



Drew's
PADDOCK

I N V E R M A Y P A R K

DESIGN GUIDELINES

villawood
properties

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Welcome to Drew's Paddock - the newest in a long list of high quality developments by Villawood that will set a new benchmark for residential living in Ballarat, delivering a place that is of superior quality in all aspects which residents are proud to call home.

The principal aim of these Design Guidelines ("Guidelines") is to create a coherent vision for the Drew's Paddock community. Developed to enhance the lifestyle and investment of purchasers, the Guidelines are designed to ensure all homes at Drew's Paddock are built to a high standard whilst encouraging a variety of housing styles which are in harmony with the streetscape. The Guidelines will assist in providing you with peace of mind that your investment will be enhanced in the future, guarding against inappropriate development that may detract from the attractiveness of the development.

Each individual house design should contribute to the surrounding environment and to the community in a positive way. The Guidelines encourage home owners to construct innovative and appropriate designs that address sustainability issues and present a cohesive residential image for the community.

To compliment the design guidelines, we encourage homes to be built with the benefit of Villawood's Positive Change initiative and the Green Savings Calculator. The Green Savings Calculator is a helpful online tool for those looking to build a new home or renovating and offers a useful and cost-effective tool to help you save water, energy and money.

To learn more about the Positive Change program and ideas you can incorporate into your new home, please visit our website: www.villawoodpositivechange.com.au.

We hope you will see the value in Drew's Paddock Guidelines and we look forward to working with you through the process of making Drew's Paddock your home.

1. OPERATION OF THE DESIGN GUIDELINES

1.1 Design Assessment Panel

The Design Assessment Panel ("DAP") will be formed to oversee the implementation of the Guidelines.

Proposed building works including the house facade, garages, & front landscaping shall be approved by the DAP prior to seeking a Building Permit.

In considering designs, the DAP may exercise discretion to waive or relax a requirement. The Guidelines are subject to change by the developer at any time without notice. All decisions regarding these Guidelines are at the discretion of the DAP.

Preliminary designs and enquiries are welcome to ensure guideline compliance and it is recommended that you provide a copy of the design guidelines to your builder at the earliest possible time.

1.2 CONSTRUCTION OF YOUR HOME

Incomplete building works must not be left for more than 3 months without work being carried out and all building works must be completed within twelve months of their commencement.



