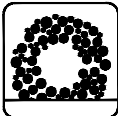
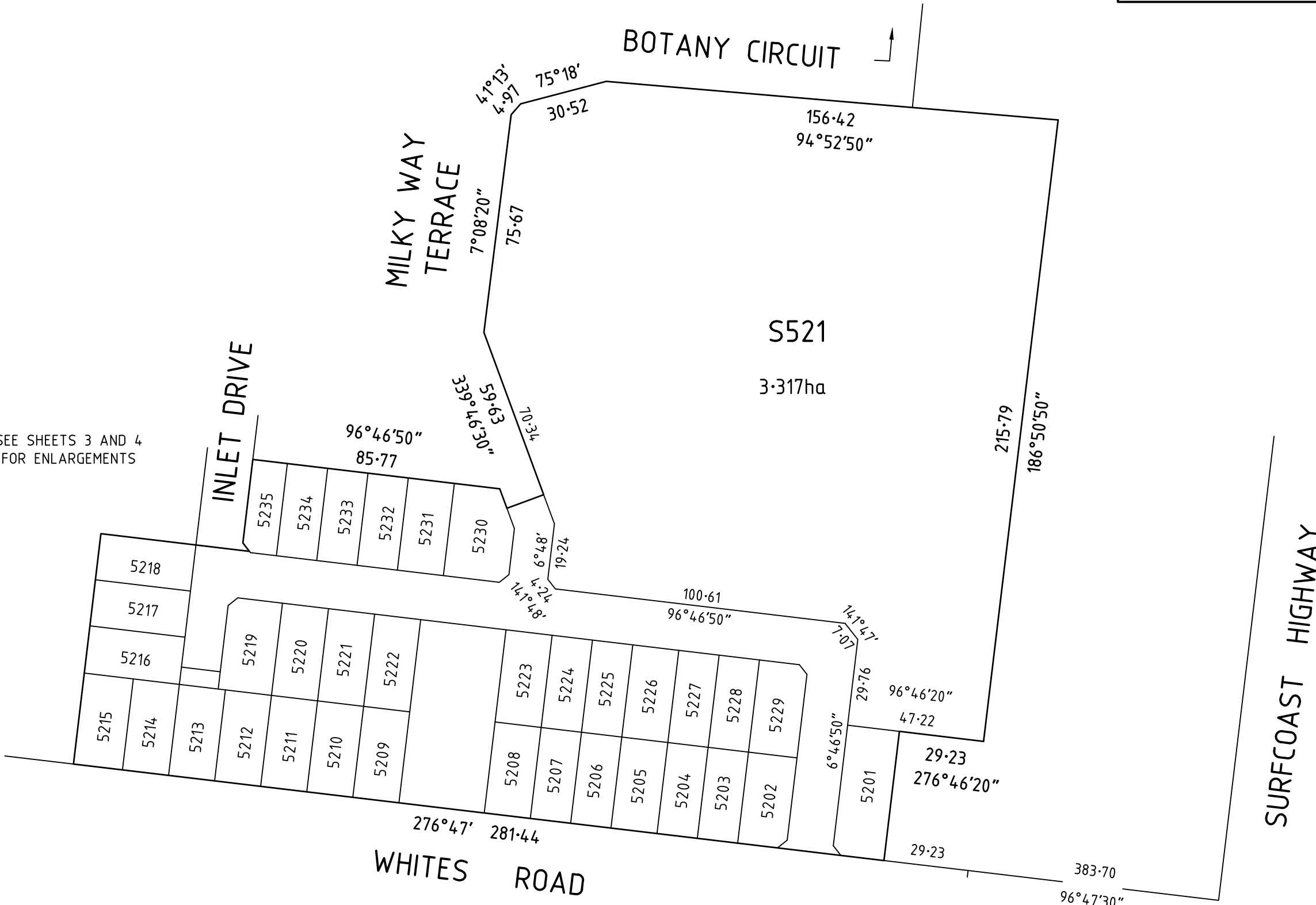


