

WANDANA ESTATE

STAGE 5

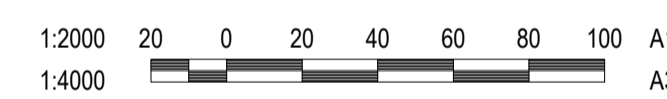
CITY OF GREATER GEELONG

GENERAL NOTES:

- THE WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT INFRASTRUCTURE DESIGN MANUAL STANDARD DRAWINGS AND GREATER GEELONG CITY COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS. WORKS TO BE CARRIED OUT TO THE SATISFACTION OF COUNCIL'S SUPERVISING OFFICER.
- THE CONTRACTOR IS RESPONSIBLE FOR SAFETY OF WORK ON SITE IN ACCORDANCE WITH APPROPRIATE LEGISLATION. THEY SHALL ERECT AND MAINTAIN ALL SHORING, PLANKING AND STRUTTING, DEWATERING DEVICES, BARRICADES, SIGNS, LIGHTS, ETC. NECESSARY TO KEEP WORKS IN A SAFE AND STABLE CONDITION, AND TO PROTECT THE PUBLIC FROM HAZARDS ASSOCIATED WITH THE WORKS.
- THE CONTRACTOR SHALL:
 - COMPLY WITH THE "SAFETY PRECAUTIONS IN TRENCHING OPERATIONS" (CODE OF PRACTICE No.8, 1998)
 - NOTIFY WORK SAFE OF HIS INTENTION TO COMMENCE TRENCHING OPERATIONS WHERE TRENCHES ARE 1.5 METRES OR DEEPER.
 - ENSURE THAT THE MINE MANAGER OR HIS DEPUTY AS REQUIRED BY THE REGULATIONS IS IN ATTENDANCE WHEN TRENCHING OPERATIONS ARE IN PROGRESS.
- THE CONTRACTOR IS TO NOTIFY COUNCIL AND ALL SERVICE AUTHORITIES SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE LOCATION OF EXISTING SERVICES SHOULD BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCING ANY EXCAVATION BY CONTACTING ALL RELEVANT SERVICE AUTHORITIES. ANY EXISTING SERVICES SHOWN ON THE DRAWINGS ARE OFFERED AS A GUIDE ONLY AND ARE NOT GUARANTEED AS CORRECT.
- REDGUM TREES MARKED ON THE APPROVED PLANS FOR REMOVAL MUST BE REMOVED IN ACCORDANCE WITH COUNCIL'S PLANNING PERMIT. NO EXCAVATION SHALL BE CARRIED OUT WITHIN THE TREE PROTECTION ZONE OF ANY EXISTING TREE WITHOUT WRITTEN APPROVAL FROM COUNCIL'S SUPERVISING OFFICER.
- ALL ROAD CHAINAGES ARE MEASURED ALONG THE ROAD CENTRELINE EXCEPT KERB RETURNS AND COURTHEADS, WHERE LIP OF KERB CHAINAGES ARE SPECIFIED. ALL DIMENSIONS AND RADII ARE GIVEN TO THE LIP OF KERB. DO NOT SCALE OFF THESE DRAWINGS. WRITTEN DIMENSIONS ONLY SHALL BE USED.
- ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
- ALL EXCAVATED OR FILLED AREAS OUTSIDE THE ROAD RESERVES TO BE STRIPPED OF TOPSOIL AND STOCKPILED PRIOR TO EARTHWORKS COMMENCING. THESE AREAS SHALL BE RESURFACED WITH A 150mm LAYER OF TOPSOIL AS SPECIFIED.
- NO TOPSOIL TO BE REMOVED FROM SITE.
- NO FILL OR STOCKPILING OF MATERIAL IS TO BE PLACED ON ANY RESERVE UNLESS DIRECTED BY THE SUPERINTENDENT.
- FILLING ON ALLOTMENTS AND UNDER ROAD PAVEMENTS TO HAVE LEVEL 1 SUPERVISION IN ACCORDANCE WITH AS3798-1996. INDIVIDUAL LOT CERTIFICATES ARE TO BE PROVIDED TO THE SUPERINTENDENT.
- FILLING UNDER DRIVEWAYS AND FOOTPATH IS TO BE APPROVED BY THE SUPERINTENDENT AND CONSTRUCTED IN LAYERS 150mm DEPTH. COMPACTION ACHIEVING A MINIMUM DENSITY RATIO OF 98% (STANDARD) IN ACCORDANCE WITH AS1289 CLAUSE 5.1.1.
- CUT AND FILL BATTER SLOPES ARE NOT TO EXCEED 1 in 6 UNLESS SHOWN OTHERWISE.
- ALL DRAINAGE PIPES ARE TO BE SPIGOT-SOCKET RUBBER RING JOINTED UNLESS STATED OTHERWISE.
- ALL DRAINAGE TRENCHES UNDER PARKING BAYS, DRIVEWAYS, FOOTPATHS AND BEHIND KERB & CHANNEL, SHALL BE BACKFILLED WITH CRUSHED SHAL AS SPECIFIED.
