

LOCALITY PLAN

SCALE 1:20000

SHEET INDEX

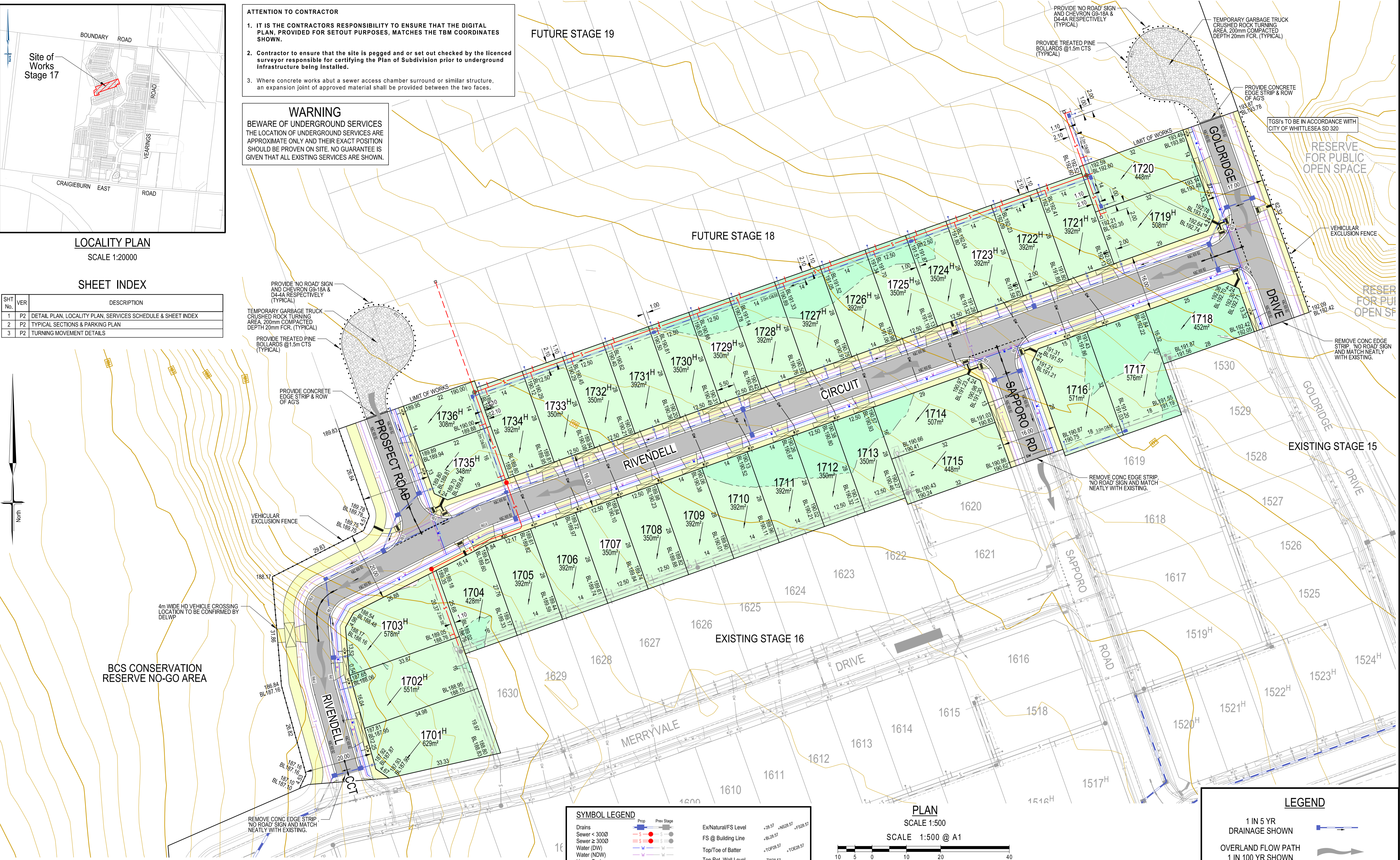
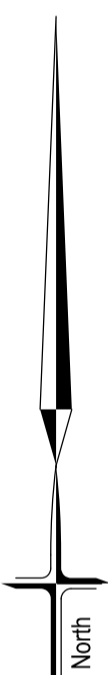
SHT No.	VER	DESCRIPTION
1	P2	DETAIL PLAN, LOCALITY PLAN, SERVICES SCHEDULE & SHEET INDEX
2	P2	TYPICAL SECTIONS & PARKING PLAN
3	P2	TURNING MOVEMENT DETAILS