PLAN OF SUBDIVISION				EDITION 1		PS 709524N/S52	
LOCATION OF LAND PARISH: DUNEED TOWNSHIP: - SECTION: 12 CROWN ALLOTMENT: K & M (PART) CROWN PORTION: - TITLE REFERENCE: VOL. FOL. LAST PLAN REFERENCE: PS 709524N (LOT S532) POSTAL ADDRESS: 52-86 WHITES ROAD (AT TIME OF SUBDIVISION) MOUNT DUNEED 3217 MGA94 CO-ORDINATES: E 266 200 ZONE 55 (AT APPROX CENTRE OF LAND IN PLAN) N 5 765 020 GDA 94				Council Name: City of Greater Geelong Council Reference Number: 15958 Planning Permit Reference: 496/2012 SPEAR Reference Number: S205037H Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 09/05/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has not been made Digitally signed by: Shane Pritchard for City of Greater Geelong on 07/05/2025			
VESTING OF ROADS AND OR RESERVES				NOTATIONS			
IDENTIFIER		COUNCIL/BODY/PERSON		LOTS ON THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS: FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, ENTITLEMENT & LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES. NONE OF THE EASEMENTS AND RIGHTS MENTIONED IN SUB-SECTION (2) OF SECTION 12 OF THE SUBDIVISION ACT 1988 ARE IMPLIED OVER ANY OF THE LAND IN THIS PLAN LOTS 1-5200 HAVE BEEN OMITTED FROM THIS PLAN. CREATION OF RESTRICTION No.52: A RESTRICTION IS TO BE CREATED UPON REGISTRATION OF THIS PLAN -SEE SHEET 5.			
ROADS R-52		CITY OF GREATER GEELONG					
RESERVE No.18		CITY OF GREATER GEELONG					
RESERVE No.19		CITY OF GREATER GEELONG					
NOTATIONS							
DEPTH LIMITATION: DOES NOT APPLY							
STAGING: THIS IS A STAGED SUBDIVISION. PLANNING PERMIT No.496/2012 SURVEY: THIS PLAN IS BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARK No(s) N/A IN PROCLAIMED SURVEY AREA No. N/A							
EASEMENT INFORMATION							
LEGEND: A - APPURTENANT EASEMENT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)							
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED/IN FAVOUR OF			
E-1 & E-3	DRAINAGE	SEE PLAN	THIS PLAN	CITY OF GREATER GEELONG			
E-2 & E-3	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	THIS PLAN - SECTION 136 WATER ACT 1989	BARWON REGION WATER CORPORATION			
E-6	DRAINAGE	SEE PLAN	PS 709524N	CITY OF GREATER GEELONG			
E-5 & E-6	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	PS 709524N - SECTION 136 WATER ACT 1989	BARWON REGION WATER CORPORATION			
Overland Surveying Pty Ltd Licensed Land Surveyors Melbourne Office Ph. +61 3 8832 8012 admin@overland-surveying.com.au 384 Keilor Road, Niddrie, VIC 3042			Armstrong MtDuneed Stage 52	DEVELOPMENT AREA: 5.827ha	NO.OF LOTS: 35 AND S521	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 5 SHEETS
OVERLAND SURVEYING Survey Property Subdivision			Digitally signed by: Zois Aravanis, Licensed Surveyor, Surveyor's Plan Version (T), 05/05/2025, SPEAR Ref: S205037H				
REF: M100611/52			VERSION: T			GL 29/1/25	



SEE SHEETS 3 AND 4
FOR ENLARGEMENTS



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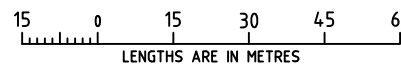
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384 Keilor Road, Niddrie, VIC 3042