- ALL PIPES UNDER ROADS SHALL BE BACKFILLED WITH 2% STABILIZED SAND TO SPRINGLINE. ABOVE THIS POINT, PROVIDE 20mm NOM. SIZE CLASS 3 FINE CRUSHED ROCK (WETMIX) COMPACTED TO 98% MODIFIED COMPACTION IN 150mm MAXIMUM LAYER.
- PROPERTY INLETS AS PER INFRASTRUCTURE DESIGN MANUAL (IDM) STANDARD DRAWING SD 520 ARE TO BE LOCATED 1.0m FROM LOW SIDE BOUNDARY UNLESS SHOWN OTHERWISE.
- ALL HOUSE DRAIN CONNECTIONS ARE TO BE LOCATED NO CLOSER THAN 6.0m FROM THE SIDE BOUNDARY OR FROM EASEMENT ALONG THE SIDE BOUNDARY UNLESS NOTED OTHERWISE AND CONNECTED DIRECTLY TO UNDERGROUND DRAIN OR PIT. HOUSE DRAIN LOCATION TO BE MARKED (50mm STAMPED IMPRESSION) ON THE TOP OF THE KERB.
- SUBSOIL DRAINS SHALL BE INSTALLED BEHIND OR BELOW ALL KERB AND CHANNEL.
- CONDUIT LOCATIONS ARE SUBJECT TO AMENDMENT AND CONDUITS SHALL NOT BE LAID UNTIL WRITTEN APPROVAL IS GIVEN BY THE SUPERINTENDENT. CONDUITS TO BE EXTENDED TO PROPERTY LINE AND ARE REQUIRED WHEN CONNECTIONS EXTEND UNDER ROAD PAVEMENT, FOOTPATH OR OTHER INFRASTRUCTURE. BOTH KERBS ARE TO BE MARKED (50mm STAMPED IMPRESSION) WITH THE LETTERS E (ELECTRICAL), G (GAS), T (TELEPHONE), W (WATER) AND C (COUNCIL COMMUNICATION) ABOVE CONDUIT LOCATION.
- ALL SERVICING TRENCHES UNDER ROADS, DRIVEWAYS, FOOTPATHS ETC. ARE TO BE BACKFILLED & COMPACTED WITH F.C.R. IN THE CASE OF TRENCHES UNDER ROADS WHERE BACKFILLING HAS NOT ACHIEVED THE SPECIFIED COMPACTION OR SHOWS EXCESSIVE MOVEMENT UNDER PROOF ROLLING, THE BACKFILLING SHALL BE REMOVED AND REPLACED WITH 2% STABILISED COMPACTED F.C.R.
- NO COMMUNICATION PITS ARE TO BE LOCATED IN THE FOOTPATH.
- VEHICULAR CROSSINGS TO BE LOCATED CLEAR OF DRAINAGE PITS, SEWER MAINTENANCE HOLES AND EXISTING TREES. VEHICLE CROSSINGS TO BE 1m FROM PROPERTY BOUNDARY OR EASEMENT UNLESS OTHERWISE SHOWN. VEHICULAR CROSSINGS TO BE CONSTRUCTED AS PER CITY OF GREATER GEELONG "DESIGN NOTES No.4" DATED AUGUST 2012 & IDM STANDARD DRAWINGS SD205 to SD265.
- ALL PEDESTRIAN CROSSINGS TO BE IN ACCORDANCE WITH INFRASTRUCTURE DESIGN MANUAL SD200.
- ALL STREET SIGNS TO BE IN ACCORDANCE WITH INFRASTRUCTURE DESIGN MANUAL STANDARD DRAWINGS. STREET SIGNS TO BE ATTACHED TO LIGHT POLES USING 'SINGLE DIRECTION COLLAR' OR '90° RIGHT ANGLE COLLAR' UNLESS SHOWN OTHERWISE.
- ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHOULD BE TO AS1742.2 AND AS1742.1 STANDARD RESPECTIVELY. TEMPORARY LINEMARKING TO BE PLACED DURING MAINTENANCE PERIOD PRIOR TO PLACEMENT OF WEARING COURSE. FINAL LINEMARKING TO BE LONG LIFE ROAD MARKING WITH LONGITUDINAL LINES IN THERMOPLASTIC AND TRANSVERSE MARKINGS IN COLD APPLIED.
- UPON COMPLETION OF CONSTRUCTION THE WHOLE SITE SHALL BE CLEANED, GRADED, ALL RUBBISH REMOVED AND LEFT IN A CLEAN AND TIDY CONDITION TO THE SATISFACTION OF THE SUPERINTENDENT.
- ALL AREAS OF SUBDIVISION EXPOSED OF VEGETATION, INCLUDING NATURE STRIPS, LOTS AND RESERVES ARE TO BE FULLY GRASSED BY HYDRO MULCHING, WATERED AND MAINTAINED, UNTIL THE END OF MAINTENANCE PERIOD.
- ALL SUMPS IN PRECAST CONCRETE PITS ARE TO BE INFILLED WITH CONCRETE FLUSH TO THE INVERT LEVEL OF THE OUTLET PIPE, UNLESS APPROVED OTHERWISE BY THE COUNCIL WORKS INSPECTOR.
- CITY OF GREATER GEELONG REQUIRES CCTV OF ALL DRAINAGE PIPES AND PITS, PRIOR TO THE ISSUE OF THE STATEMENT OF COMPLIANCE



