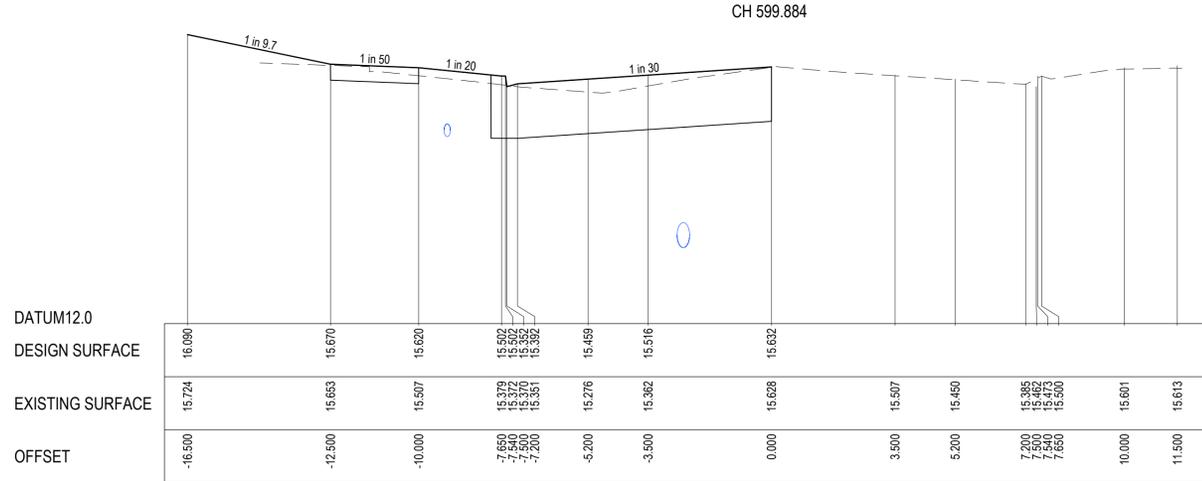
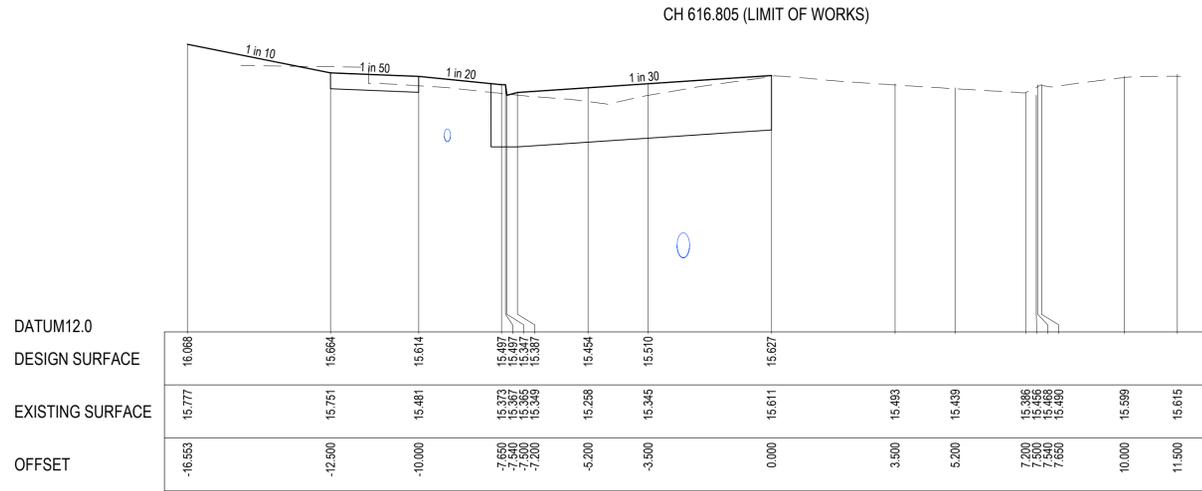
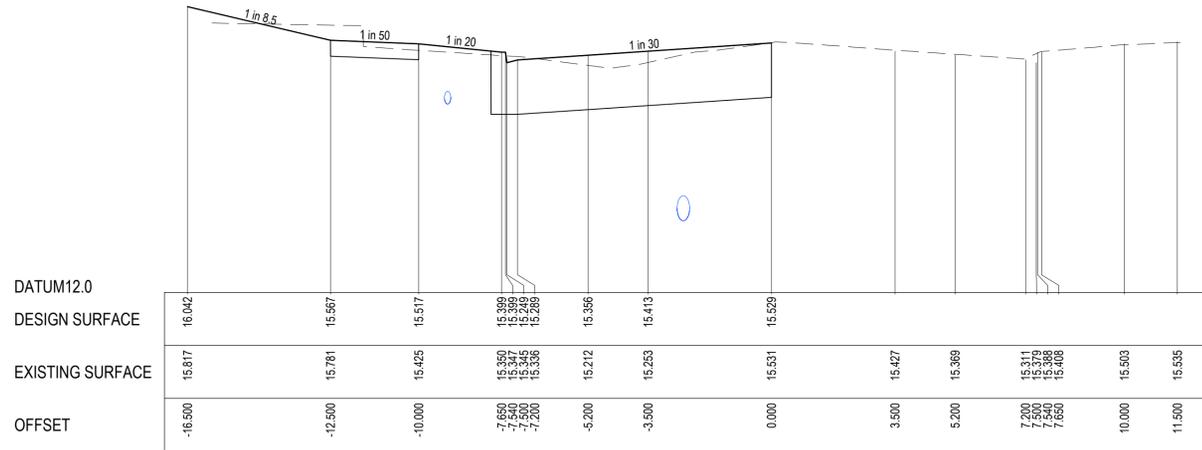
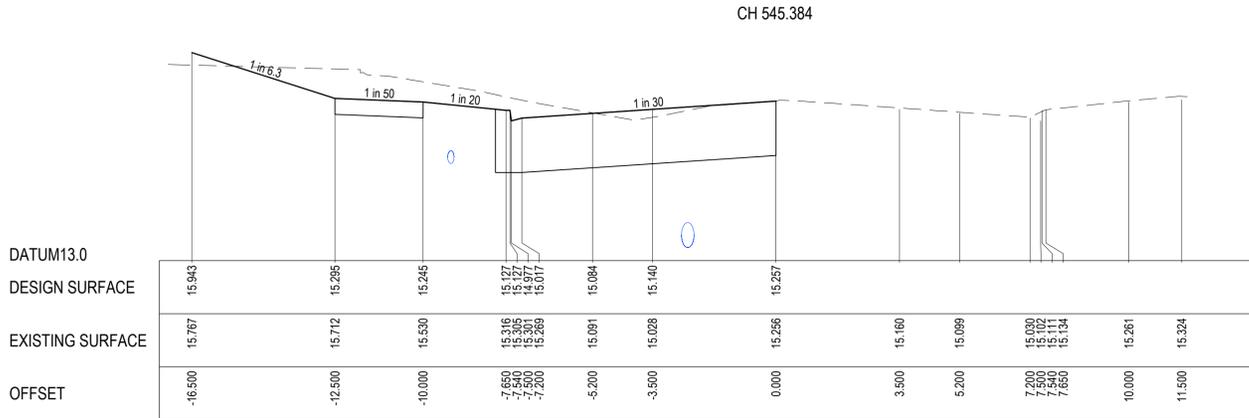
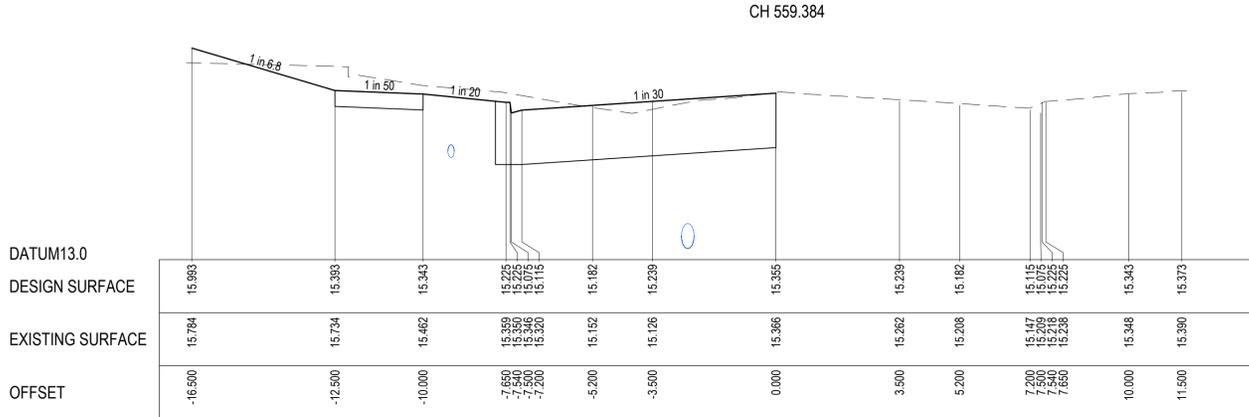