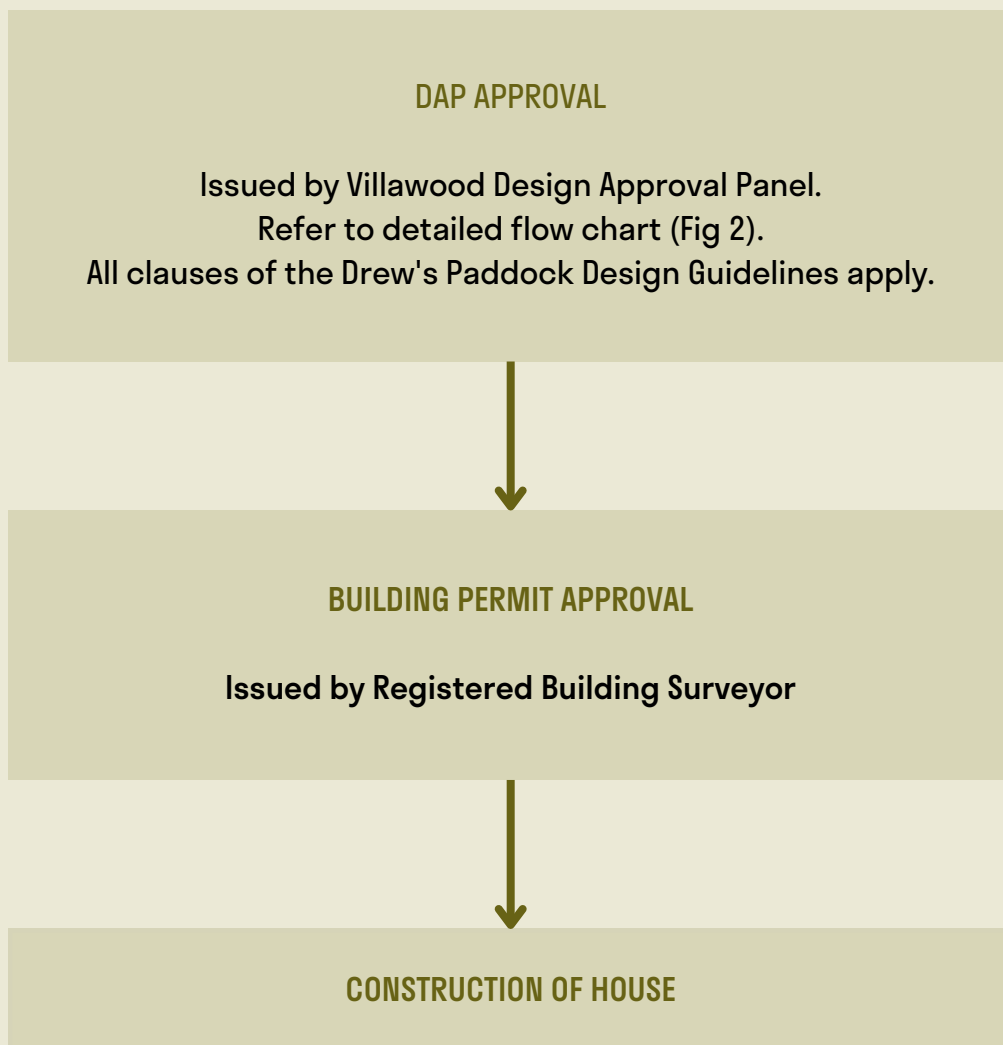
2. THE APPROVAL PROCESS

The process for approval of your house design depends on the size of your lot, and the details for your proposed house design.

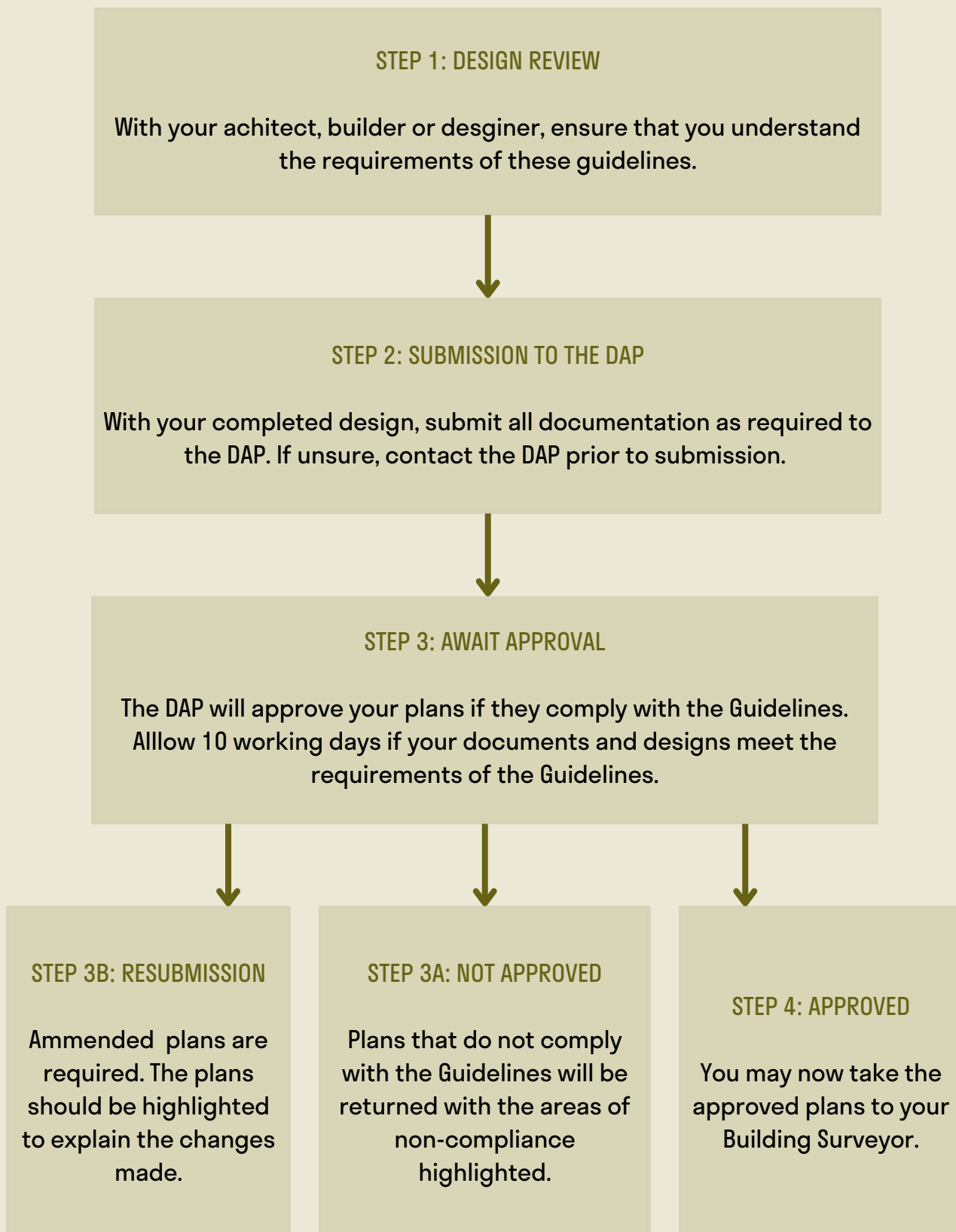
All documents are to be lodged via email to adminbendigo@villawoodproperties.com

General enquiries should be directed to the DAP via email at the above address.