REF: **M100611/52**

VERSION: T

GL 29/1/25

SCALE
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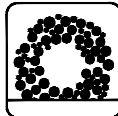
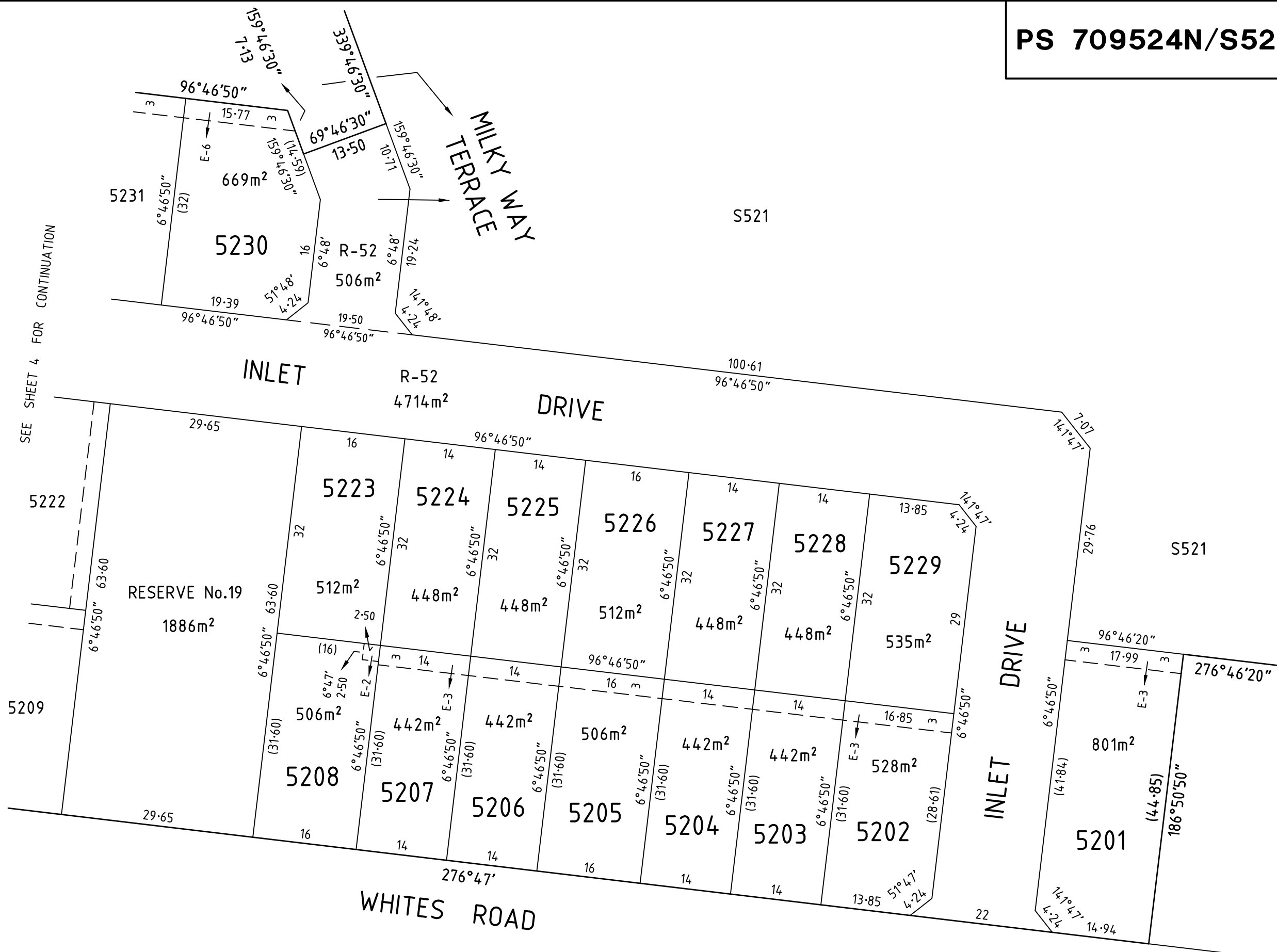


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05/05/2025, SPEAR Ref: S205037H

ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by:
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07/05/2025,
SPEAR Ref: S205037H



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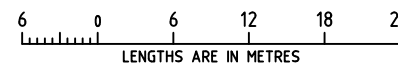
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REF: M100611/52

