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1072

1073

14.5 049'05

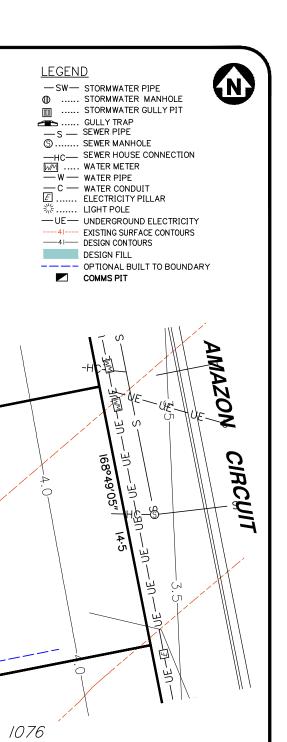
1075

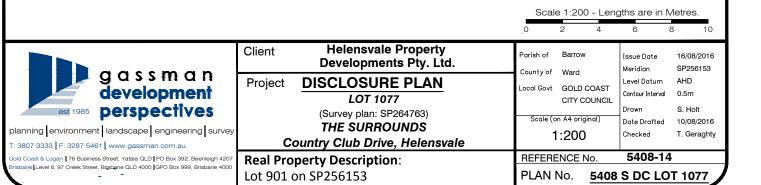
78°49′05″

28.0

1077 406m²

258°49′05′





LEGEND Final areas are subject to design changes, Council approval and field survey and may differ from those shown on this —SW— STORMWATER PIPE Disclosure Plan ⊕ STORMWATER MANHOLE Final presentation of areas will comply with requirements of the Registrar of Titles and may vary from the format on this STORMWATER GULLY PIT The Seller, under the Contract Terms, is entitled to make Variations to the lot, including its location, area, size, dimensions, and elevation. Without limitation, if the area of the Lot on the Plan is not more than 5% different to the total GULLY TRAP _S _ SEWER PIPE area of the Lot as shown on this Disclosure Plan, the Variation is deemed to be a Permitted Variation and the Buyer S SEWER MANHOLE Design contours are approximate only and may change during construction -HC- SEWER HOUSE CONNECTION Services have been plotted from design information only and may change during construction All earthworks fill to lots has been placed and compacted on Level 1 basis in accordance with Australian Standard AS3798-2007 "Guidelines on earthworks for commercial and residential developments". WATER METER WATER PIPE C — WATER CONDUIT 漴..... LIGHT POLE —UE— UNDERGROUND ELECTRICITY ----4|---- EXISTING SURFACE CONTOURS DESIGN CONTOURS DESIGN FILL OPTIONAL BUILT TO BOUNDARY COMMS PIT 1079 78°49′05″ 28.0 168°49'05" 4.5 1078 406m² 1072 258°49′05′ 1077 1073 Scale 1:200 - Lengths are in Metres. **Helensvale Property** Client Barrow Parish of Issue Date 16/08/2016 Developments Pty. Ltd. Meridian SP256153 County of gassman **DISCLOSURE PLAN** AHD Project Level Datum GOLD COAST ocal Govt development Contour Interval 0.5m LOT 1078 CITY COUNCIL perspectives (Survey plan: SP264763) Scale (on A4 original) Date Drafted 10/08/2016 THE SURROUNDS planning environment landscape engineering survey 1:200 Checked T. Geraghty Country Club Drive, Helensvale T: 3807 3333 | F: 3287 5461 | www.gassman.com.au 5408-14 **Real Property Description:** REFERENCE No. ane Level 8, 97 Creek Street, Brisbane QLD 4000 GPO Box 999, Brisbane 4000 PLAN No. 5408 S DC LOT 1078 Lot 901 on SP256153

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LEGEND

SW- STORMWATER PIPE STORMWATER MANHOLE STORMWATER GULLY PIT

GULLY TRAP _S _ SEWER PIPE

S..... SEWER MANHOLE

—HC— SEWER HOUSE CONNECTION

WATER METER W — WATER PIPE C — WATER CONDUIT

ELECTRICITY PILLAR

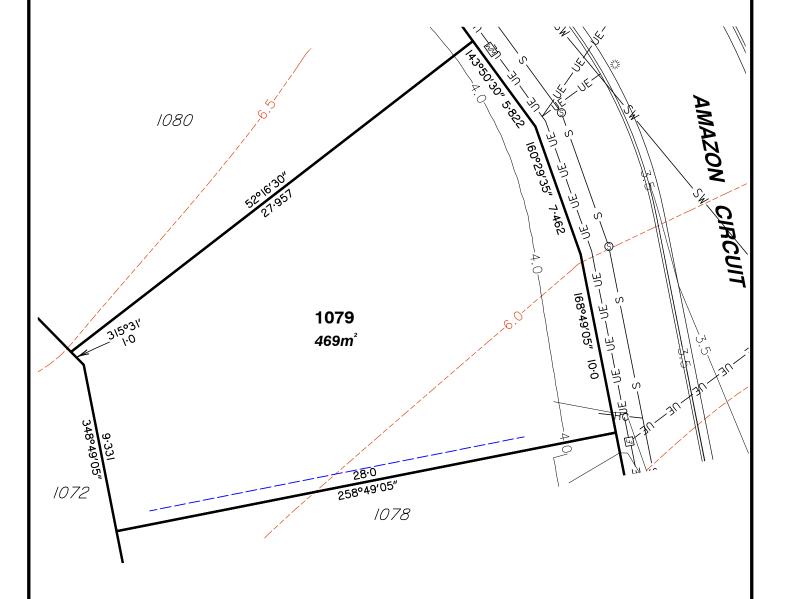
蒜..... LIGHT POLE

-UE— UNDERGROUND ELECTRICITY ----4I---- EXISTING SURFACE CONTOURS DESIGN CONTOURS

DESIGN FILL

OPTIONAL BUILT TO BOUNDARY

COMMS PIT





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Client	Helensvale Property
	Developments Pty. Ltd.

Project **DISCLOSURE PLAN**

LOT 1079

(Survey plan: SP264763)

THE SURROUNDS Country Club Drive, Helensvale

Real Property Description: Lot 901 on SP256153

Parish of	Barrow	Issue Date
County of	Ward	Meridian
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Local Govt	GOLD COAST	Contour Inter
	CITY COUNCIL	
		Drawn
Scale (o	n A4 original)	Date Drafte