2.1 APPROVAL PROCESS



2.2 DAP APPROVAL PROCESS



2.3 SUBMISSION

After reviewing and understanding the Guidelines, including discussing with your Architect, Builder and or Designer, you will need to submit the following to the DAP.

PROVIDE PDF COPIES IN A4 OR A3 FORMAT TO THE DAP FOR APPROVAL AS FOLLOWS:

- Site plan (1:200 scale) showing:
 - Setbacks from all boundaries
 - Building Envelopes
 - Existing contours
 - Proposed finished floor levels and site levels
 - External features including driveways, paths, fencing and outbuildings
 - Landscaping
- House floor plans (1:100 scale)
- Elevations façade only (1:100 scale)
- Schedule of external materials and colours.
- Colour swatches must be provided.

Note: do not include internal fit-out details such as kitchens, electrical plans etc.

Submit all information via adminbendigo@villawoodproperties.com.

ALL GENERAL ENQUIRIES TO:

IMAGINE DESIGN ASSESSMENT PANEL

e adminbendigo@villawoodproeprties.com or telephone contact on
p 03 5444 0002

2.4 RE-SUBMISSION

If the plans and documents are non-compliant you will be advised of the necessary changes. Amended plans will require resubmission for approval.

Any alterations made to the resubmission other than the initial noncompliance/s should also be highlighted on the plans or an accompanying letter.

2.5 APPROVAL

The DAP will approve plans that comply with the requirements of these Guidelines. Allow approximately 10 working days for approval.

2.6 BUILDING PERMIT

After approval from the DAP, you must then obtain a Building Permit from the Council or a Private Building Surveyor.

Note: Design approval from the DAP does not exempt the plans from any building or statutory regulations other than the regulations that are superseded by the approved building envelopes and approved profile diagrams.

Approval must be obtained from the relevant authorities for Building Permits, build over easements and connections etc.

Approval by the DAP does not infer compliance under the Building Code of Australia, Rescode and other applicable planning or building regulations

2.7 CONSTRUCTION

Once a Building Permit has been obtained, construction of your house may begin.



3. SITING AND ORIENTATION

3.1 CONSIDERATIONS

The siting of your home will be integral in developing the neighbourhood theme within the community. Consideration must be given to:

- Ensuring best visual presentation from the street;
- Maximising the benefits of solar access;
- Promoting energy efficiency;
- Maximising potential views of each lot owner;
- Minimising overlooking & over shadowing; and
- Respecting the privacy and amenity of neighbours. This includes excavations adjacent or on the side boundary.

3.2 LAND USE

One dwelling only is permitted per allotment (which expression shall include a display home, a house, apartment or flat). Dual occupancy and further subdivision is not allowed. This does not apply to allotments identified by the developer as medium density allotments.

3.3 DWELLING ARTICULATION

To ensure that dwellings constructed within the community are designed to a high quality contemporary standard, they should be designed so that front and secondary street frontage facades are well articulated. Broad flat surfaces extending greater than 6 metres shall not be permitted.

Articulation can be achieved through a variety of ways and must incorporate at least one of the following features:

- Use of different materials and textures;
- Variable wall setbacks to the front and side street boundaries;
- Introduction of verandahs, porticos and pergolas;
- Feature gable roof;
- Continuation of window style;

Acceptable Articulation



No Articulation



3.4 HOUSE ORIENTATION

Houses must face the main street frontage and present an identifiable entrance to the street. Where possible, houses should be sited so that habitable rooms and private open spaces face northwards to receive maximum solar efficiency.

3.5 SITING AND SETBACKS

The construction of buildings or associated buildings, including garages, must meet all Victorian planning scheme and Victorian Building Regulations.

Setbacks

The following setbacks for houses and garages must comply with the mandatory regulations as set out in the Building Regulations.