VERSION: T

GL 29/1/25

SCALE
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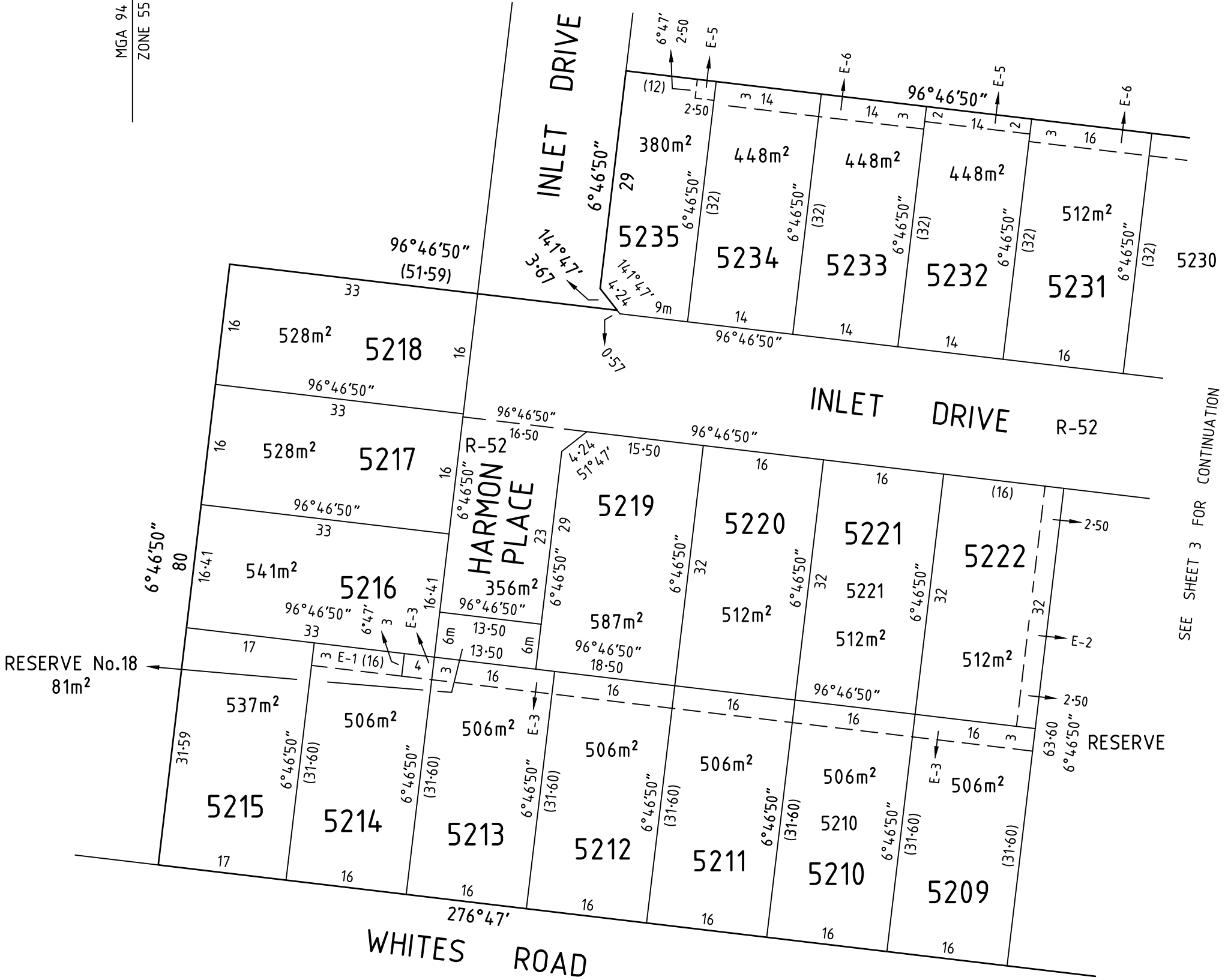
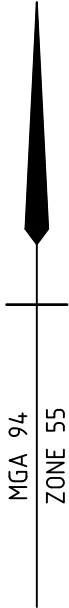


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05/05/2025, SPEAR Ref: S205037H

ORIGINAL SHEET
SIZE: A3

SHEET 3

Digitally signed by:
City of Greater Geelong,
07/05/2025,
SPEAR Ref: S205037H



SEE SHEET 3 FOR CONTINUATION

CREATION OF RESTRICTION No.52-1

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

LAND TO BE BURDENED: LOTS 5201-5235 (BOTH INCLUSIVE)
LAND TO BENEFIT: LOTS 5201-5235 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF A LOT ON THIS PLAN OF SUBDIVISION HIS HEIRS EXECUTORS ADMINISTRATORS AND TRANSFEREES SHALL NOT AT ANY TIME ON THE SAID LOT OR ANY PART OR PARTS THEREOF:

- (i)

BUILD OR CAUSE TO BE BUILT OR ALLOW TO BE BUILT OR ALLOW TO REMAIN MORE THAN ONE PRIVATE DWELLING-HOUSE (WHICH EXPRESSION SHALL INCLUDE A HOUSE, APARTMENT, UNIT OR FLAT);
- (ii)

BUILD OR CAUSE TO BE BUILT OR ALLOW TO BE BUILT OR ALLOW TO REMAIN A DWELLING-HOUSE OR ANY OTHER IMPROVEMENTS, OR CARRY OUT CAUSE TO BE CARRIED OUT OR ALLOW TO BE CARRIED OUT ANY BUILDING OR CONSTRUCTION WORKS ON THE LOT UNLESS:

(A)

COPIES OF BUILDING PLANS, ELEVATIONS, ROOF PLAN, SITE PLAN (INCORPORATING SET-BACK FROM ALL BOUNDARIES, BUILDING ENVELOPE, EXISTING CONTOUR, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULE OF EXTERNAL COLOURS AND MATERIALS ("PLANS") HAVE BEEN SUBMITTED TO THE DESIGN ASSESSMENT PANEL CARE OF STEPHAN P. KOSA & ASSOCIATES P/L, 27 CHURCH STREET, HAWTHORN, VIC 3122 OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;