ATTENTION TO CONTRACTOR

- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE DIGITAL PLAN, PROVIDED FOR SETOUT PURPOSES, MATCHES THE TBM COORDINATES SHOWN.
- Contractor to ensure that the site is pegged and/or set out checked by the licenced surveyor responsible for certifying the Plan of Subdivision prior to underground infrastructure being installed.
- Where concrete works abut a sewer access chamber surround or similar structure, an expansion joint of approved material shall be provided between the two faces.

WARNING

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.



SERVICES OFFSETS AND LOCATIONS

Location	Gas	Water		Communications		Electricity		BOK	Road Width	Joint Trenching	Street Classification
		NDW	DW	Cables	Pits	Cables	Poles				
RIVENDELL CIRCUIT (Lots 1701 to 1703)	2.35 E	2.75 E	3.20 E	5.80 W	1.80 E	6.60 W	1.00 BOK	4.35 E 8.05 W	20.00	G&W, FTTH&E	STREET LEVEL 1
RIVENDELL CIRCUIT (Lots 1719, 1721 to 1735)	2.35 S	2.75 S	3.20 S	1.80 N	1.80 N	2.60 N	1.00 BOK	4.05 N 4.35 S	16.00	G&W, FTTH&E	STREET LEVEL 1
ROAD A	2.35 E	2.75 E	3.20 E	5.80 W	1.80 E	6.60 W	1.00 BOK	4.35 E 4.05 W	20.00	G&W, FTTH&E	STREET LEVEL 1
SAPPORO ROAD	2.35 E	2.75 E	3.20 E	1.80 W	1.80 E	2.60 W	1.00 BOK	4.35 E 4.05 W	16.00	G&W, FTTH&E	STREET LEVEL 1
GOLDRIDGE DRIVE	2.10 W	2.60 W	3.10 W	1.80 E	1.70 W	2.60 E	1.00 BOK	4.70 W 4.70 E	17.00	G&W, FTTH&E	STREET LEVEL 1

NOTE: a) At the court bowl where water and gas mains pass, the watermain offset is to be increased by 0.5 metres.
b) * Indicates offsets from back of kerb where services do not run parallel to title boundary.
c) * Indicates Communication pits placed within concrete footpath.

SYMBOL LEGEND

Drains	Prop	Prev Stage	Ex/Natural/FS Level	+28.57	+28.57	+28.57
Sewer < 3000	S	S	FS @ Building Line	+BL28.57	+BL28.57	+28.57
Sewer ≥ 3000	S	S	Top/Toe of Batter	+TOP28.57	+TOP28.57	+28.57
Water (DW)	W	W	Top Ret. Wall Level	+TW28.57	+TW28.57	+28.57
Water (NDW)	W	W	100yr Flood Level	+FL28.57	+FL28.57	+28.57
House Drain	H	H	Fill Proposed (<0.3m±0.3m)			
Property Inlet	I	I	Cut Proposed			
Street Sign	S	S	Asphalt Surface Prop			
PSM	P	P	Concrete Surface Prop (Paths/Driveways/Slabs)			
Rock Ret Wall	R	R	Tree To Be Removed			
Sleeper Ret Wall	L	L	Tree To Be Retained with Tree Protection Zone (TPZ)			
Conduits 50mm	C	C				
Conduits 100mm	C	C				
Street Tree without/with Passive Irrigation (Refer Detail)	T	T				
Ex Drains	W	W				
Ex Water DW/NDW	W	W				
Ex Sewer/Gas	S	S				
Ex Elect/Comm	E	E				