- The Front Street
- Splayed and curved street frontages
- The Side Boundaries
- The Side Street Boundary
- The Rear Boundary
- Walls on boundaries
- Encroachments
- Edge Boundary

3.6 BUILDING HEIGHTS

In line with the building regulations, the maximum building height is 9 metres above the natural surface level of the ground directly below it. A maximum rise of 2 storeys is permitted.

For the purpose of the Guidelines, a maximum wall height of 7.2 metres is permitted above natural ground level. Natural ground/surface level is defined as the ground level after engineering works associated with the subdivision have been completed.

3.7 SITE COVERAGE

In line with the building regulations, buildings must not occupy more than 60 per cent of the lot. In calculating site coverage, eaves, fascia and gutters not exceeding 600 mm in total width, and unroofed swimming pools, terraces, patios, decks and pergolas should be disregarded. Roofed areas of terraces, patios, decks and pergolas are to be included in overall calculations.

Please be aware of the building regulations with regards to timber framed structures such as pergolas, verandahs and decks. Refer VBA's Minimum setback for decks information sheet.

4. BUILT FORM

4.1 ARCHITECTURAL STYLE

At Drew's Paddock, high standards of house design will be required and a variety of styles are encouraged. Designs should be responsive to the individual attributes of the lot. Designs that break the front of the dwelling into distinct visual elements will be supported. The inclusion of projections integral to the design and style of the dwelling such as verandahs are encouraged. Further enhancement can be achieved through the use of detail and shade in the form of pergolas and extended eaves.

Houses with identical facades may not be constructed in close proximity and identical houses must be separated by a minimum of five houses in any direction. The appearance of dwellings should provide a degree of richness and variety ensuring the creation of pleasant, interesting streetscapes. Houses which have long uninterrupted expanses of wall should be avoided. Features which may detract from the appearance of a house from the street, including small windows, obscure glass, window security shields, canvas and metal awnings will be discouraged.



4.2 MATERIALS AND COLOURS

The materials and colours of the walls and roofs of houses will have a major impact on the visual quality of Drew's Paddock. The use of a combination of finishes is encouraged for the purpose of achieving a degree of individuality and interest.

Thoughtful selection of materials and colours will achieve a degree of visual harmony between houses and will avoid colours that are out of character with neighbouring houses. For these reasons, purchasers are requested to submit roof and wall materials and colours for approval. Colours which reflect the natural tones of the environment at Drew's Paddock are recommended. Dwellings, outbuildings and fences must be constructed using new materials.

External Walls

- The external walls (excluding windows) are to be constructed of brick, brick veneer, texture coated material, stone, weatherboard or other material as approved by the DAP.
- Colours of trims should be selected to compliment the main body of the house and the natural environment.
- Dwellings are encouraged to have a mix of composite products (render, timber or textured material) to the front facade as approved by the DAP.



Roofs

- The roof is to be constructed of steel or masonry or as approved by the DAP. Roof colours which reflect the natural tones of the environment at Drew's Paddock are recommended and the use of Colorbond is encouraged. The use of galvanised iron is not permitted.

4.3 DWELLING SIZE

- 160 square metres in the case of a lot having an area of 500 square metres or greater; or
- 130 square metres in the case of a lot having an area of 400 square metres or greater but less than 500 square metres.

All dwellings must present to the street with at least 80 percent built form to ensure that the home creates a full streetscape and contributes to the overall context of the area and allows ample room for landscaping.

4.4 TWO STOREY DWELLINGS

All two storey dwellings must be articulated to the front façade as a minimum, alternate materials are encouraged as a method of providing the visual break from a monotone and bleak façade. Treatments such as pergolas, verandahs etc. are recommended to break the line of sight. This recommendation also applies to the double storey dwellings on corner allotments. It is important to ensure that two-storey houses are designed and sited correctly to minimise overlooking and overshadowing.

It is recommended that initial concepts for two-storey houses be discussed with the DAP. The articulation of the front of the upper level of two-storey houses is encouraged to avoid dominating the streetscape.

4.5 CORNER ALLOTMENTS

The home design must address both the primary and secondary street frontages and be of a consistent architectural design.

Design elements (such as verandahs, detailing, feature windows and materials) used on the primary frontage must continue on that part of the secondary frontage that is visible from the public realm.

4.6 ODOUR REQUIREMENTS

Prior to the issue of a statement of compliance or as otherwise agreed upon by the relevant authority, measures, as outlined in section 4.4.1 of the Odour Risk Assessment prepared by AOC Specialist May 2023, must be implemented to satisfy the responsible authority on lots 221 and 222.

Prior to the issue of a statement of compliance or as otherwise agreed with the responsible authority, the mitigation measures as recommended under the Addendum Report prepared by AOC Specialist July 2023 must be implemented to satisfy the responsible authority on lots 219, 220, 223 and 224.