(B)

THE PLANS COMPLY WITH THE APPROVED BUILDING ENVELOPES ISSUED IN ACCORDANCE WITH PLANNING PERMIT 496-2012 OR ANY SUBSEQUENT PERMIT, A COPY OF WHICH CAN BE OBTAINED FROM THE WEBSITE AT www.armstrongmtduneeed.com.au;

(C)

THE PLANS COMPLY WITH THE DESIGN GUIDELINES, A COPY OF WHICH CAN BE OBTAINED FROM THE WEBSITE AT www.armstrongmtduneeed.com.au;

(D)

THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAS GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS;

(iii)

BUILD OR CAUSE TO BE BUILT OR ALLOW TO BE BUILT OR ALLOW TO REMAIN ANY FENCING:

(A)

ALONG A FRONT STREET BOUNDARY; OR

(B)

BETWEEN THE FRONT STREET BOUNDARY AND THE BUILDING LINE; OR

(C)

UPON A SIDE OR REAR BOUNDARY OF A LOT EXCEPT A FENCE:

a.

WHICH IS CONSTRUCTED OF TIMBER PALINGS WITH EXPOSED POSTS CAPPED ACROSS THE TOP OF THE PALINGS; AND

b.

WHICH DOES NOT EXCEED 1.8 METRES IN HEIGHT EXCLUDING A SCREEN ERECTED TO MEET THE REQUIREMENTS OF PART 4 OF THE *BUILDING REGULATIONS* 2018 IN RELATION TO OVERLOOKING.

(iv)

SUBDIVIDE OR CAUSE TO SUBDIVIDE OR ALLOW TO BE SUBDIVIDED THE BURDENED LAND.

(v)

ALLOW ANY OF THE ABOVE RESTRICTIONS TO BE CHANGED OR AMENDED UNLESS OTHERWISE APPROVED IN WRITING BY THE DESIGN ASSESSMENT PANEL..

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT 10 YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.

CREATION OF RESTRICTION No.52-2

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

LAND TO BE BURDENED: LOTS 5201-5235 (BOTH INCLUSIVE)
LAND TO BENEFIT: LOTS 5201-5235 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF A BURDENED LOT MUST NOT:

(i)

BUILD OR PERMIT TO BE BUILT ANY BUILDING(S) THAT DOES NOT PROVIDE 1.0 METRE CLEAR HORIZONTAL ACCESS ALONG THE FULL LENGTH OF A MINIMUM ONE SIDE BOUNDARY OF THE LOT.

 OVERLAND SURVEYING Survey Property Subdivision	Overland Surveying Pty Ltd Licensed Land Surveyors Melbourne			ORIGINAL SHEET SIZE: A3	SHEET 5
	Office Ph. +61 3 8832 8012 admin@overland-surveying.com.au 384 Keilor Road, Niddrie, VIC 3042	Digitally signed by: Zois Aravanis, Licensed Surveyor, Surveyor's Plan Version (T), 05/05/2025, SPEAR Ref: S205037H	Digitally signed by: City of Greater Geelong, 07/05/2025, SPEAR Ref: S205037H		
REF: M100611/52		VERSION: T	GL 29/1/25		

OWNERS CORPORATION SCHEDULE							PS709524N/S52																			
Owners Corporation No. 1							Plan No. PS709524N																			
Land affected by Owners Corporation:							ALL LAND AFFECTED BY OWNERS CORPORATION 1 ON PREVIOUS STAGES OF THIS PLAN AND ALL OF THE LOTS IN THE TABLE BELOW Common Property No.: 1																			
Limitations of Owners Corporation:							Unlimited																			
Notations NIL																										
<table><tr><td colspan="3">Totals</td></tr><tr><td></td><td>Entitlement</td><td>Liability</td></tr><tr><td>This schedule</td><td>3500</td><td>3500</td></tr><tr><td>Balance of existing OC</td><td>416500</td><td>171100</td></tr><tr><td>Overall Total</td><td>420000</td><td>174600</td></tr></table>												Totals				Entitlement	Liability	This schedule	3500	3500	Balance of existing OC	416500	171100	Overall Total	420000	174600
Totals																										
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OVERLAND SURVEYING Survey	Property	Subdivision Overland Surveying Pty Ltd	Licensed Land Surveyors	Melbourne Office Ph. +61 3 8832 8012	admin@overland-surveying.com.au 384 Keilor Road, Niddrie, VIC, 3042, Australia				SURVEYORS FILE REFERENCE: M100611/52					SHEET 1		
					ORIGINAL SHEET SIZE: A3											
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