

LEGEND - LAYOUT PLAN

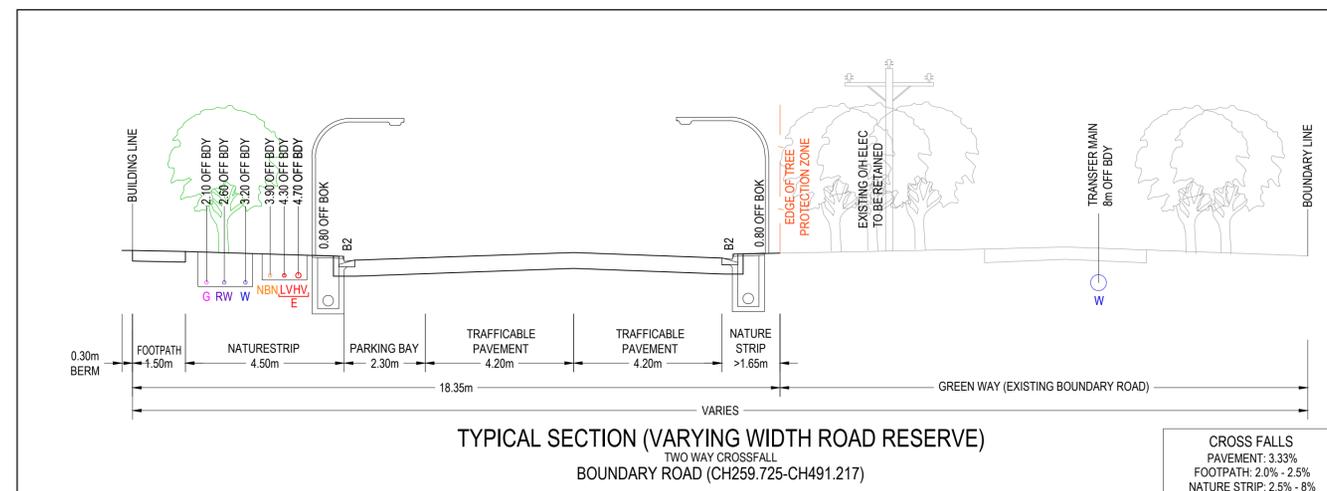
- STORMWATER DRAIN, PIT & PROPERTY INLET
- SWALE DRAIN
- SEWER & MAINTENANCE STRUCTURES
- HOUSE DRAIN
- SERVICE CONDUITS
- TACTILE PAVERS
- EXISTING ELECTRICITY (UNDERGROUND)
- EXISTING ELECTRICITY (OVERHEAD)
- EXISTING GAS
- EXISTING OPTIC FIBRE
- EXISTING TELSTRA
- EXISTING WATER
- EXISTING RECYCLED WATER
- EXISTING STORMWATER DRAIN
- EXISTING SEWER
- EXISTING HOUSE DRAIN
- EXISTING CATCH DRAIN
- EXISTING SURFACE LEVEL
- FINISHED BUILDING LINE LEVEL
- FINISHED RIDGE LINE LEVEL
- TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL
- RETAINING WALL
- BUILDING ENVELOPE
- PAVEMENT TREATMENT
- STRUCTURAL FILL > 200mm DEEP
- EX STRUCTURAL FILL > 200mm DEEP
- DIRECTION OF FALL
- OVERLAND FLOW
- ALLOTMENT TO BE GRADED EVENLY IN
- DIRECTION OF FALL TO LEVELS INDICATED
- CONCRETE EDGE STRIP WITH SUBSOIL DRAIN, "NO ROAD" SIGN & BARRIER
- LIMIT OF WORKS
- EXISTING TREE TO BE REMOVED
- PERMANENT SURVEY MARK
- TEMPORARY BENCH MARK
- PROPOSED DRIVEWAY

WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES
 The locations of underground & overhead services are approximate only & their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works
DIAL 1100 BEFORE YOU DIG
www.1100.com.au

NOTE:
 THIS STAGE IS NON-WORKS. ALL CIVIL WORKS TO BE COMPLETED AS A PARK OF THE BOUNDARY ROAD WORKS. REF 180016.BDY.

SERVICES OFFSET SCHEDULE

ROAD NAME	GAS		RECYCLED WATER		POTABLE WATER		OPTIC FIBRE		ELEC (LV)		ELEC (HV)		TRANSFER WATER		O/H ELEC	
	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET
BOUNDARY RD (SOVEREIGN DR - CONQUEST ST)	S	2.10	S	2.60	S	3.10	N	1.80	N	2.30	N	2.80	S	4.25	S	1.35*
BOUNDARY RD (CONQUEST ST - OWARRA BLVD)	S	2.10	N	2.60	N	3.10	S	2.00*	W	1.60*	W	1.20*	S	8.00	S	1.35*
BOUNDARY RD (OWARRA BLVD - AQUAMARINE PDE)	N	2.10	N	2.60	N	3.10	S	2.00*	W	1.60*	W	1.20*	S	8.00	S	Ex.VARIES



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
A	19/02/19	ISSUED FOR SALES	M.T	M.T	T.P

villawood properties
 Communities Designed for Living

creo CONSULTANTS
 Level 7, 176 Wellington Parade
 East Melbourne, VIC, Australia 3002

ARMSTRONG
 MT DUNEED

ARMSTRONG - MT DUNEED
STAGE 40A
STAGE LAYOUT PLAN

ISSUED FOR INFORMATION
NOT FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
1:500 @ A1	M.TROUNCE	M.TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
T.PALIOS	T.PALIOS	FEBRUARY 2019
PROJECT No.	DRAWING No.	REVISION
180016.40A	R200	A