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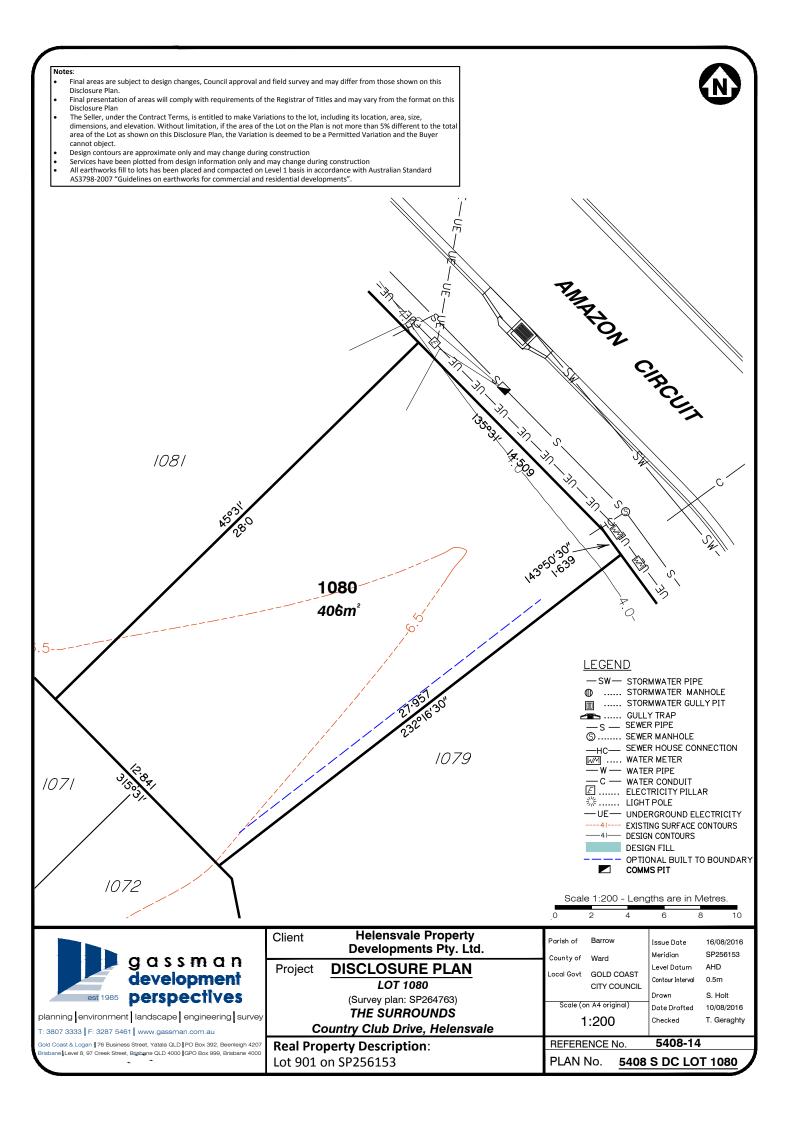
16/08/2016

Date Drafted 10/08/2016 Checked T. Geraghty

5408-14 REFERENCE No.

PLAN No. 5408 S DC LOT 1079

Scale 1:200 - Lengths are in Metres.



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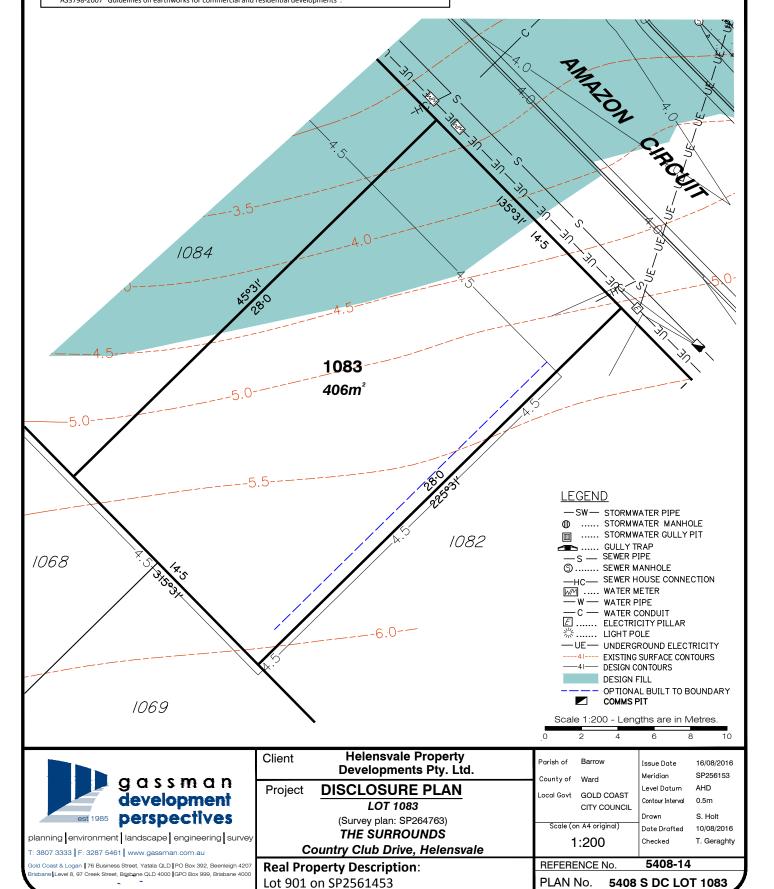
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Lot 901 on SP256153

PLAN No.

5408 S DC LOT 1082

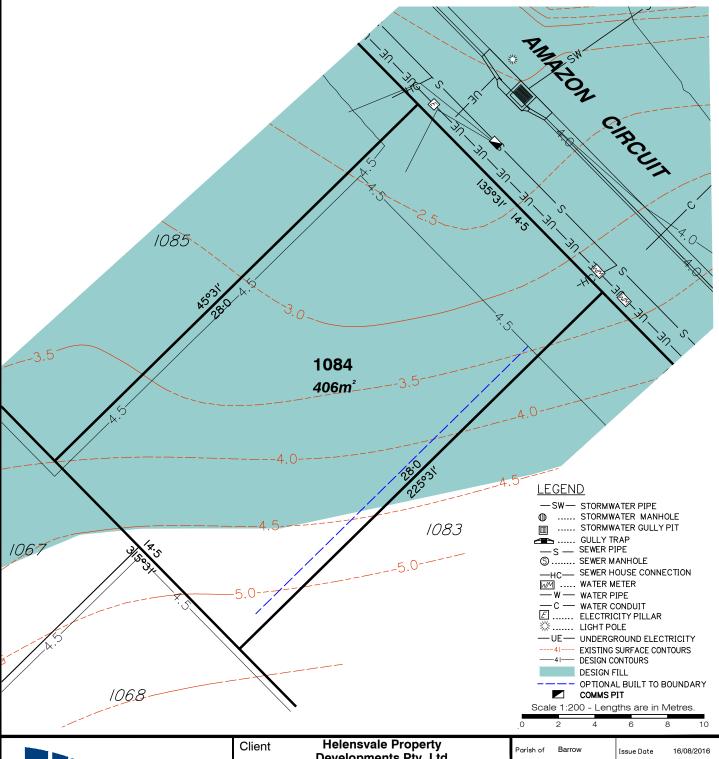
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Oli a sat	Helensvale Property
Client	
	Developments Pty. Ltd.

DISCLOSURE PLAN Project LOT 1084

(Survey plan: SP264763)

THE SURROUNDS Country Club Drive, Helensvale

Real	Property	Description:
Lot 9	01 on SP	256153

Meridian SP256153 County of Ward Level Datum AHD Local Govt GOLD COAST Contour Interval 0.5m CITY COUNCIL Scale (on A4 original) 10/08/2016 Date Drafted T. Geraghty 1:200 Checked

5408-14 REFERENCE No.