LOCALITY PLAN
MELWAYS REF: 450 H11



SERVICES OFFSET SCHEDULE

ROAD NAME	GAS		POTABLE WATER		OPTIC FIBRE		ELECTRICITY	
	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET
DREWAN DRIVE (LOTS 29-30, 50-51 & 62-63)	E	1.70	E	2.10	E	2.70	E	3.60
DREWAN DRIVE (LOTS 60-61 & 64-65)	N	1.70	N	2.10	S	1.80	S	2.60
MONCRIEFF CRESCENT	W	1.70	W	2.10	E	1.80	E	2.60
PARER WAY	N	1.70	N	2.10	S	1.80	S	2.60

Drawing Index

DRAWING NO.	DRAWING TITLE	REVISION
R100	COVER SHEET	0
R200	LAYOUT PLAN	0
R201	EARTHWORKS PLAN	0
R300	INTERSECTION DETAIL PLAN - 1	0
R301	INTERSECTION DETAIL PLAN - 2	0
R400	ROAD LONGITUDINAL SECTIONS - 1	0
R401	ROAD LONGITUDINAL SECTIONS - 2	0
R402	ROAD LONGITUDINAL SECTIONS - 3	0
R500	ROAD CROSS SECTIONS - 1	0
R501	ROAD CROSS SECTIONS - 2	0
R502	ROAD CROSS SECTIONS - 3	0
R503	ROAD CROSS SECTIONS - 4	0
R504	ROAD CROSS SECTIONS - 5	0
R505	ROAD CROSS SECTIONS - 6	0
R600	DRAINAGE LONG SECTIONS - 1	0
R601	DRAINAGE LONG SECTIONS - 2	0
R602	DRAINAGE PIT SCHEDULE	0
R700	TYPICAL DETAILS	0
R800	SIGNAGE & LINEMARKING	0

GREATER GEELONG CITY COUNCIL
PLANNING & ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan referred to in Permit No: 392-2015
Sheet 1 of 19 Approved Civil Plans
Cert 13781

Signed: Date: 21/02/2019
For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL

WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES

THE LOCATIONS OF UNDERGROUND & OVERHEAD SERVICES ARE APPROXIMATE ONLY & THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. LOCATE ALL UNDERGROUND SERVICES BEFORE COMMENCEMENT OF WORKS

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www.1100.com.au

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.