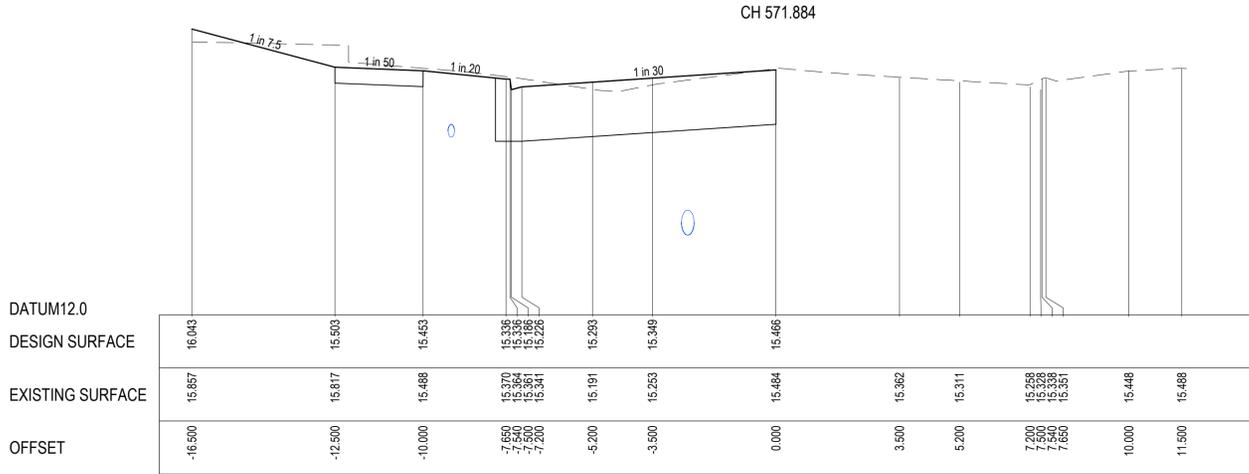
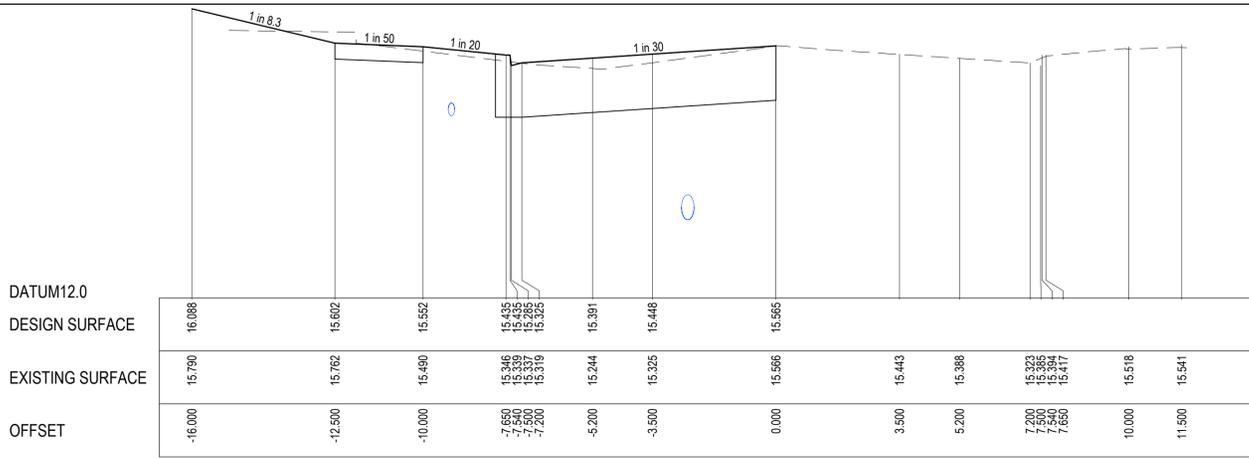
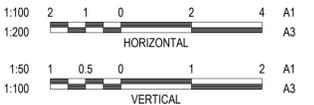
Endorsed Plan
 Planning Permit No: 496-2018, cert 15152
 Sheet 5 of 10
 Approved By Edwin Rowe
 Approved Date 2/12/2021