4.7 ENERGY EFFICIENCY

An energy smart home takes advantage of the sun's free warmth and light and, with the inclusion of energy efficient appliances and systems, will save a great deal of energy.

Well-designed homes reduce the demand on heating and cooling. Any style of house can be energy efficient. Energy smart homes have a combination of features which work together to ensure you achieve the highest degree of comfort with minimum energy use.

Homes at Drew's Paddock must achieve a minimum 6 Star Energy Rating in accordance with the Victoria Home Energy Rating System or greater if legislated by the building regulations. An energy rating certificate will not be required prior to DAP approval, however, a certificate will be required prior to obtaining a Building Permit.

4.8 ROOFS

Articulated roof shapes are preferred with hips and gable roof forms, coastal skillion roof styles and higher degrees of pitch, although each design will be considered on its merits by the DAP. Flat roofs behind parapets are accepted.

4.9 ACOUSTIC REQUIREMENTS

- A report by Acoustic Logic, report no 2180001.2/0408A/R7/BAW has been prepared and with regards to lots 221-222, 311-323, 327, 406-414 there are some additional building requirements that require consideration and incorporation, these include:
 - Glazing using light to medium weight single glazing with acoustic seals;
 - External walls of concrete or masonry;
 - Roof insulation;
 - Use of 35mm thick solid core timber doors with gaps minimised.*
 - *Refer to the Acoustic Logic Report for specific details.

4.10 GARAGES

The garage and family car (s) have a significant impact on the streetscape. The design and location of garages should endeavour to make them an integral and unobtrusive part of the house. All homes must allow for an enclosed garage for car accommodation. All lots must have garages setback a minimum 5m from the main street frontage, unless otherwise specified.

Double garages must be provided on lots greater than 12.5 metres in width. The garage setback also applies for entry to the garage from the side street boundary, unless otherwise noted.

It is preferable for garages to be constructed under the main roof of the house. If garages are free standing and/or visible from the street, they should match the roof form and be constructed of the same materials as the house.

The garage may be constructed to the side boundary, depending on the location of adjacent buildings and garages relative to the side boundaries and whether permitted by the Building Envelope.

Secondary garages are discouraged. The design for an additional garage would need to be discussed with the DAP and it must be disguised and out of view from the main street frontage. Only one crossover per lot is permitted. Corner Allotments may seek approval from DAP to vary this condition.

When designing garages consideration must be given to the screening of boats, caravans and trailers and for 'drive-through' access to the rear yard. The garage door is a major visual element of the streetscape and doors facing the street must be panelled and of a colour which compliments the house.

4.11 OVERSHADOWING

All relevant sections of the building regulations must be met with regards to overshadowing.

4.12 PRIVACY AND OVERLOOKING

All relevant sections of the building regulations must be met with regards to privacy and overlooking.

5. EXTERNAL CONSIDERATIONS

5.1 ACCESS AND DRIVEWAYS

Driveways are a major visual compliment at Imagine and should be constructed using materials that blend with or complement the dwelling textures and colours. Only one driveway will be permitted for each lot.

Driveways must not be wider than 4 metres at the street boundary of a lot and planting between the driveway and property boundary is encouraged.

All driveways must be completed prior to Occupation of the residence.

Example of approved driveway

All driveways must be completed prior to Occupation of the residence.