CLIENT

Communities Designed for Living

PROJECT

Level 7, 176 Wellington Parade
East Melbourne, VIC, Australia 3002

DRAWING TITLE

Wandana Heights

DRAWING TITLE

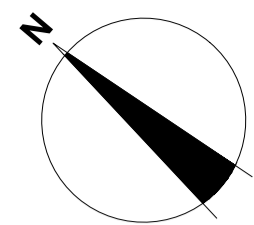
**WANDANA ESTATE - STAGE 5
COVER SHEET**

STATUS

**ISSUED FOR
CONSTRUCTION**

SCALE AT A1	DRAWN	DESIGNED
1:2000 @ A1	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R100	0

P:\2018\180363 - WANDANA ESTATE\180363 - WANDANA STAGE 5\12 - DRAFTING\GAD\180363 - 5 - R100 - COVER SHEET.DWG



GREATER GEELONG CITY COUNCIL
PLANNING & ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan referred to in Permit No: 392-2015
 Sheet 2 of 19 Approved Civil Plans
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Signed Date 21/02/2019

For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL

All sewer manholes are to be positioned and rotated so that they are placed centrally within the footpath to prevent cracking.

- LEGEND - LAYOUT PLAN**
- STORMWATER DRAIN, PIT & PROPERTY INLET
 - SWALE DRAIN
 - SEWER & MAINTENANCE STRUCTURES
 - HOUSE DRAIN
 - SERVICE CONDUITS
 - TACTILE PAVERS
 - EXISTING ELECTRICITY (OVERHEAD)
 - EXISTING ELECTRICITY (UNDERGROUND)
 - EXISTING GAS
 - EXISTING OPTIC FIBRE
 - EXISTING TELSTRA
 - EXISTING WATER
 - EXISTING RECYCLED WATER
 - EXISTING STORMWATER DRAIN
 - EXISTING SEWER
 - EXISTING HOUSE DRAIN
 - EXISTING SURFACE LEVEL
 - FINISHED BUILDING LINE LEVEL
 - FINISHED RIDGE LINE LEVEL
 - TOP OF RETAINING WALL
 - BOTTOM OF RETAINING WALL
 - RETAINING WALL
 - BUILDING ENVELOPE
 - PAVEMENT TREATMENT
 - STRUCTURAL FILL > 200mm DEEP
 - EX. STRUCTURAL FILL > 200mm DEEP
 - DIRECTION OF FALL
 - OVERLAND FLOW
 - ALLOTMENT TO BE GRADED EVENLY IN DIRECTION OF FALL TO LEVELS INDICATED
 - CONCRETE EDGE STRIP WITH SUBSOIL DRAIN, "NO ROAD" SIGN & BARRIER
 - LIMIT OF WORKS
 - EXISTING TREE TO BE REMOVED
 - PERMANENT SURVEY MARK
 - TEMPORARY BENCH MARK
 - PROPOSED DRIVEWAY

WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES

The locations of underground & overhead services are approximate only & their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works

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NOTE:
 SEWER MAINTENANCE HOLE CONVERTER SLAB OR CONE TO BE ROTATED TO ENSURE COVER POSITION IS CENTRALLY LOCATED WITHIN THE FOOTPATH.

NOTE:
 VEHICLE CROSSINGS WITHIN CLOSE PROXIMITY TO INTERSECTIONS ARE TO BE CHECKED FOR VERTICAL CLEARANCE PRIOR TO CONCRETE BEING POURED.



NOTE:
 GARBAGE COLLECTION FOR LOTS 27 & 28 TO BE FROM DREWAN DRIVE OPPOSITE TO LOTS 2 & 3 UNTIL STAGE 5 WORKS ARE COMPLETE.

EXISTING MAINTENANCE ACCESS LAYBACK TO BE WIDENED TO BE MIN 6m WIDTH. PROVIDE 5m LONG HEAVY DUTY CONCRETE CROSSOVER IN ACCORDANCE WITH SD250 TO ENABLE GARBAGE DISPOSAL VEHICLES TO MANOEUVRE. THESE WORKS TO BE COMPLETED PRIOR TO THE DECOMMISSIONING OF THE EXISTING TURN AROUND AREA.

EXISTING STORMWATER BASIN

ELECTRICAL TRANSMISSION EASEMENT

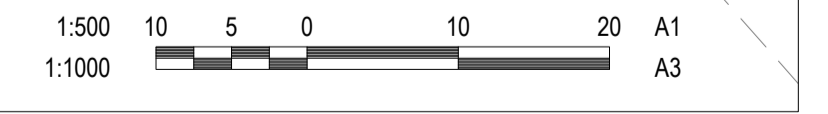
VEHICLE EXCLUSION BOLLARDS - REFER LANDSCAPE PLANS FOR DETAIL

EXISTING STORMWATER BASIN

FUTURE PUBLIC OPEN SPACE

CATCH DRAIN TO BE PROVIDED TO DIRECT ADDITIONAL ROAD FLOWS INTO EXISTING CATCH DRAIN CONSTRUCTED AS A PART OF THE STAGE 4 WETLAND WORKS