NOTE: THIS IS NOT A BUILDING APPROVAL

LEGEND

- EXISTING SURFACE
- DESIGN LINE
- ▨ SELECT FILL
- EXISTING WATER MAIN (APPROXIMATE LOCATION ONLY)

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P:\2018\18014_205-345 CHALLORAN'S RD_LARA\18014_15A\DWG\2 DRAWING\CAD\18014_15A_R500 - ROAD CROSS SECTIONS.DWG

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	15/10/21	CONSTRUCTION ISSUE	C.ROHDE	M.TROUNCE	T.PALIOS
A	18/08/21	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS

villawood
 properties
 Communities Designed for Living

creo
 CONSULTANTS
 Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

Coridale
 LARA

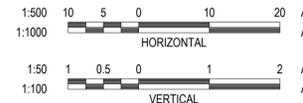
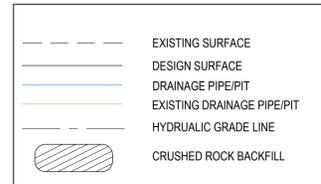
CORIDALE ESTATE - STAGE 15A
ROAD CROSS SECTIONS - 2
O'HALLORAN'S ROAD - SHEET 2

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	T.PALIOS	AUGUST 2021
PROJECT No.	DRAWING No.	REVISION
180014.15A	R501	0

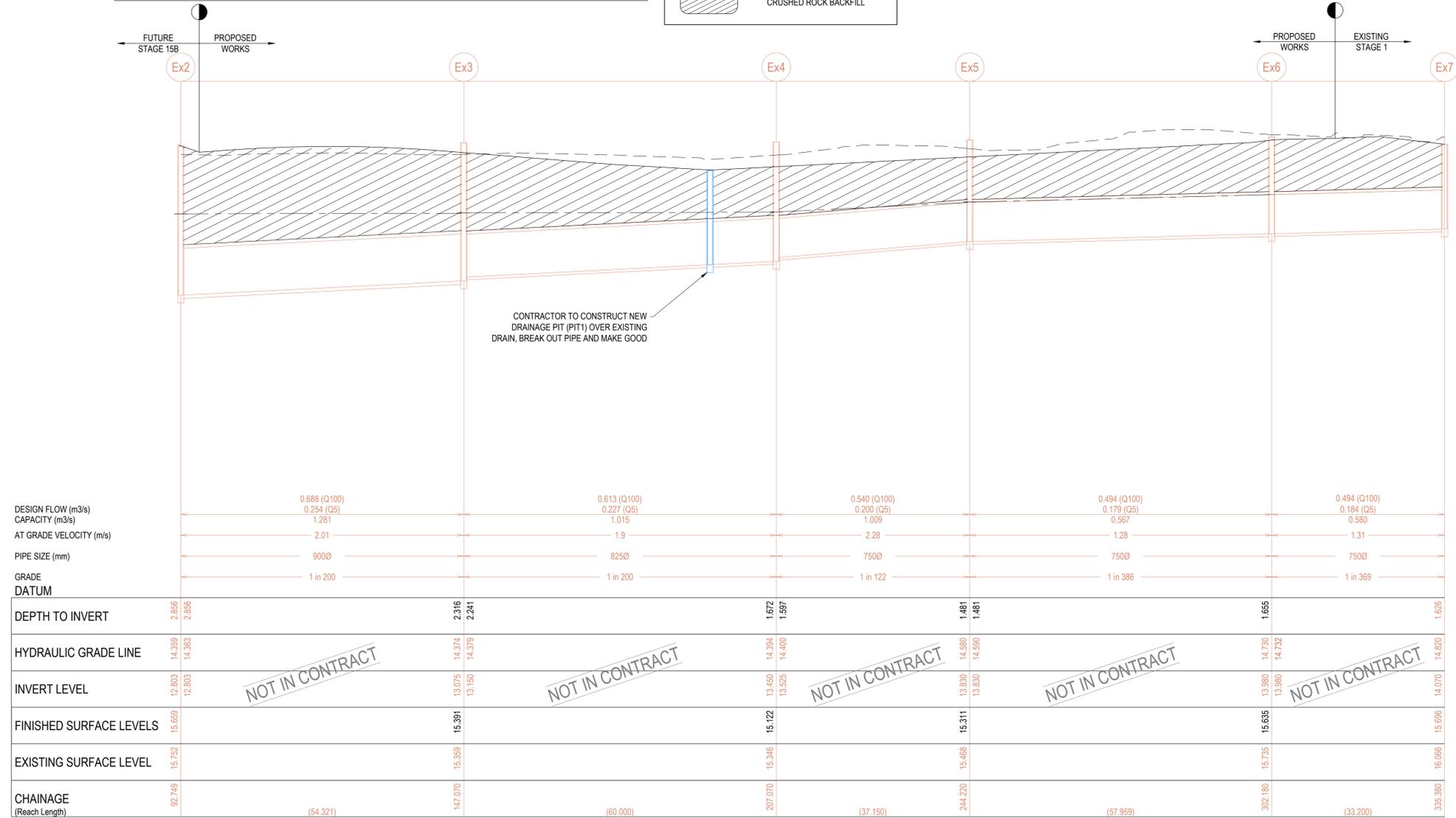
NOTE:
IN ACCORDANCE WITH C.O.G.G DESIGN NOTE 8 (DATED JANUARY 2020) EXISTING DRAINAGE LOCATED WITHIN PROPOSED STAGE WORKS ARE REQUIRED TO BE RE-CCTVD TO CONFIRM NO CONSEQUENTIAL DAMAGE HAS OCCURRED.

DRAINAGE PIPES
ALL STORMWATER DRAINAGE PIPES SHALL NOT BE SUBJECTED TO CONSTRUCTION TRAFFIC LOADING DURING CONSTRUCTION UNLESS THE PIPE STRENGTH CHARACTERISTICS HAVE BEEN COMPUTED AND APPROVED BY THE CONTRACTORS ENGINEER. COMPUTATIONS ARE TO ACCORD WITH AS.3725-1989, LOADS ON BURIED PIPES. CONCRETE PIPES DAMAGED DUE TO CONSTRUCTION LOADS SHALL BE REPAIRED AT THE CONTRACTORS COST.



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GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
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Endorsed Plan
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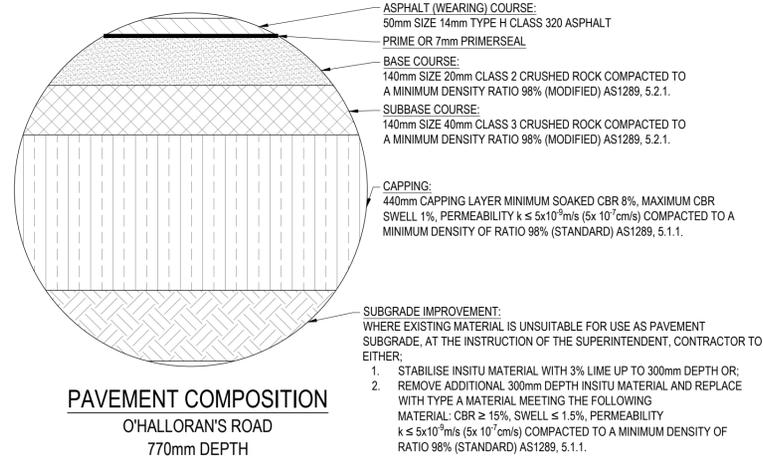
PIT NAME	TYPE	INTERNAL		INLET		OUTLET		EXISTING COVER LEVEL (m)	F.S.L. (m)	DEPTH(m)	STANDARD DRAWING	REMARKS
		WIDTH(mm)	LENGTH(mm)	DIAMETER(mm)	INVERT R.L.(m)	DIAMETER	INVERT R.L.(m)					
PIT1	DOUBLE SIDE ENTRY PIT	1050	1900	Ex.825	13.370	Ex.825	13.370	-	15.054	1.684	IDM SD 410 & 445	HAUNCHED TO 2No.600x900 COVERS. CONSTRUCT PIT OVER EXISTING DRAIN, BREAK OUT PIPE AND MAKE GOOD
Ex3	Ex.SIDE ENTRY PIT	1050	900	Ex.825	13.150	Ex.900	13.075	15.520	15.391	2.316	IDM SD 410 & 430	CUT DOWN EXISTING PIT TO SUIT FINISHED SURFACE LEVEL AND PROVIDE PERMANENT COVER.
Ex4	Ex.SIDE ENTRY PIT	1050	900	Ex.750	13.525	Ex.825	13.450	15.540	15.122	1.672	IDM SD 410 & 430	CUT DOWN EXISTING PIT TO SUIT FINISHED SURFACE LEVEL AND PROVIDE PERMANENT COVER.
Ex5	Ex.SIDE ENTRY PIT	1050	900	Ex.750	13.830	Ex.750	13.830	15.600	15.311	1.481	IDM SD 410 & 430	CUT DOWN EXISTING PIT TO SUIT FINISHED SURFACE LEVEL AND PROVIDE PERMANENT COVER.
Ex6	Ex.SIDE ENTRY PIT	1050	900	Ex.750	13.980	Ex.750	13.980	15.720	15.635	1.655	IDM SD 410 & 430	CUT DOWN EXISTING PIT TO SUIT FINISHED SURFACE LEVEL AND PROVIDE PERMANENT COVER.