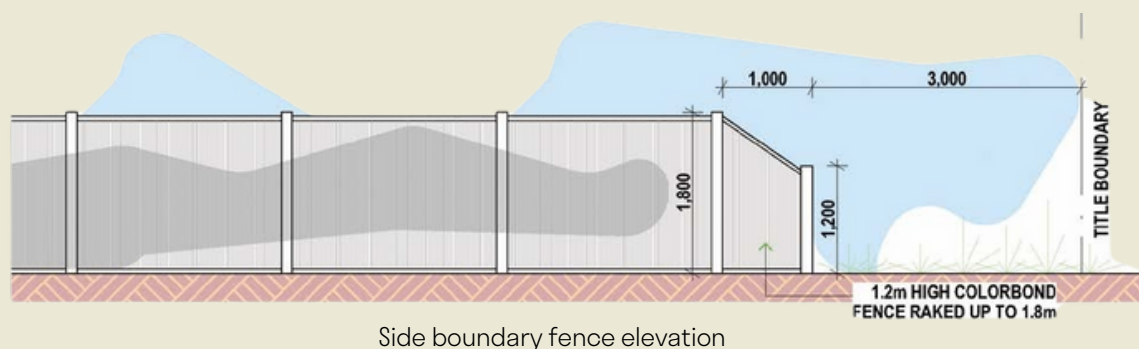
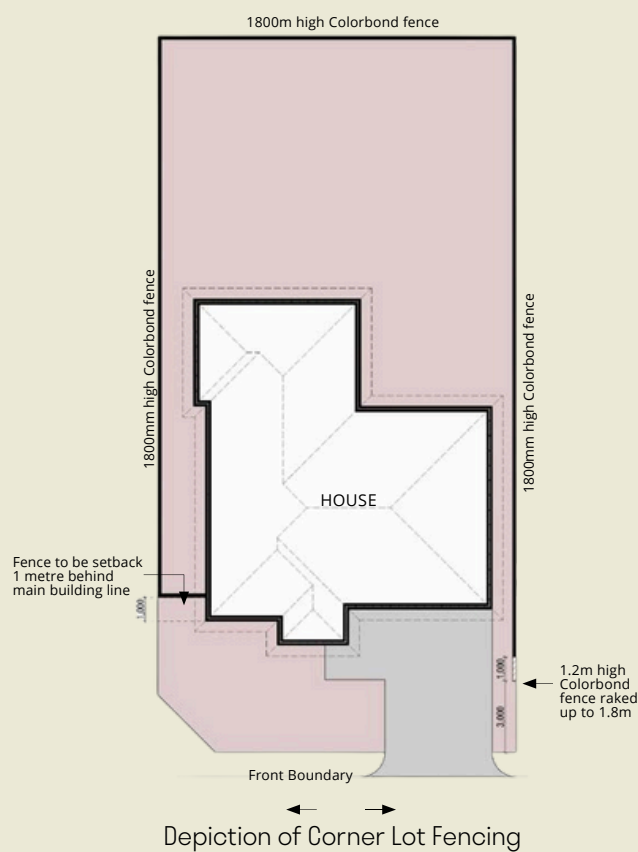
5.2 Fences

The objective of the DAP is to provide a degree of uniformity throughout the community and thereby avoid an untidy mix of various fence standards, colours and types. To enhance the park-like character of the community, no front fencing will be permitted.

All side and rear fences are to be constructed Colorbond in the colour “Monument” to a maximum height of 1.8 metres.

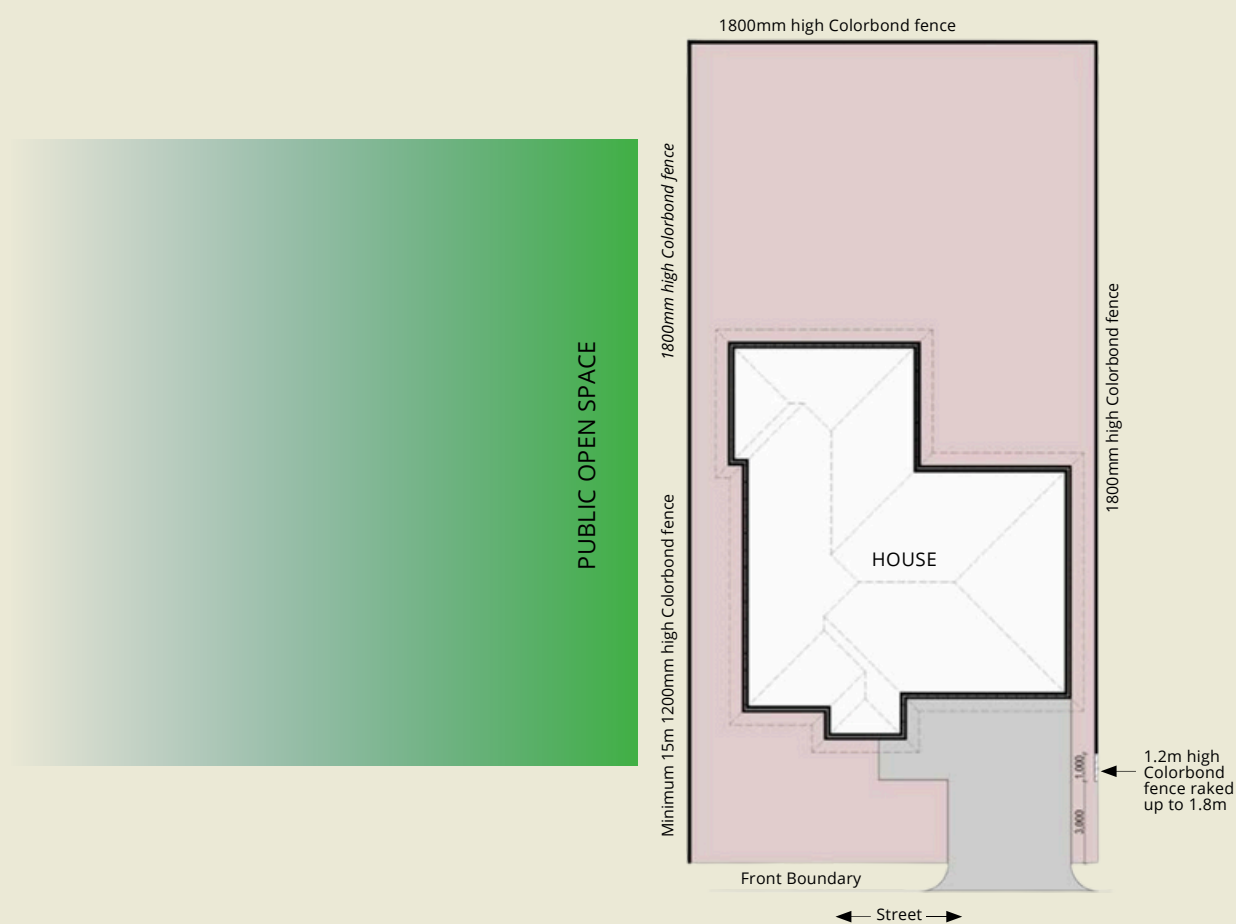
On side boundaries, fencing must commence 3.0m from the front title at a height of 1.2m raking up to 1.8m at 4.0m from the front title.