PROVIDE TEMPORARY TURN AROUND AREA, EDGE STRIP AND "NO ROAD" SIGN IF FUTURE STAGE HAS NOT COMMENCED. TEMPORARY TURN AROUND AREA TO BE SEALED WITH SINGLE SPRAY SEAL



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
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villawood
 properties
 Communities Designed for Living

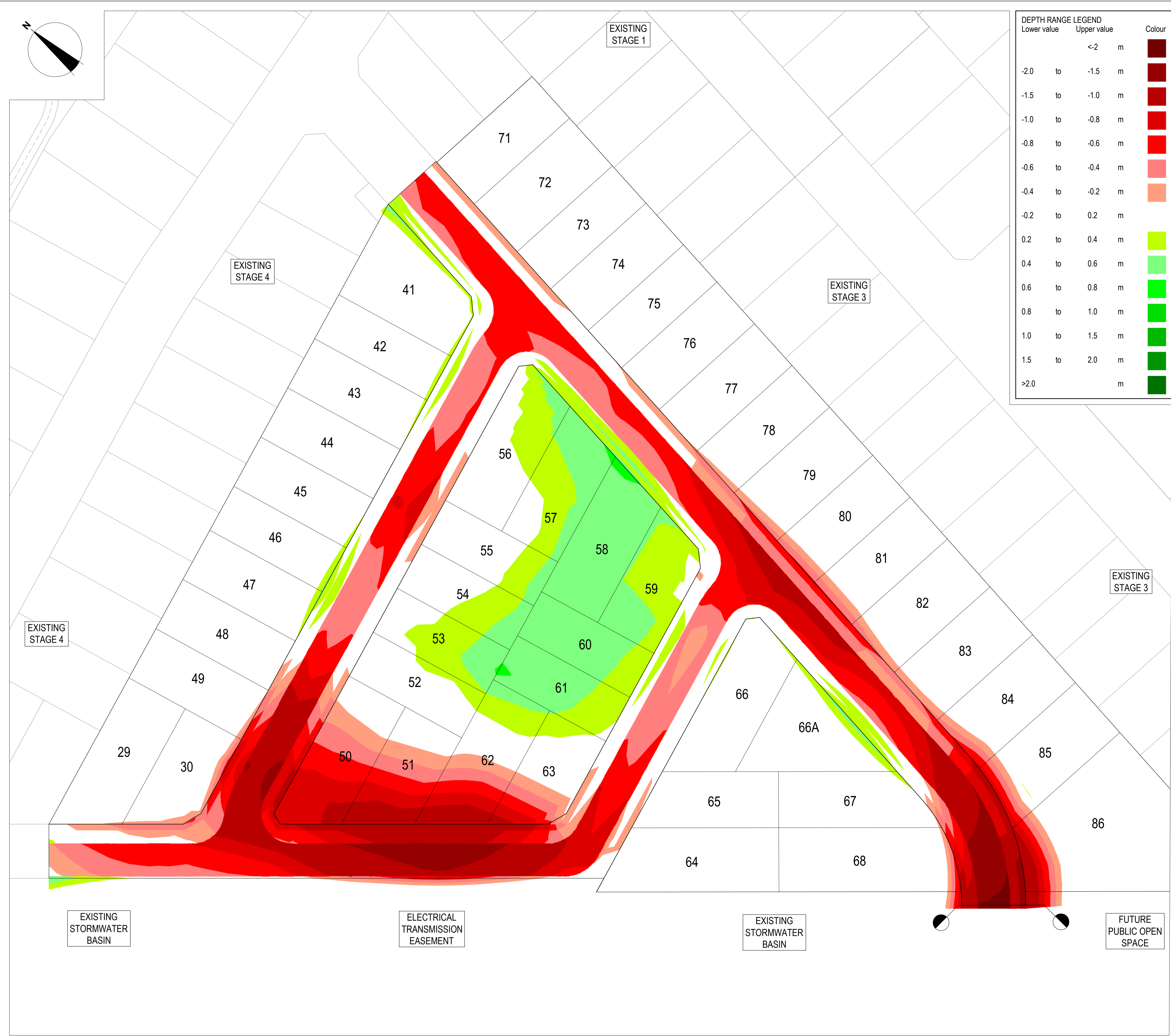
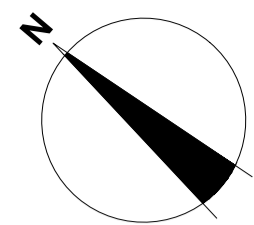
creo
 CONSULTANTS
 Level 7, 176 Wellington Parade
 East Melbourne, VIC, Australia 3002