PLAN No. 5408 S DC LOT 1084

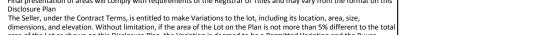
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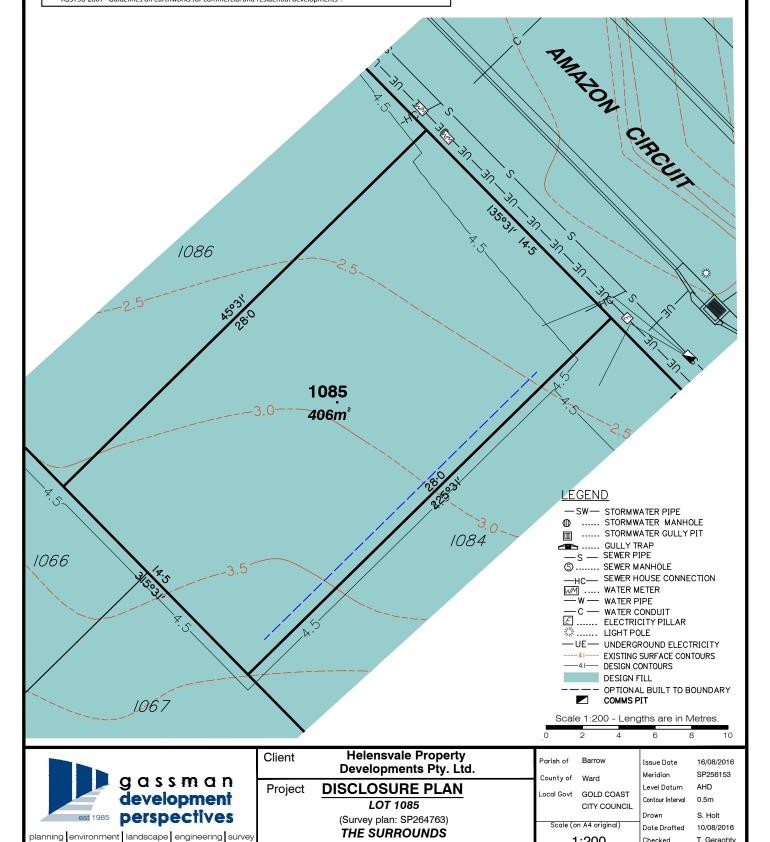
old Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

ane Level 8, 97 Creek Street, Brisbane QLD 4000 GPO Box 999, Brisbane 4000

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Country Club Drive, Helensvale

Real Property Description:

Lot 901 on SP256153

1:200

REFERENCE No.

PLAN No.

Checked

5408-14

5408 S DC LOT 1085

T. Geraghty

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Contour Interval

Date Drafted

5408-14

5408 S DC LOT 1086

Checked

CITY COUNCIL

Scale (on A4 original)

1:200

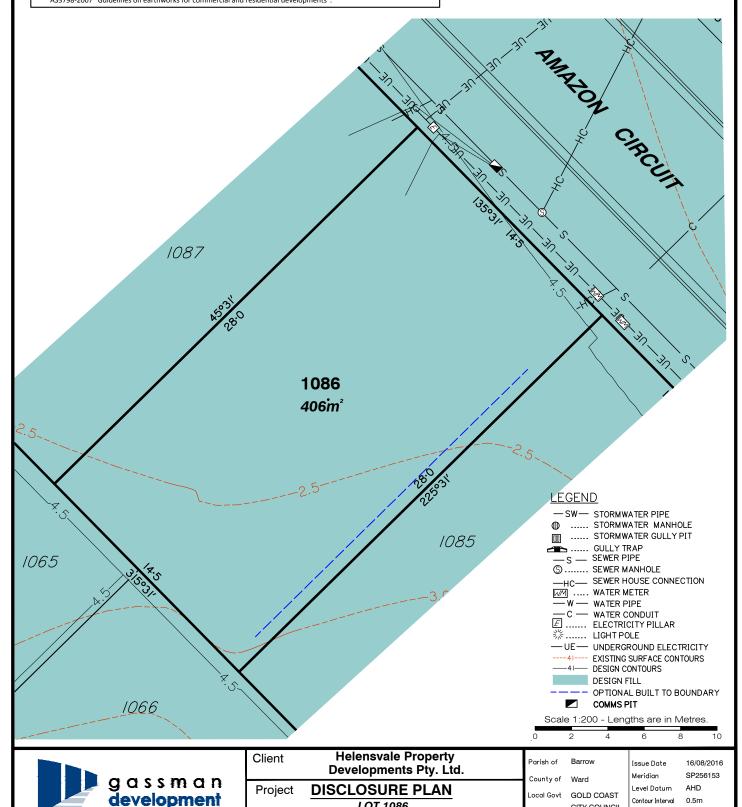
REFERENCE No.

PLAN No.

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10/08/2016

T. Geraghty



LOT 1086

(Survey plan: SP264763)

THE SURROUNDS

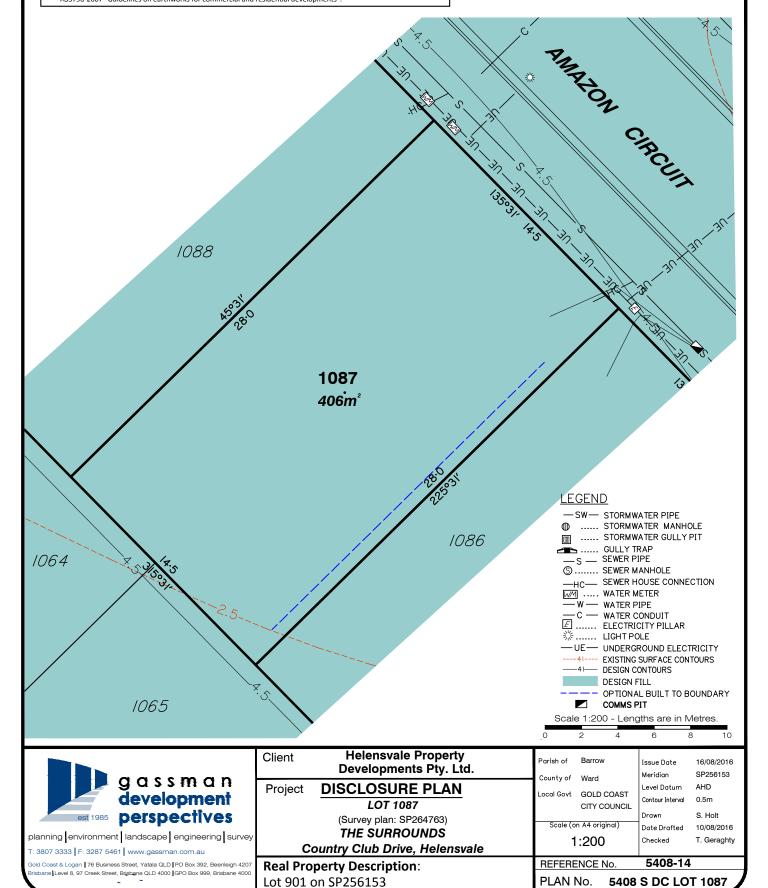
Country Club Drive, Helensvale

Real Property Description:

Lot 901 on SP256153

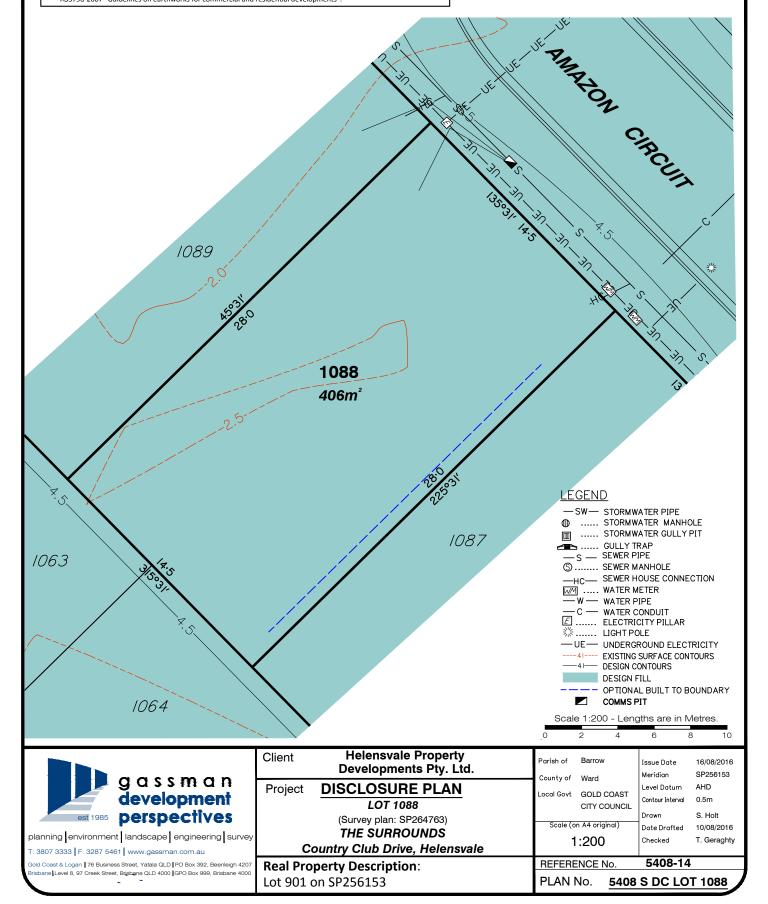
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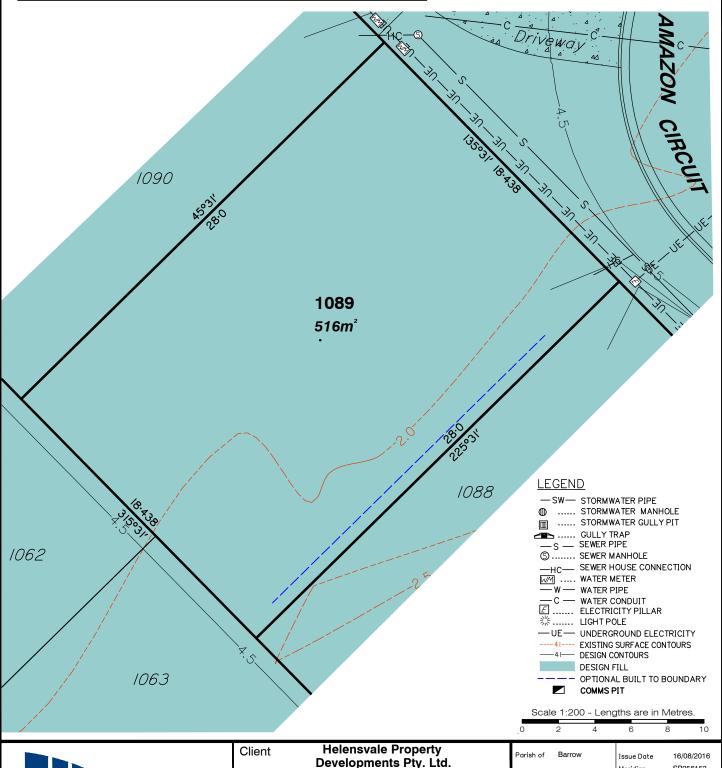
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Client	Helensvale Property
	Developments Pty. Ltd