NOTE:
PIT COVERS ARE TO BE PROVIDED IN ACCORDANCE WITH CITY OF GREATER GEELONG DESIGN NOTE 13. ALL PITS WITHIN ROAD RESERVE ARE TO BE CLASS C FIBREGLASS REINFORCED PLASTIC (FRP) UNLESS AGREED OTHERWISE.

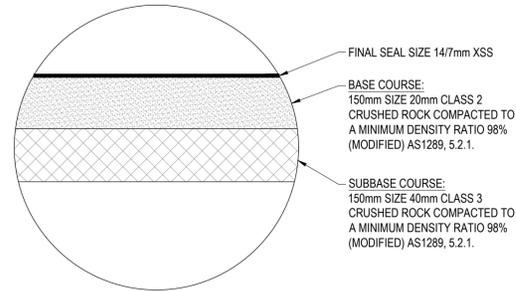
NOTE:
ALL FIBREGLASS REINFORCED PLASTIC (FRP) PIT COVERS ARE TO BE GREY UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.

P:\2018\18014_205-345 CHALLOWAYS RD_LARA\18014_15A\DWG\12 DRAINING\CAD\18014_15A_R600_DRAINAGE LONG SECTIONS.DWG

<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> <th>ISSUE DESCRIPTION</th> <th>DRAWN</th> <th>CHECKED</th> <th>APPROVED</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>15/10/21</td> <td>CONSTRUCTION ISSUE</td> <td>C.ROHDE</td> <td>M.TROUNCE</td> <td>T.PALIOS</td> </tr> <tr> <td>A</td> <td>18/08/21</td> <td>ISSUED FOR APPROVAL</td> <td>C.ROHDE</td> <td>M.TROUNCE</td> <td>T.PALIOS</td> </tr> </tbody> </table>	REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED	0	15/10/21	CONSTRUCTION ISSUE	C.ROHDE	M.TROUNCE	T.PALIOS	A	18/08/21	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS	<p>Communities Designed for Living</p>	<p>Suite 1, 2 Bloomsbury Street Geelong, VIC, Australia 3220</p>		<p>PROJECT</p> <p>CORIDALE ESTATE - STAGE 15A DRAINAGE PIT SCHEDULE</p>	<p>DRAWING TITLE</p> <p>ISSUED FOR CONSTRUCTION</p>	<p>STATUS</p>	<table border="1"> <tr> <td>SCALE AT A1</td> <td>DRAWN</td> <td>DESIGNED</td> </tr> <tr> <td>AS SHOWN</td> <td>C.ROHDE</td> <td>C.ROHDE</td> </tr> <tr> <td>PROJECT ENGINEER</td> <td>PROJECT MANAGER</td> <td>DATE FIRST ISSUE</td> </tr> <tr> <td>M.TROUNCE</td> <td>T.PALIOS</td> <td>AUGUST 2021</td> </tr> <tr> <td>PROJECT No.</td> <td>DRAWING No.</td> <td>REVISION</td> </tr> <tr> <td>180014.15A</td> <td>R600</td> <td>0</td> </tr> </table>	SCALE AT A1	DRAWN	DESIGNED	AS SHOWN	C.ROHDE	C.ROHDE	PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE	M.TROUNCE	T.PALIOS	AUGUST 2021	PROJECT No.	DRAWING No.	REVISION	180014.15A	R600	0
REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED																																						
0	15/10/21	CONSTRUCTION ISSUE	C.ROHDE	M.TROUNCE	T.PALIOS																																						
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PROJECT No.	DRAWING No.	REVISION																																									
180014.15A	R600	0																																									



PAVEMENT COMPOSITION
O'HALLORAN'S ROAD
770mm DEPTH

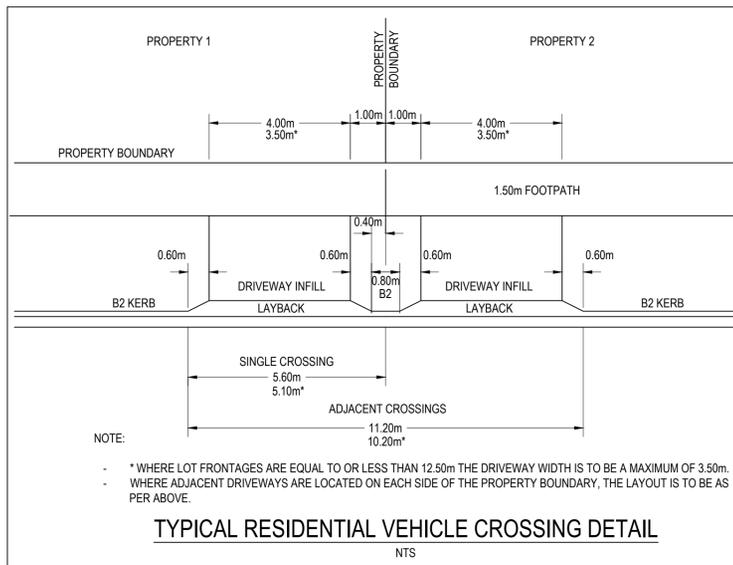
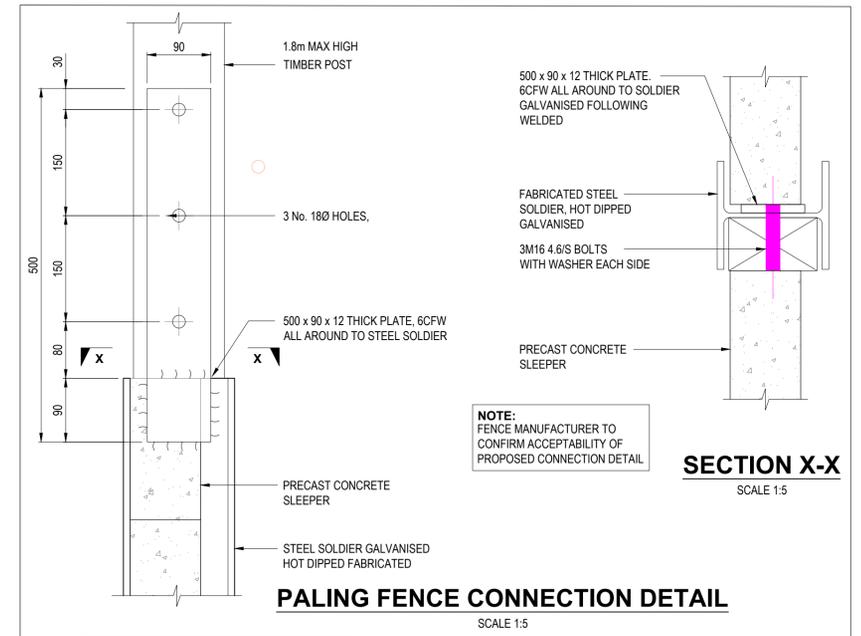