Fences on corner allotments must be set back 1.0m behind main building line and include, as a minimum, exposed hardwood posts in between the Colorbond panels.

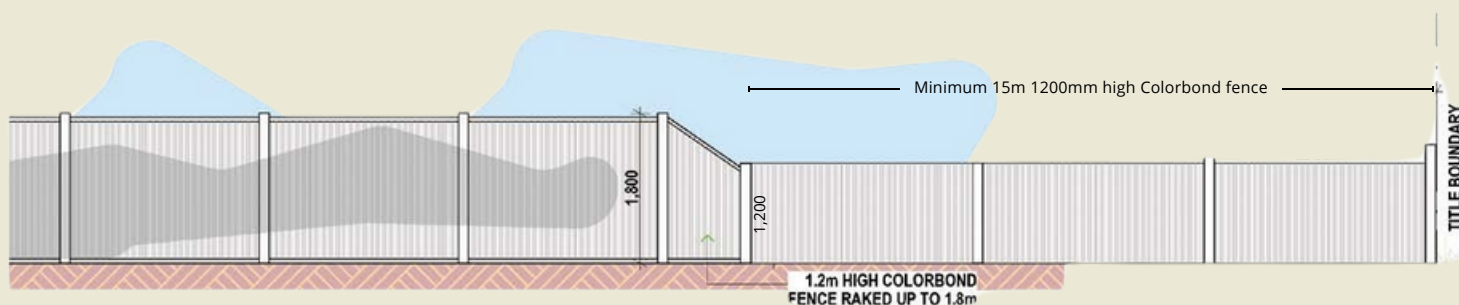


5.2 Fences adjoining public open space

Fences adjoining public open space must commence at the front title at a height of 1.2m for a minimum length of 15m of the lot depth after which point it may rake up to 1.8m through to the rear title.



DEPICTION OF TYPICAL BOUNDARY FENCING LOCATION



Side boundary fence elevation adjoining public open space

5.3 Water Saving Initiatives

In line with the requirements of Central Highlands Water all residents

- Install a rainwater tank/s of not less than 2,500 litres;
- Ensure minimum 50% of the roof of the home drains to the rainwater tank/s; and
- Use the rainwater tank as the primary supply for all toilet, cold water laundry and outdoor taps. A mains water system can be used when rainwater is unavailable.

Residents are also encouraged to consider water saving initiatives in the home including:

- Solar hot water systems;
- Energy efficient tap ware and appliances; and
- Grey Water Systems

5.4 Letterboxes

Letterboxes should be designed to match the house using similar materials and colours and must be erected prior to the Occupancy Permit. The size and position of the letterbox must comply with Australia Post requirements. The street number must be clearly identifiable, suitably sized and located and must not interfere with the overall streetscape.

Acceptable



Not acceptable



5.5 General

External fixtures must achieve the following objectives and the location must be noted on plans to be submitted to the DAP:

Clothes-lines, Garden Sheds, External Hot Water Services and Ducted Heating Units must not be visible from the street.

Solar Water Heaters are permitted and, where possible, are to be located out of view from the street frontage. The solar panels shall be located on the roof, not on a separate frame.