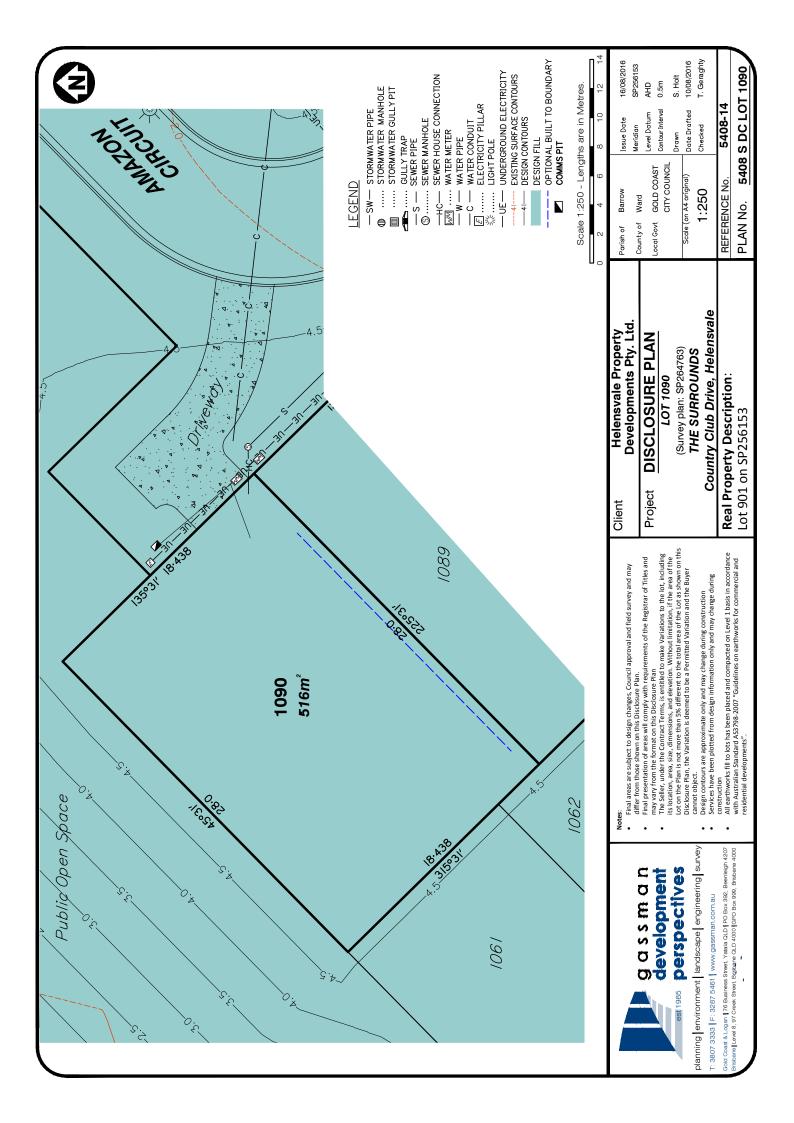
Project **DISCLOSURE PLAN** LOT 1089

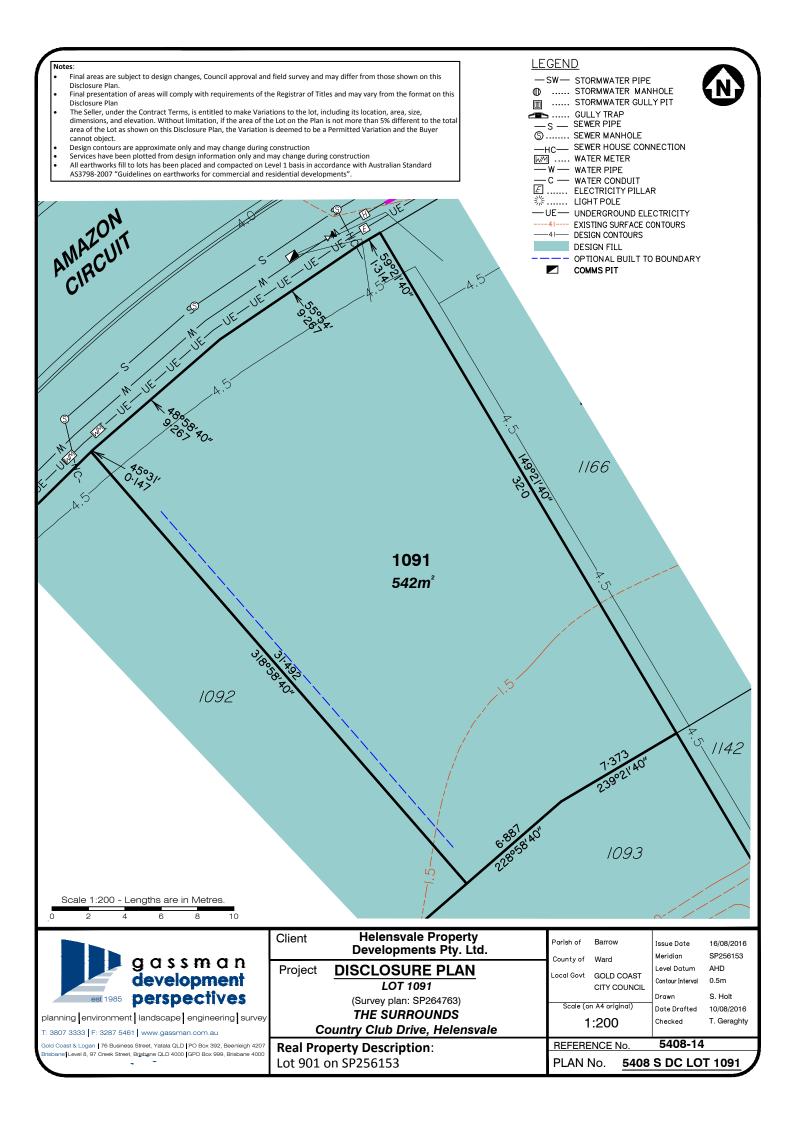
> (Survey plan: SP264763) THE SURROUNDS

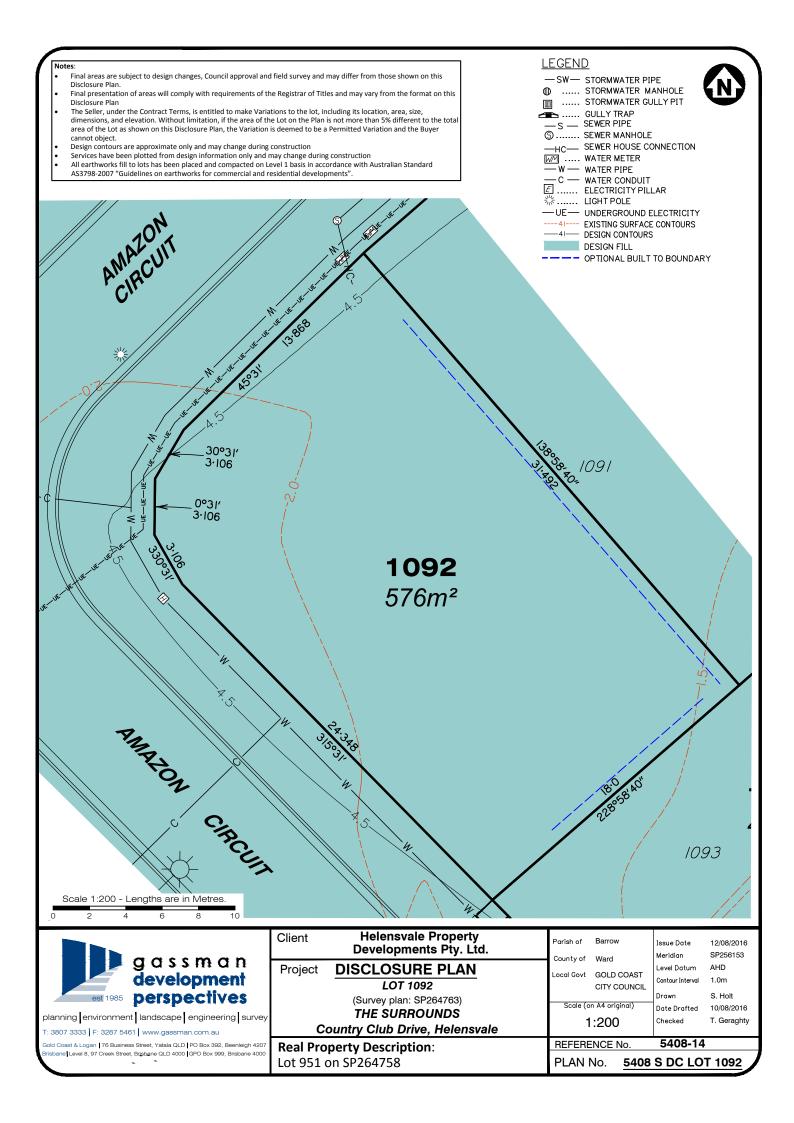
Country Club Drive, Helensvale

Meridian SP256153 County of Ward Level Datum AHD Local Govt GOLD COAST Contour Interval 0.5m CITY COUNCIL Scale (on A4 original) Date Drafted 10/08/2016 1:200 Checked T. Geraghty 5408-14

Real Property Description: REFERENCE No. PLAN No. Lot 901 on SP256153 5408 S DC LOT 1089