PAVEMENT COMPOSITION
O'HALLORAN'S ROAD WIDENING
300mm DEPTH

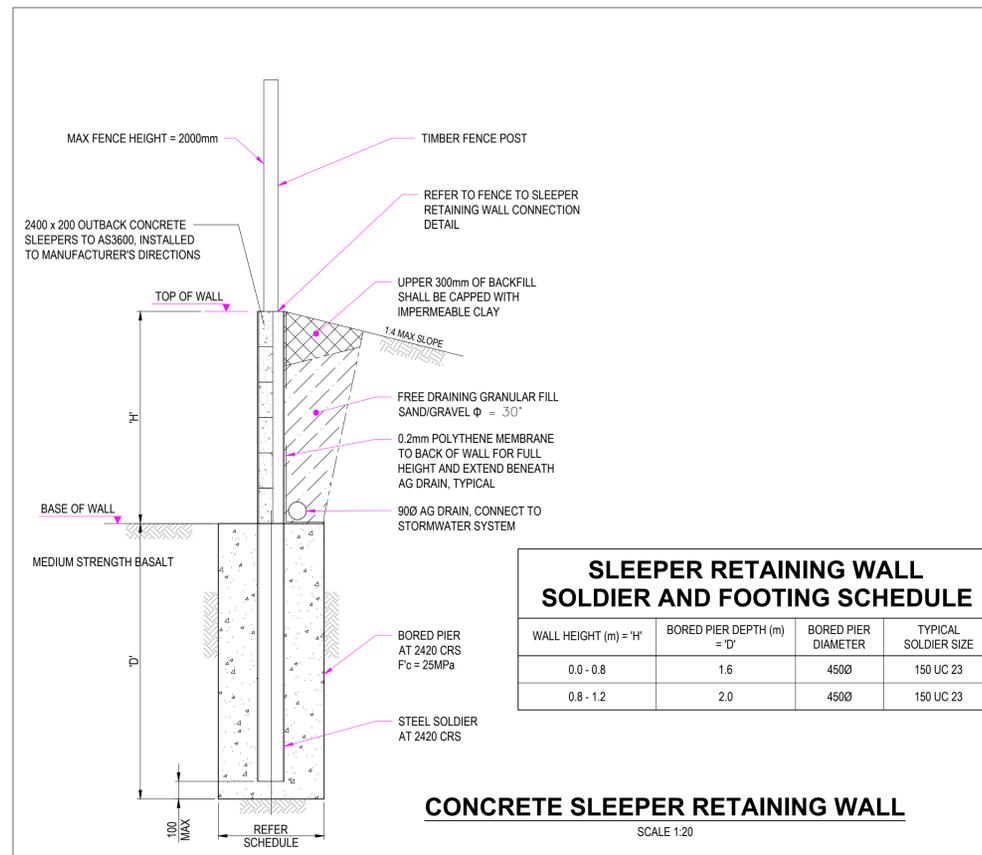
PAVEMENT NOTE
THE CITY OF GREATER GEELONG DOES NOT ACCEPT UTILISATION OF RECYCLED CONCRETE WITHIN PAVEMENT LAYERS

WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES
The locations of underground & overhead services are approximate only & their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works
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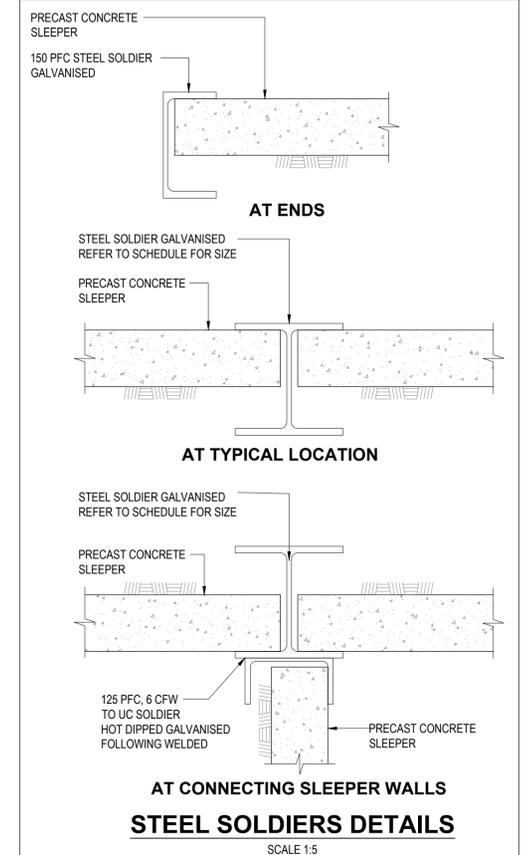
CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL
GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME
Endorsed Plan
Planning Permit No: 496-2018, cert 15152
Sheet 7 of 10
Approved By Edwin Rowe
Approved Date 2/12/2021
NOTE: THIS IS NOT A BUILDING APPROVAL



TYPICAL RESIDENTIAL VEHICLE CROSSING DETAIL
NTS



CONCRETE SLEEPER RETAINING WALL
SCALE 1:20



STEEL SOLDIERS DETAILS
SCALE 1:5

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	15/10/21	CONSTRUCTION ISSUE	C.ROHDE	M.TROUNCE	T.PALIOS
A	18/08/21	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS

CLIENT
villawood properties
Communities Designed for Living

PROJECT
creo CONSULTANTS
Suite 1, 2 Bloomsbury Street
Geelong, VIC, Australia 3220

PROJECT
Coridale
LARA

DRAWING TITLE
CORIDALE ESTATE - STAGE 15A
TYPICAL DETAILS

STATUS
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	T.PALIOS	AUGUST 2021
PROJECT No.	DRAWING No.	REVISION
180014.15A	R700	0