5.6 Air-Conditioning Units

Evaporative air-conditioners must be positioned so that they are not visible from the main frontage of the dwelling. They must be painted to match the colour of the roof, be low profile units and installed as low as possible below the roof ridgeline towards the rear of the house. Wall mounted air-conditioners must be located below the eaves line, screened from public view and suitably baffled to reduce noise.



Television Antennae should be screened from public view wherever possible.

Satellite Dishes will only be approved if located below the roofline of the house and must be screened from public view.

Rainwater Tanks must be not visible from the street frontage. No external Plumbing to a dwelling shall be visible from a street or dwelling. All plumbing on double-storey houses, except downpipes, must be internal so as not to be visible from the street or neighbouring properties.

External lighting including spotlights, flood lights and any lights illuminating any outdoor area are to be approved by the DAP and the use of LED or solar lighting is encouraged.

Rubbish Bins & Recycling Bins must be stored out of view from the street.

Commercial Vehicles with a carrying capacity of 1 tonne or more or any boat, caravan or trailer shall not be permitted to be parked on a lot so that it is visible from any street.

Advertising Signage

Signage is not permitted on residential lots with the following exceptions:

- Only one advertising sign will be permitted to be erected on a lot that is being advertised for resale AND only after the developer has sold ALL lots in the relevant stage.
- Display home signage will be permitted but only with the written approval of the DAP and the City of Ballarat.

Builders' or tradespersons' identification is required during the dwelling's construction. The signs must be a maximum of 600mm x 600mm and removed within 10 days of the Occupant Permit's issue.

Sheds

Sheds should be limited in size and designed to complement the surrounding buildings. They must not exceed a maximum height of 4.0 metres and a floor area of 60 square metres. However, subject to approval, Lots 405, 406, and 414 may accommodate a larger shed of up to 80 square metres.

It is the purchaser's responsibility to ensure that all outbuildings comply with governing authority requirements regarding location, size, and height. Additionally, all sheds must be constructed using Colorbond material in muted or earthy tones.

Carports

No carports are permitted to the front of the dwelling.

Pools

Swimming Pools do not require the approval of the DAP.

Window Furnishings

Internal window furnishings which can be viewed by the public must be fitted within three months of occupancy. Sheets, blankets or similar materials for which window furnishing is not their primary use will not be permitted.

5.7 Landscaping and Tree Protection

General Guidelines

The garden design will require careful thought to ensure that the appropriate plants are selected for the particular lot conditions.

The objective is to achieve a cohesive blend of indigenous vegetation and other landscape elements, integrating street and parkland landscaping with private gardens so that the streetscape presents as a landscaped garden.

Landscape design and plant selection should minimise the need for garden watering. No tree or shrub with a mature height greater than 3 metres should be planted closer than 2 metres to the house. Purchasers should make their own enquiries with the City of Ballarat and obtain a list of allowable vegetation.

Street trees are not to be moved or removed without the approval of the responsible authority.

Front Gardens

All landscaped areas to the front of the house must be established within three months of the issuing of the Occupancy Permit to ensure good presentation is achieved for the local community. The front garden should include a variety of plants, lawn and garden beds that incorporate ground covers, small to medium shrubs and at least one advanced feature tree in a 75 litre pot when planted.



5.8 Construction Management

During the construction period, the builder must install a temporary fence and ensure that rubbish and building waste is contained within the building site. Damage to nature strips caused during the construction period is solely the responsibility of the landowner and their builder.

6. NOTES AND DEFINITIONS

6.1 NOTES ON RESTRICTIONS

- Ground level after engineering works associated with the subdivision is to be regarded as natural ground level.
- Buildings must not cover registered easements unless provided for by the easement.

6.2 GENERAL DEFINITIONS

If not defined above, the words below shall have the meaning attributed to them in the document identified:

In the Building Act 1993:

- Building
- Lot

6.3 ADDITIONAL DEFINITIONS

Edge Boundary

Edge Boundary means the boundary or part of a boundary of a lot on the Plan of Subdivision that abuts a lot, which is not shown on the Plan of Subdivision.

Front street or Main Street Frontage

Front Street means the street or road that forms the frontage to the lot concerned. Where there is more than one road which adjoins a lot or where it may be otherwise unclear, the Front Street will be as agreed in writing by the DAP.

Boundary

A boundary of a lot that runs between and connects the street frontage of the lot to the rear boundary of the lot.

Street

For the purposes of determining street setbacks, street means any road other than a lane, footway, alley or right of way.

Standard Lot

A single lot that accommodates a freestanding house detached from adjoining houses and of an individual style.



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