PLAN
SCALE 1:500
SCALE 1:500 @ A1

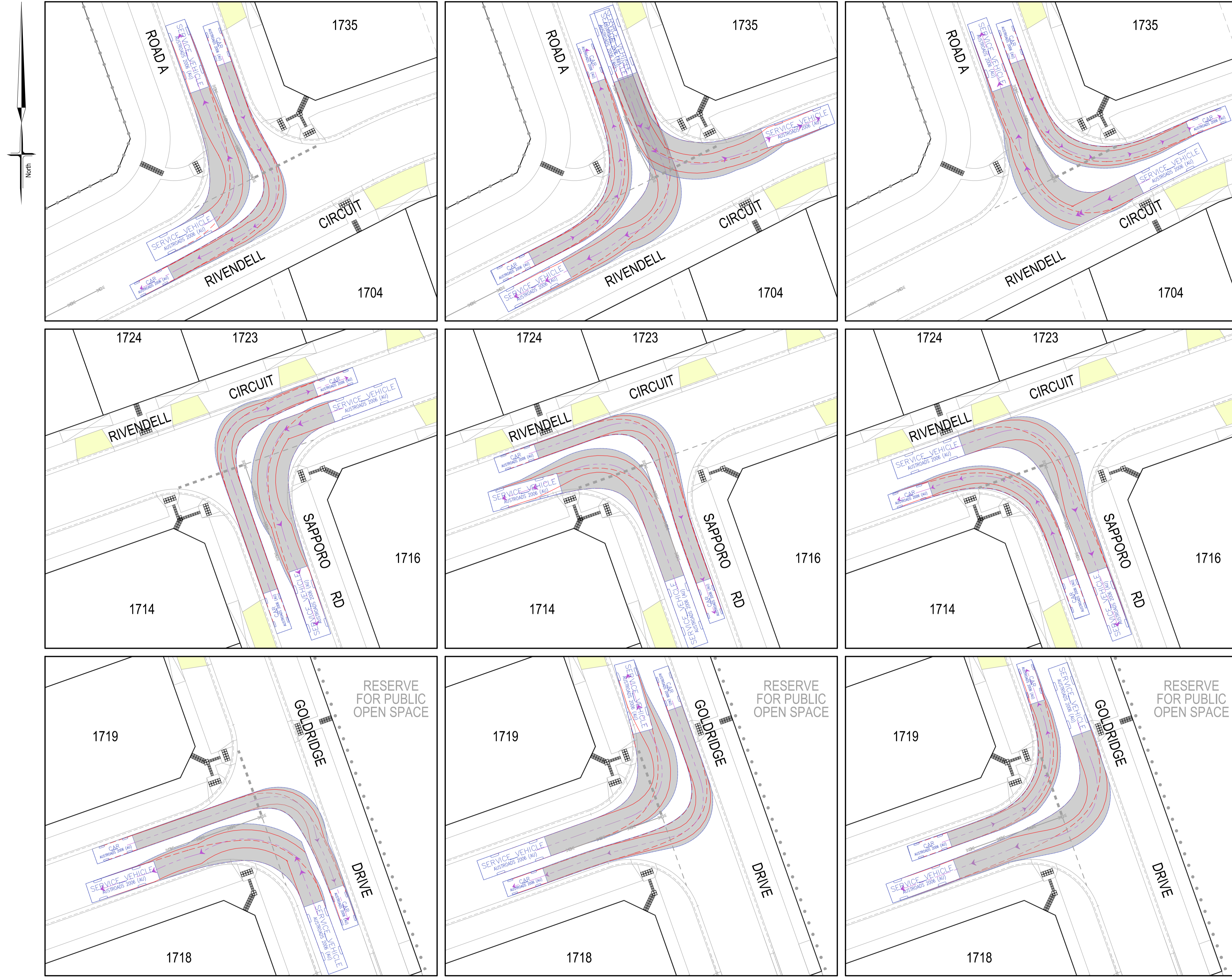
LENGTHS ARE IN METRES

LEGEND

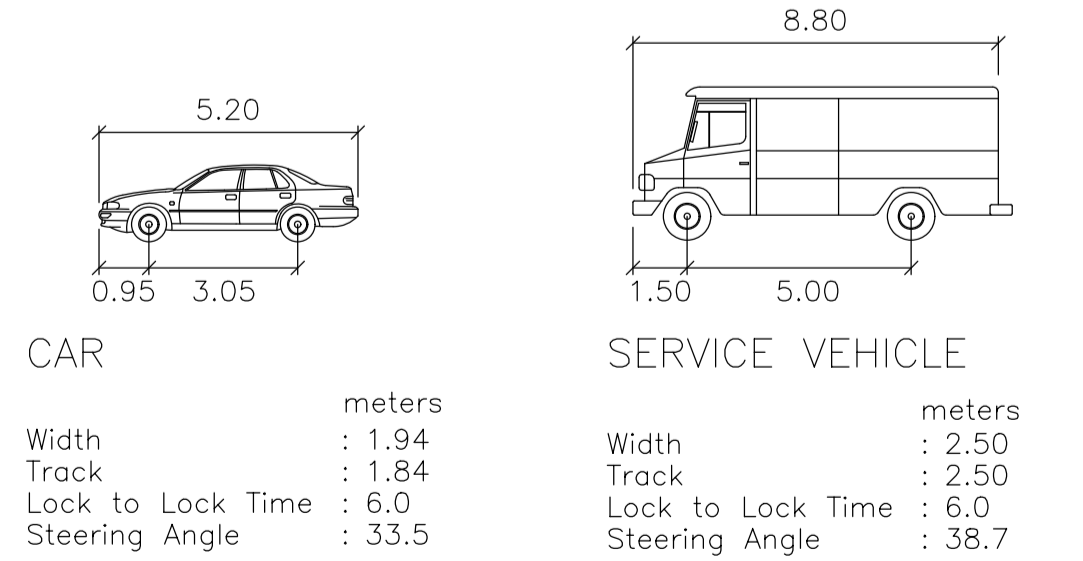
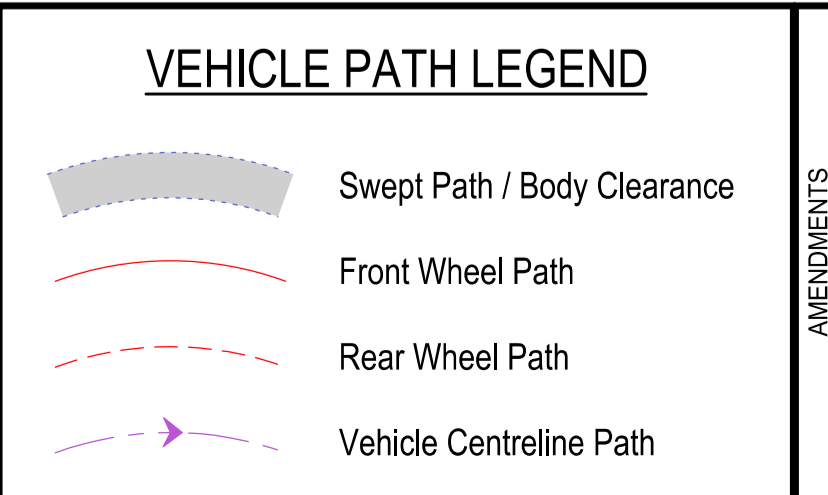
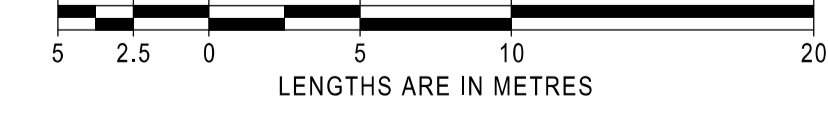
1 IN 5 YR DRAINAGE SHOWN

OVERLAND FLOW PATH 1 IN 100 YR SHOWN

AMENDMENTS		MELWAY REF.	388-C-10	breese pitt dixon pty. ltd. land surveyors civil engineers	1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310
P2	01/10/21	CONCIL COMMENTS	DESIGN		
VER	DATE	REMARKS	DRAWN	PG	
		CHECKED	RATHDOWNE ESTATE STAGE 17 FUNCTIONAL LAYOUT PLAN		MUNICIPALITY WHITTLESEA
			SCALE AS SHOWN	DATUM AHD	DATE AUG '21
			SHEET 1 OF 3		P2



TURNING MOVEMENT DETAILS
 SCALE 1:250
 SCALE 1:250 @ A1
 LENGTHS ARE IN METRES



AMENDMENTS	DATE	REMARKS
P2	01/10/21	CONCIL COMMENTS
VER		

 breese pitt dixon pty. ltd. land surveyors civil engineers	MELWAY REF. 388-C-10 SURVEY BPD DESIGN RGW DRAWN PG CHECKED	RATHDOWNE ESTATE STAGE 17 FUNCTIONAL LAYOUT PLAN	1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310
	SCALE AS SHOWN DATUM AHD DATE AUG '21	MUNICIPALITY WHITTLESEA REFERENCE 9365 E/17	SHEET 3 OF 3 P2

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