WARNING
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 www.1100.com.au

CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

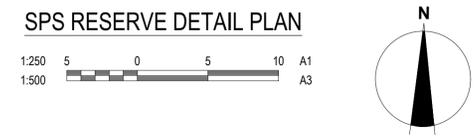
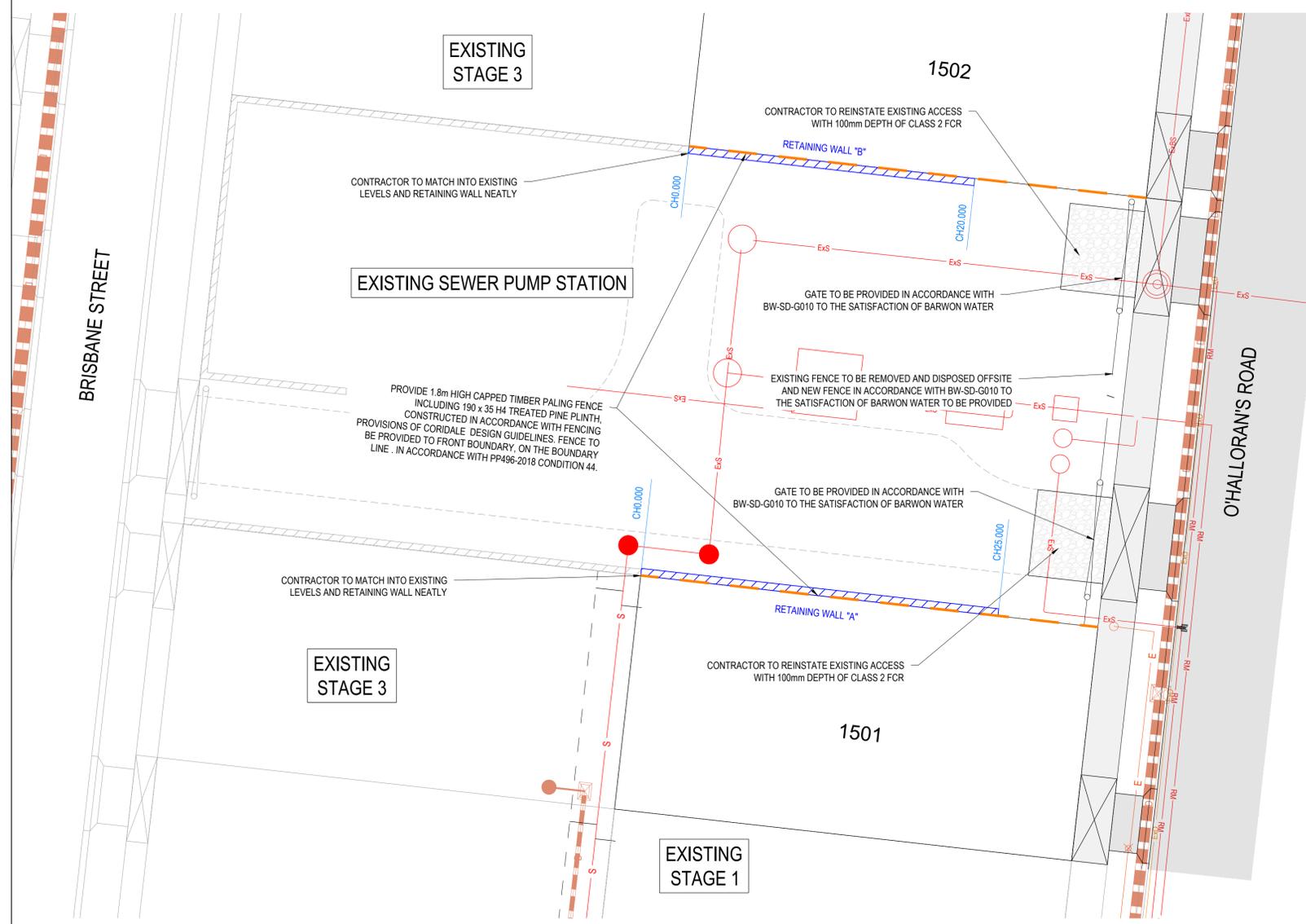
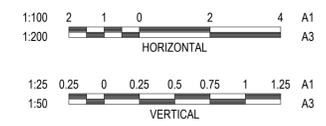
Endorsed Plan
 Planning Permit No: 496-2018, cert 15152
 Sheet 8 of 10
 Approved By Edwin Rowe
 Approved Date 2/12/2021

NOTE: THIS IS NOT A BUILDING APPROVAL

LEGEND

TOP OF RETAINING WALL

BOTTOM OF RETAINING WALL (EXISTING SURFACE)



LEGEND

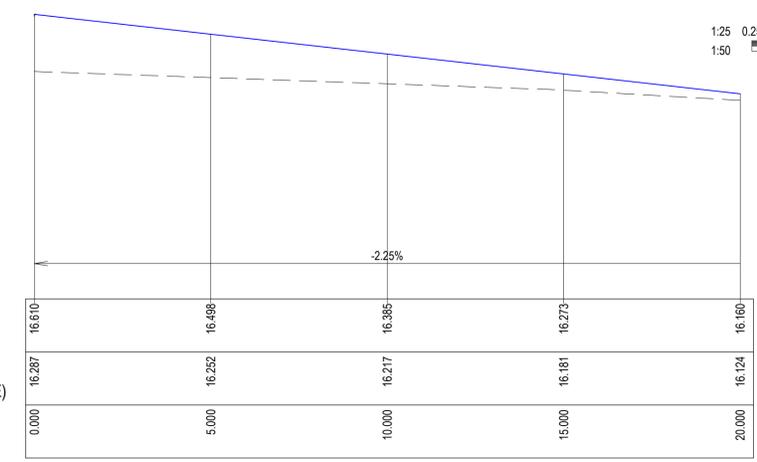
1.8m HIGH CAPPED TIMBER PALING FENCE INCLUDING 190 x 35 H4 TREATED PINE PLINTH

VERTICAL GEOMETRY
 DATUM RL15

RWALL TOP

RWALL BOTTOM (EXISTING SURFACE)

CHAINAGE



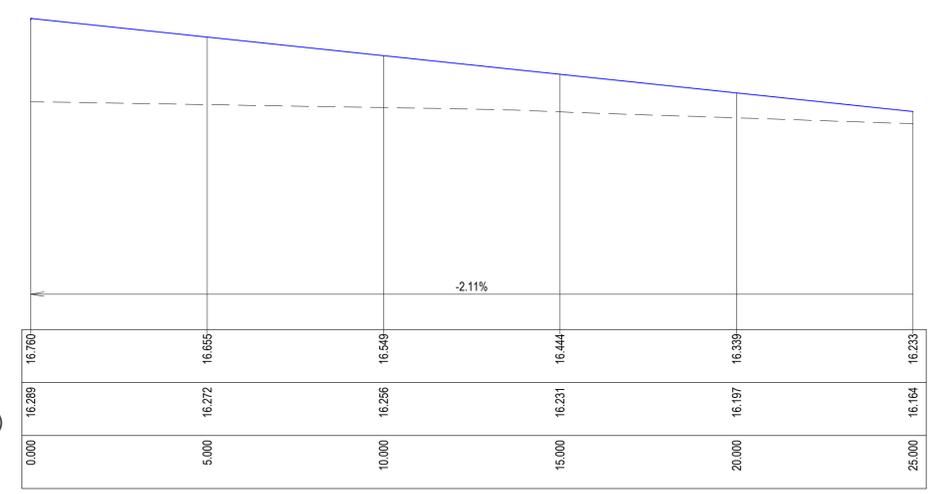
RETAINING WALL "B" - LONGITUDINAL SECTION

VERTICAL GEOMETRY
 DATUM RL15

RWALL TOP

RWALL BOTTOM (EXISTING SURFACE)