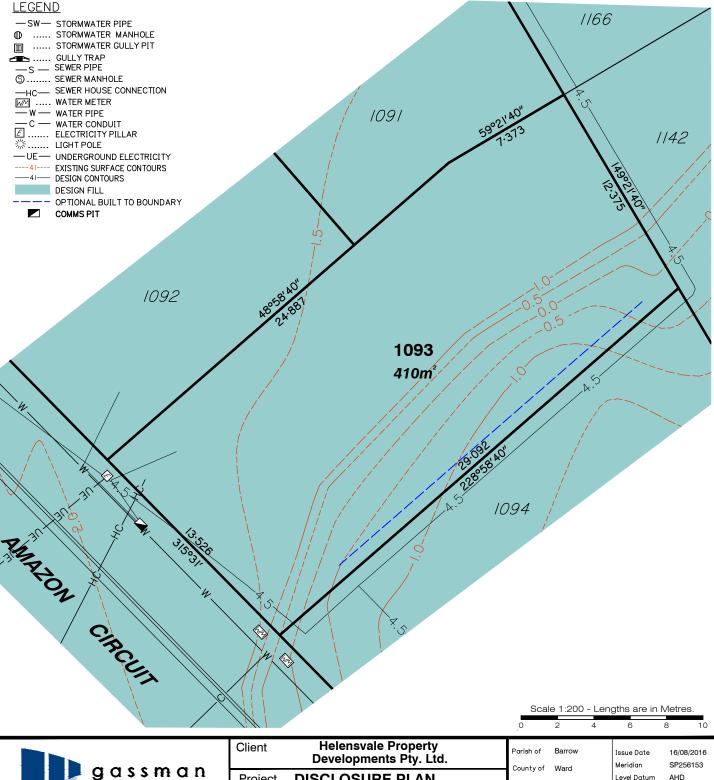






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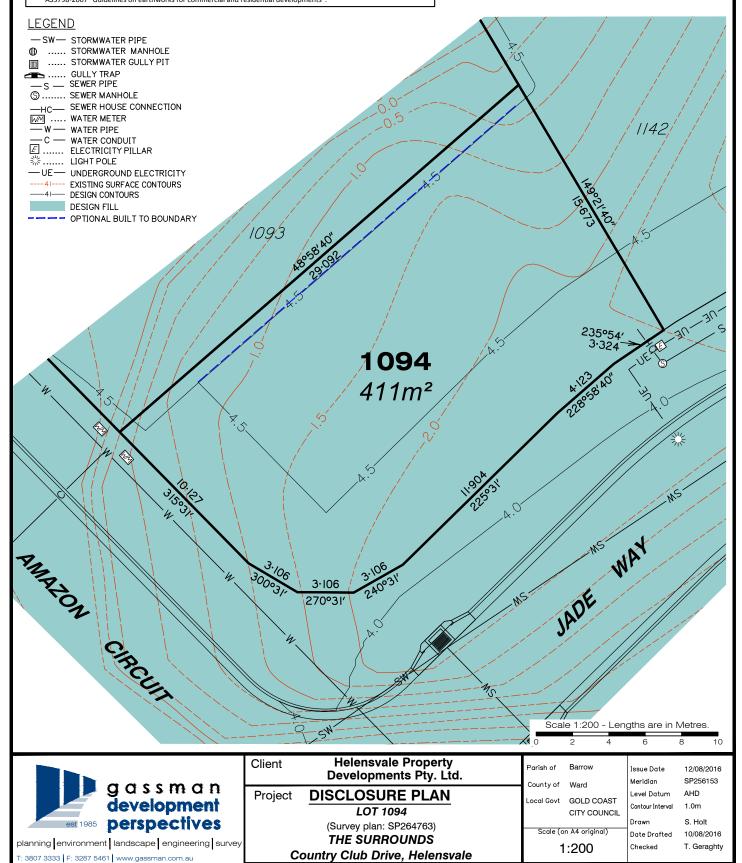
planning environment landscape engineering survey

development

perspectives

SP256153 Meridian County of Ward **Project DISCLOSURE PLAN** Level Datum AHD Local Govt GOLD COAST 0.5m Contour Interval LOT 1093 CITY COUNCIL Drawn S. Holt (Survey plan: SP264763) Scale (on A4 original) 10/08/2016 Date Drafted **THE SURROUNDS** Checked T. Geraghty 1:200 Country Club Drive, Helensvale 5408-14 REFERENCE No. **Real Property Description:** 5408 S DC LOT 1093 Lot 901 on SP256153 PLAN No.

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Real Property Description:

Lot 951 on SP264758

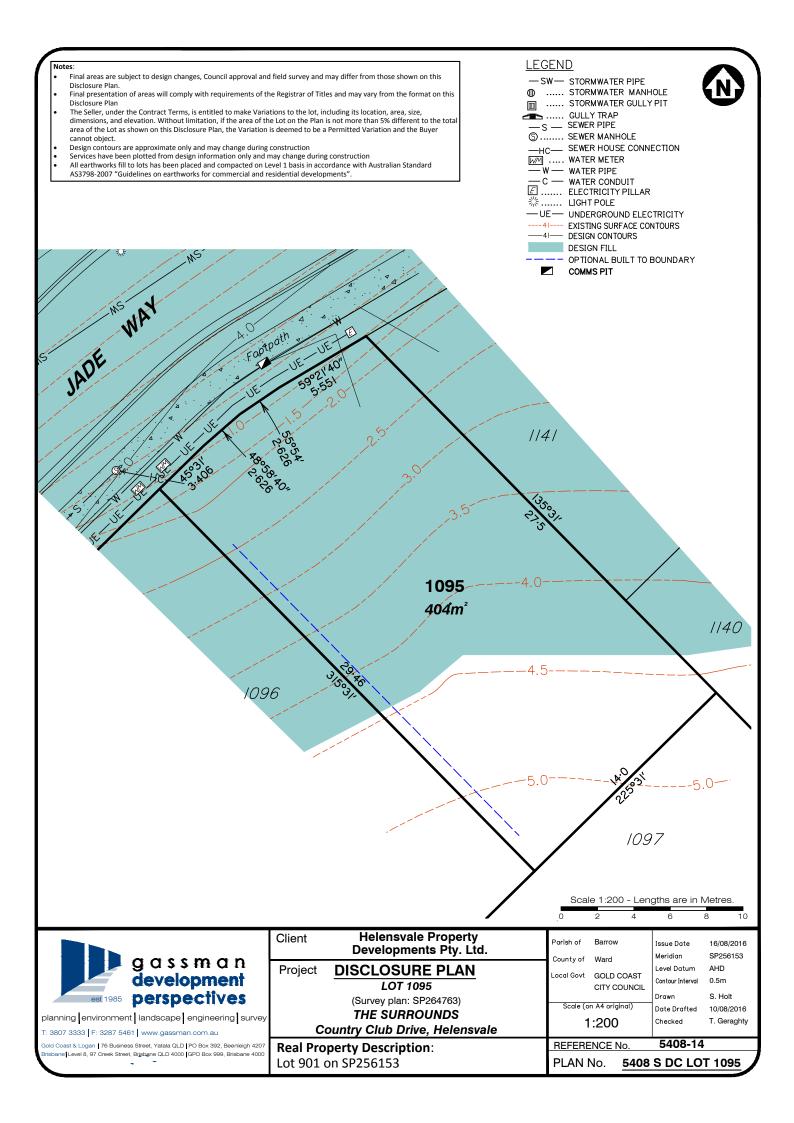
sbane Level 8, 97 Creek Street, Brisbane QLD 4000 GPO Box 999, Brisbane 4000

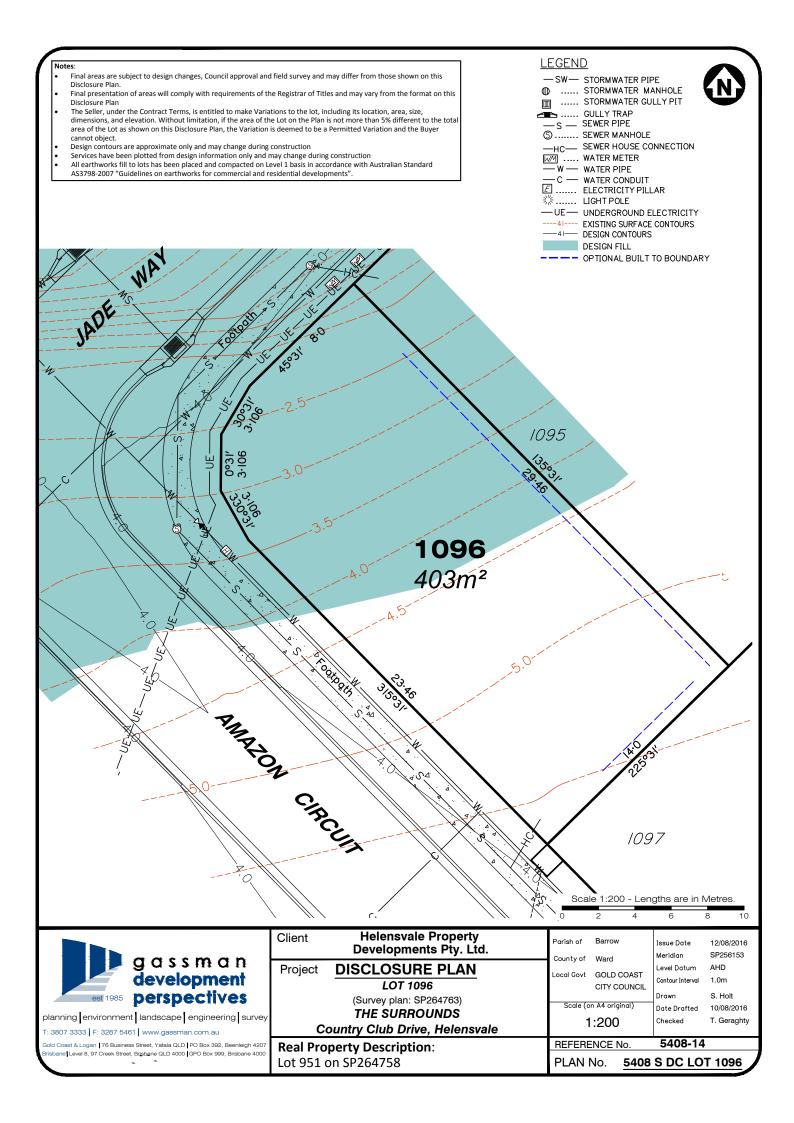
REFERENCE No.