CHAINAGE



RETAINING WALL "A" - LONGITUDINAL SECTION

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
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A	18/08/21	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS

CLIENT

Communities Designed for Living

creo CONSULTANTS

Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

PROJECT

LARA

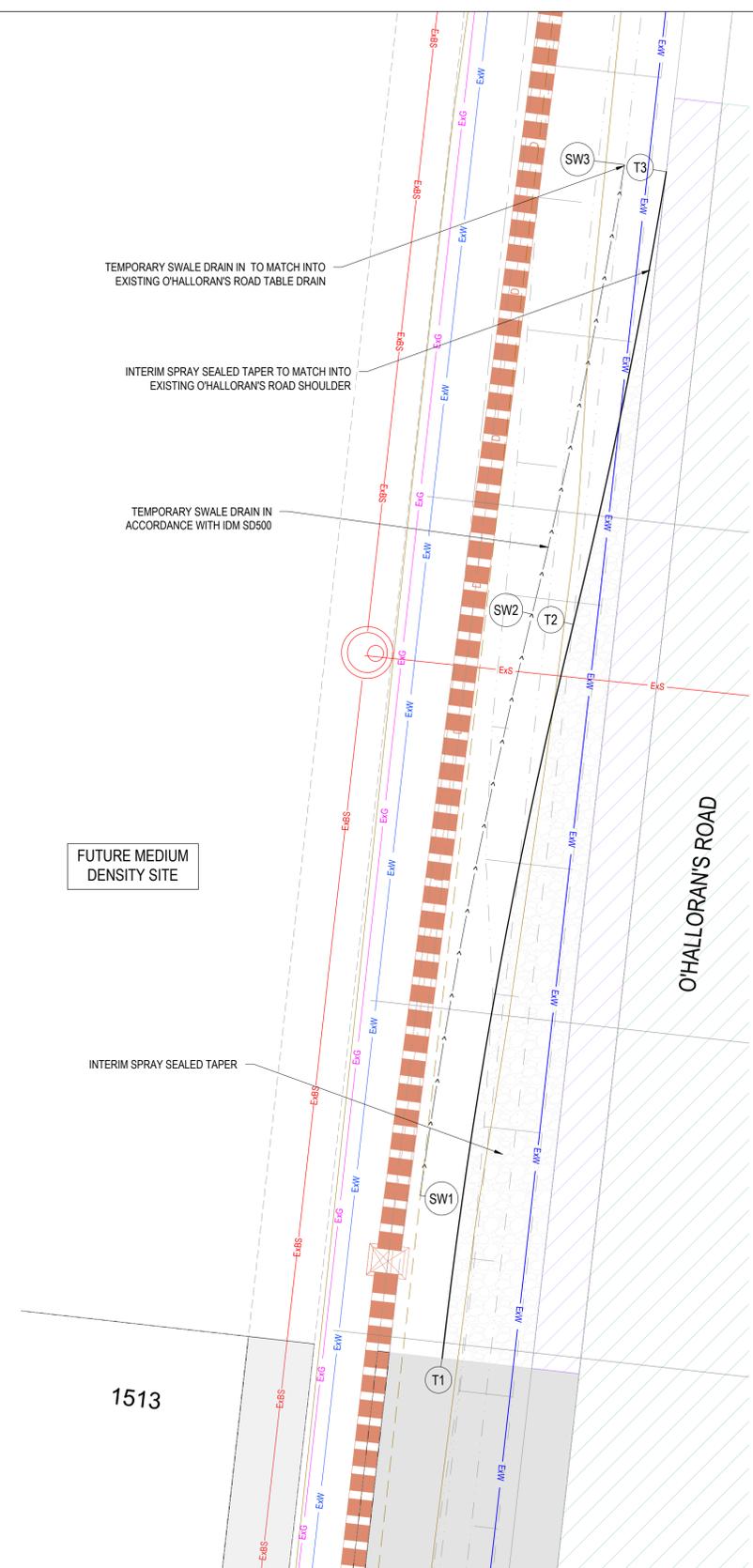
DRAWING TITLE

CORIDALE ESTATE - STAGE 15A
SPS RESERVE DETAIL PLAN

STATUS

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	T.PALIOS	AUGUST 2021
PROJECT No.	DRAWING No.	REVISION
180014.15A	R701	0



SPRAY SEALED TAPER SETOUT - ALIGNMENT T

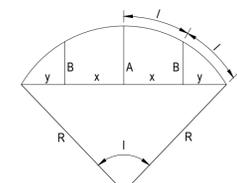
PT NO	EASTING	NORTHING	RL
T1	269899.432	5789287.511	15.356
T2	269904.377	5789315.147	15.258
T3	269907.887	5789332.199	15.197

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
T1 - T2	7.435	216.5	28.096	0.456	0.342	7.023	7.015	7.024	15.307
T2 - T3	4.283	232.959	17.413	0.163	0.122	4.353	4.352	4.353	15.227

SWALE DRAIN SETOUT - ALIGNMENT SW

PT NO	EASTING	NORTHING	RL
SW1	269898.596	5789293.642	15.142
SW2	269902.824	5789315.53	15.087
SW3	269906.309	5789332.463	15.045

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
SW1 - SW2	5.859	218.1	22.302	0.285	0.214	5.575	5.571	5.575	15.115
SW2 - SW3	4.282	231.359	17.292	0.162	0.121	4.323	4.321	4.323	15.066

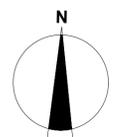


LIP PROFILE SETOUT

LEGEND

- SWALE DRAIN
- INTERIM SPRAY SEALED TAPER
- FULL DEPTH PAVEMENT
- EX. FULL DEPTH PAVEMENT (MAINTAINED)
- EX. SHOULDER (MAINTAINED)

INTERIM O'HALLORAN'S ROAD DETAIL PLAN



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A	18/08/21	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS

CLIENT

Communities Designed for Living

PROJECT

Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

PROJECT

DRAWING TITLE

CORIDALE ESTATE - STAGE 15A
INTERIM O'HALLORAN'S ROAD DETAIL PLAN

STATUS

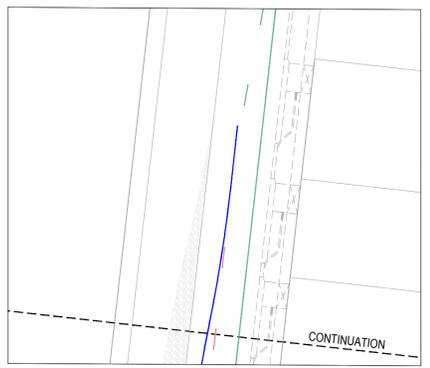
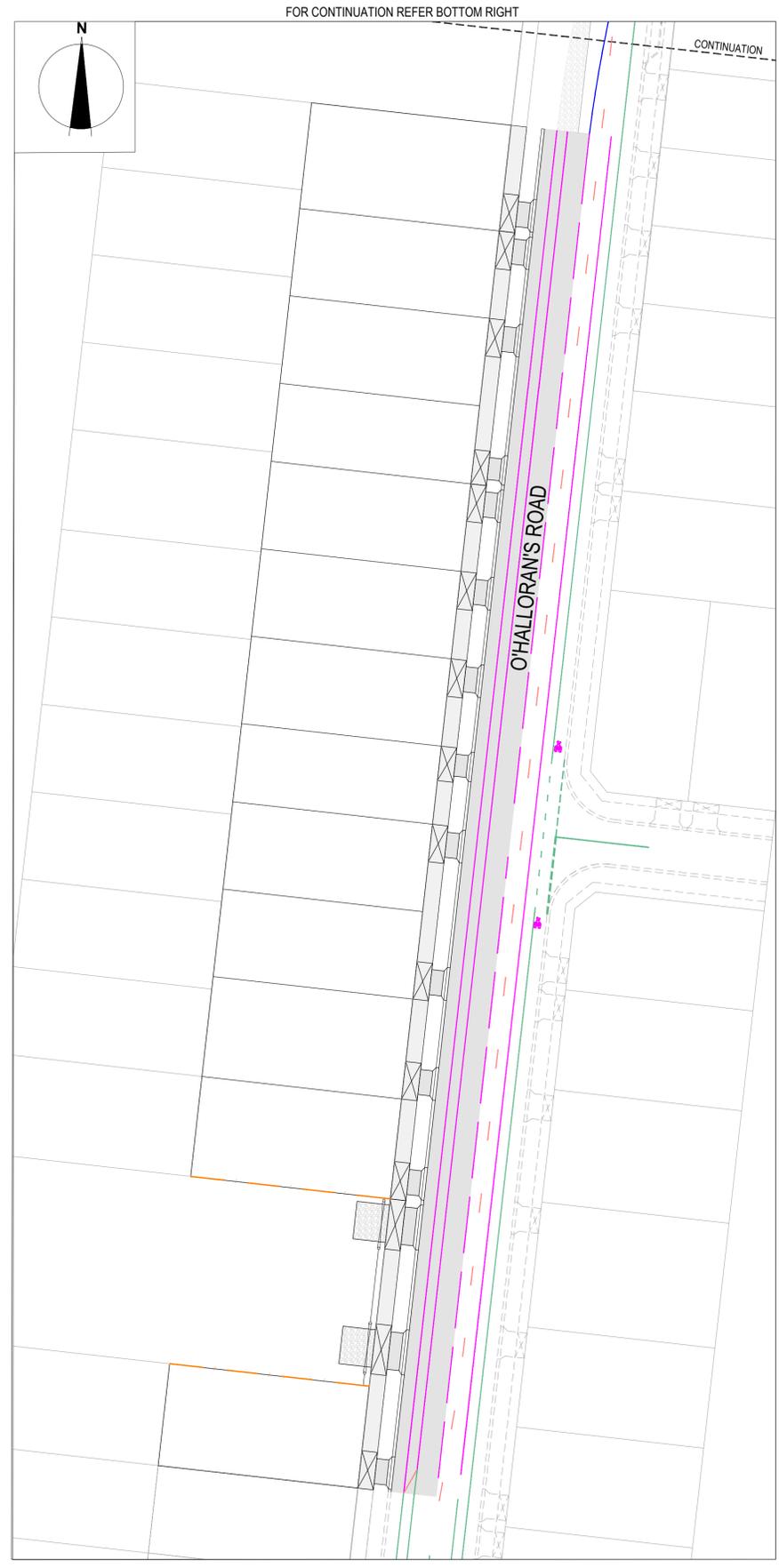
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	T.PALIOS	AUGUST 2021
PROJECT No.	DRAWING No.	REVISION
180014.15A	R702	0

GREATER GEELONG CITY COUNCIL
 PLANNING ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME

Endorsed Plan
 Planning Permit No: 496-2018, cert 15152
 Sheet 10 of 10
 Approved By Edwin Rowe
 Approved Date 2/12/2021

NOTE: THIS IS NOT A BUILDING APPROVAL



LEGEND

- 1.8m HIGH CAPPED TIMBER PALING FENCE INCLUDING 190 x 35 H4 TREATED PINE PLINTH
- EXISTING LINEMARKING (TO REMAIN)
- EXISTING LINEMARKING (TO BE REMOVED)
- PROPOSED LINEMARKING (PERMANENT - THERMOPLASTIC)
- PROPOSED LINEMARKING (TEMPORARY - WATER BASED)

SIGNAGE & LINEMARKING NOTES:

- 90° BENDS TO HAVE CENTRELINE MARKING WITH RRPMS AT MAX 6m SPACING.
- RRPMS TO BE IN ACCORDANCE WITH VICROADS TRAFFIC ENGINEERING MANUAL VOL 2.
- ALL LINEMARKING AND SIGNAGE TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1742.
- ALL SIGNS AND LINEMARKING TO BE IN ACCORDANCE WITH VICROADS TRAFFIC ENGINEERING MANUAL VOLUME 2 - SIGNS & MARKINGS.
- ALL SIGN POSTS TO BE SLEEVED IN ACCORDANCE WITH COGG SD CGG710 - SIGN POSTS.
- ALL LINEMARKING TO BE THERMOPLASTIC PERMANENT PAINT UNLESS NOTED OTHERWISE.
- ALL STREET HYDRANTS TO BE IDENTIFIED IN ACCORDANCE WITH C.F.A. DOCUMENT IDENTIFICATION OF STREET HYDRANTS FOR FIREFIGHTING PURPOSES, PUBLISHED JULY 2019 INCLUDING INSTALLATION OF BLUE RAISED REFLECTIVE PAVEMENT MARKERS & PAINTED WHITE REFLECTIVE TRIANGLES.



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A	18/08/21	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS

CLIENT

Communities Designed for Living

PROJECT

Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

PROJECT

LARA

DRAWING TITLE

**CORIDALE ESTATE - STAGE 15A
 SIGNAGE & LINEMARKING PLAN**

STATUS

**ISSUED FOR
 CONSTRUCTION**

SCALE AT A1 1:500 @ A1	DRAWN C.ROHDE	DESIGNED C.ROHDE
PROJECT ENGINEER M.TROUNCE	PROJECT MANAGER T.PALIOS	DATE FIRST ISSUE AUGUST 2021
PROJECT No. 180014.15A	DRAWING No. R800	REVISION 0