PLAN No.

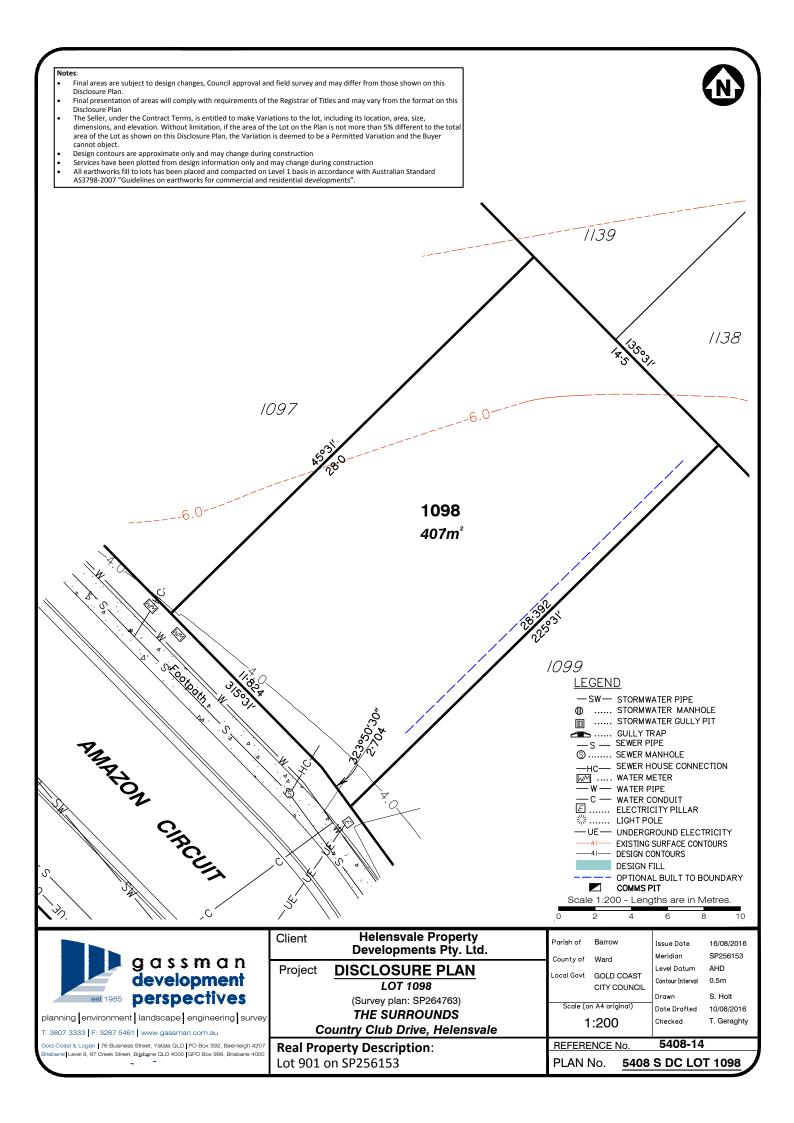
5408-14

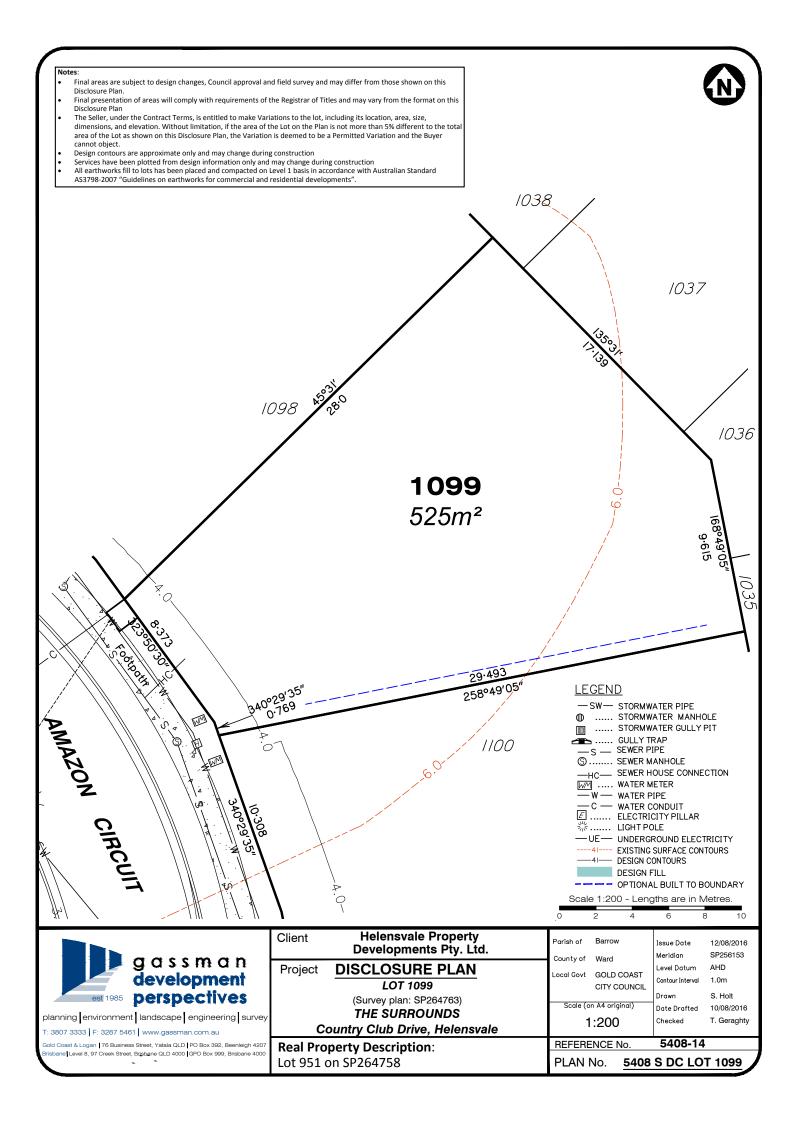
5408 S DC LOT 1094



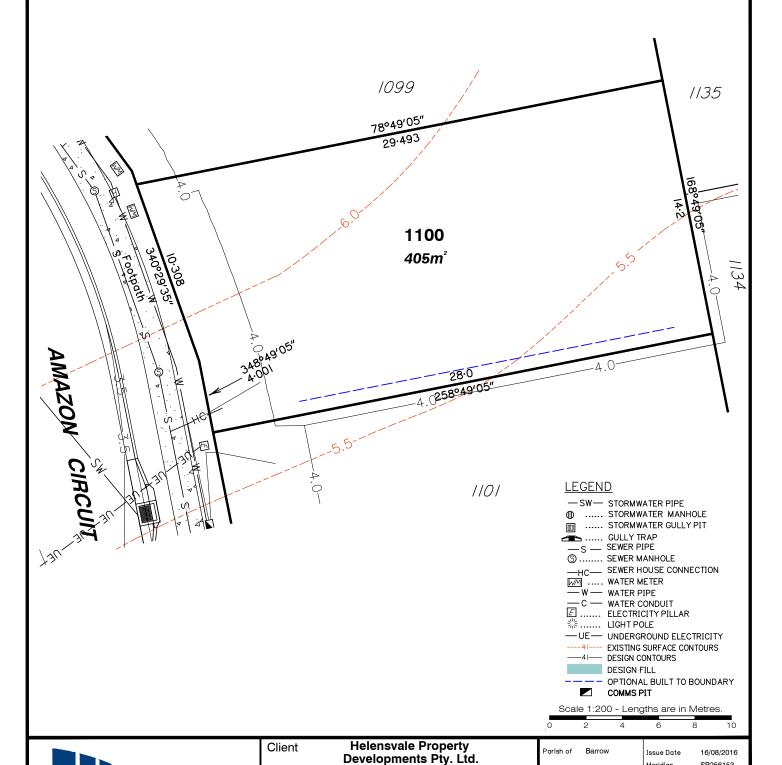


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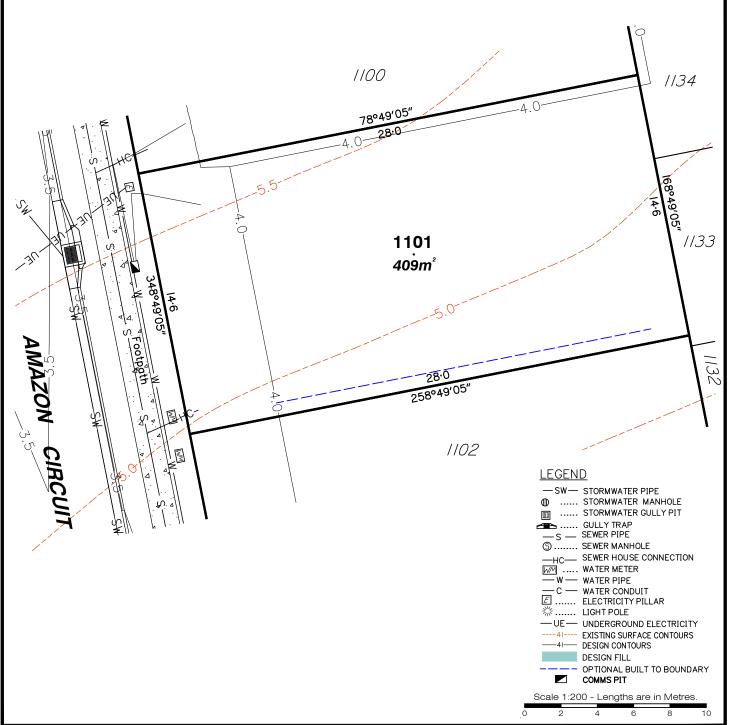
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SP256153 Meridian County of Ward **Project DISCLOSURE PLAN** Level Datum AHD Local Govt GOLD COAST 0.5m Contour Interval LOT 1100 CITY COUNCIL Drawn S. Holt (Survey plan: SP264763) Scale (on A4 original) 10/08/2016 Date Drafted **THE SURROUNDS** Checked T. Geraghty 1:200 Country Club Drive, Helensvale REFERENCE No. 5408-14 **Real Property Description:** 5408 S DC LOT 1100 Lot 901 on SP256153 PLAN No.

- Final areas are subject to design changes, Council approval and field survey and may differ from those shown on this Disclosure Plan.
- Final presentation of areas will comply with requirements of the Registrar of Titles and may vary from the format on this
- The Seller, under the Contract Terms, is entitled to make Variations to the lot, including its location, area, size dimensions, and elevation. Without limitation, if the area of the Lot on the Plan is not more than 5% different to the total area of the Lot as shown on this Disclosure Plan, the Variation is deemed to be a Permitted Variation and the Buyer cannot object.
- Design contours are approximate only and may change during construction
- Services have been plotted from design information only and may change during construction
 All earthworks fill to lots has been placed and compacted on Level 1 basis in accordance with Australian Standard
 AS3798-2007 "Guidelines on earthworks for commercial and residential developments".





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old Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207 ne Level 8, 97 Creek Street, Brisbane QLD 4000 GPO Box 999, Brisbane 4000

Client	Helensvale Property	
	Developments Pty. Ltd.	

Project DISCLOSURE PLAN

LOT 1101

(Survey plan: SP264763)

THE SURROUNDS Country Club Drive, Helensvale

Real Property Description:
Lot 901 on SP256153

ı				
ı	Parish of	Barrow	Issue Date	16/08/2016
ı	County of	Ward	Meridian	SP256153
ı	Local Govt	0010 00407	Level Datum	AHD
	Local Govi	GOLD COAST CITY COUNCIL	Contour Interval	0.5m
ı		CITT COUNCIL	Drawn	S. Holt
	Scale (on A4 original)		Date Drafted	10/08/2016
	1	:200	Checked	T. Geraghty

5408-14 REFERENCE No.

5408 S DC LOT 1101 PLAN No.

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development

perspectives

planning environment landscape engineering survey

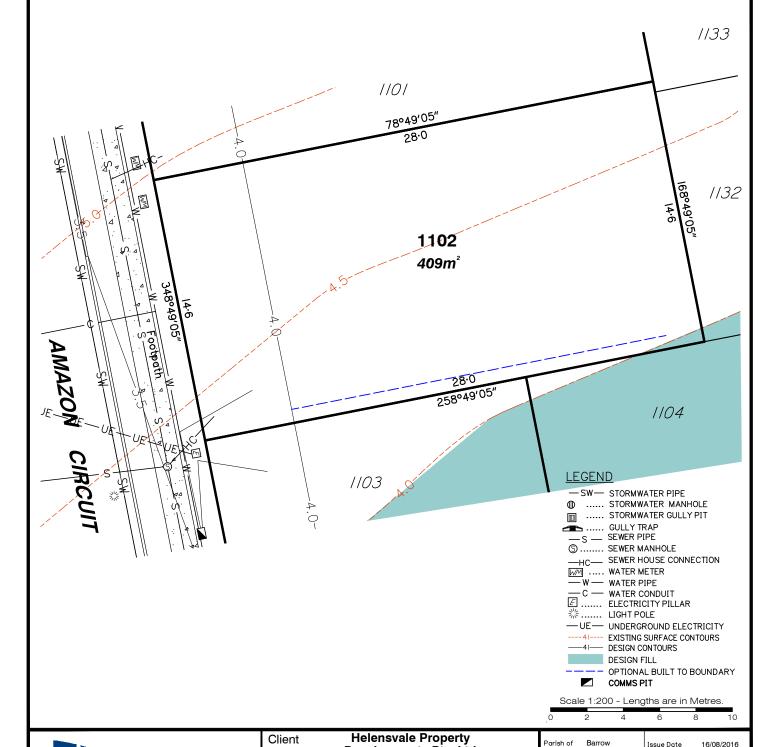
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Project





Developments Pty. Ltd.

DISCLOSURE PLAN

LOT 1102

(Survey plan: SP264763)

THE SURROUNDS

Country Club Drive, Helensvale

Real Property Description:

Lot 901 on SP256153

Parish of

County of Ward

Barrow

CITY COUNCIL

Local Govt GOLD COAST

Scale (on A4 original)

1:200

REFERENCE No.

PLAN No.

Issue Date

Level Datum

Contour Interval

Date Drafted

5408-14

5408 S DC LOT 1102

Meridian

Drawn

SP256153

AHD

S. Holt

10/08/2016

T. Geraghty