WANDANA
 Wandana Heights

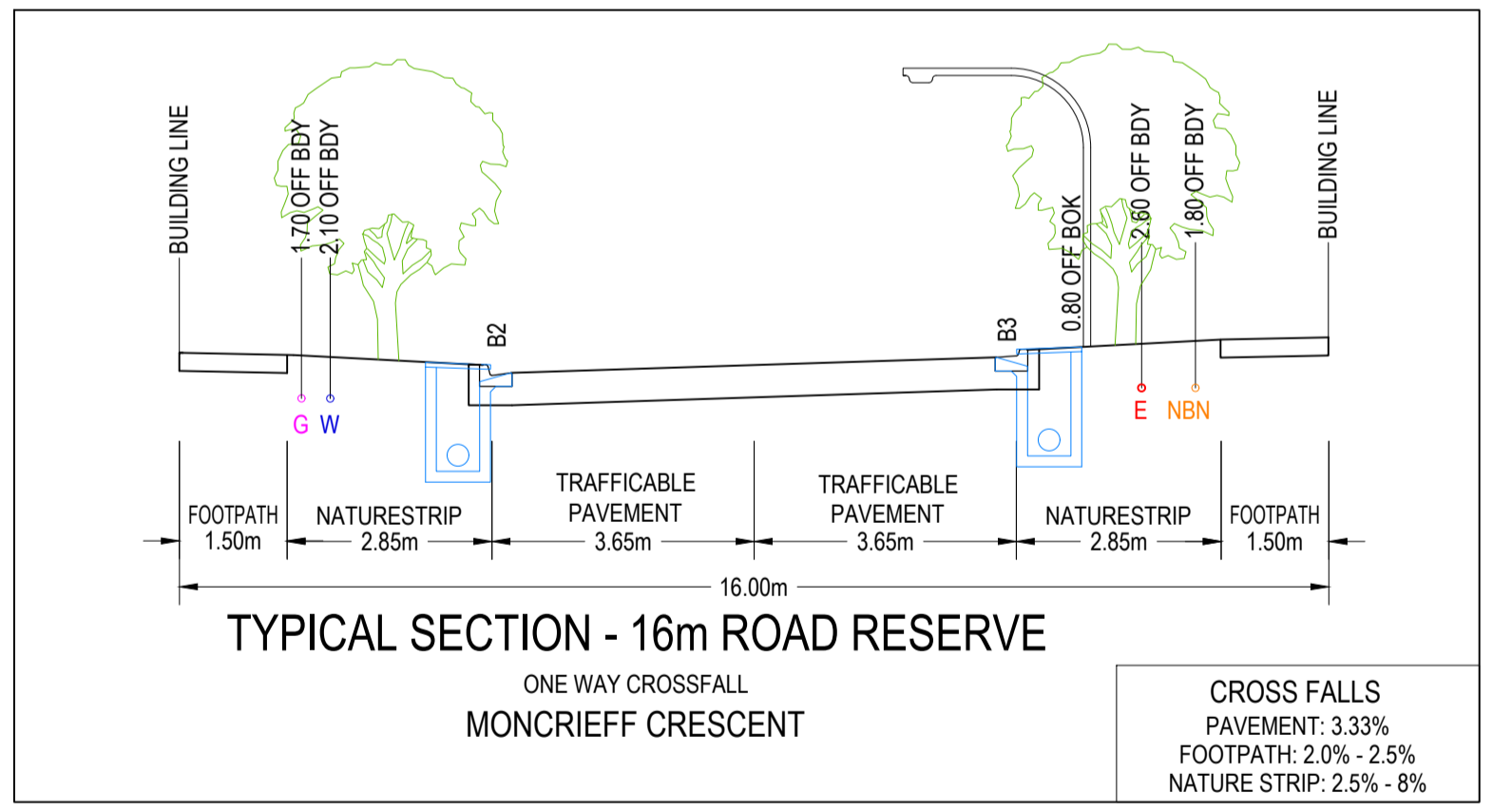
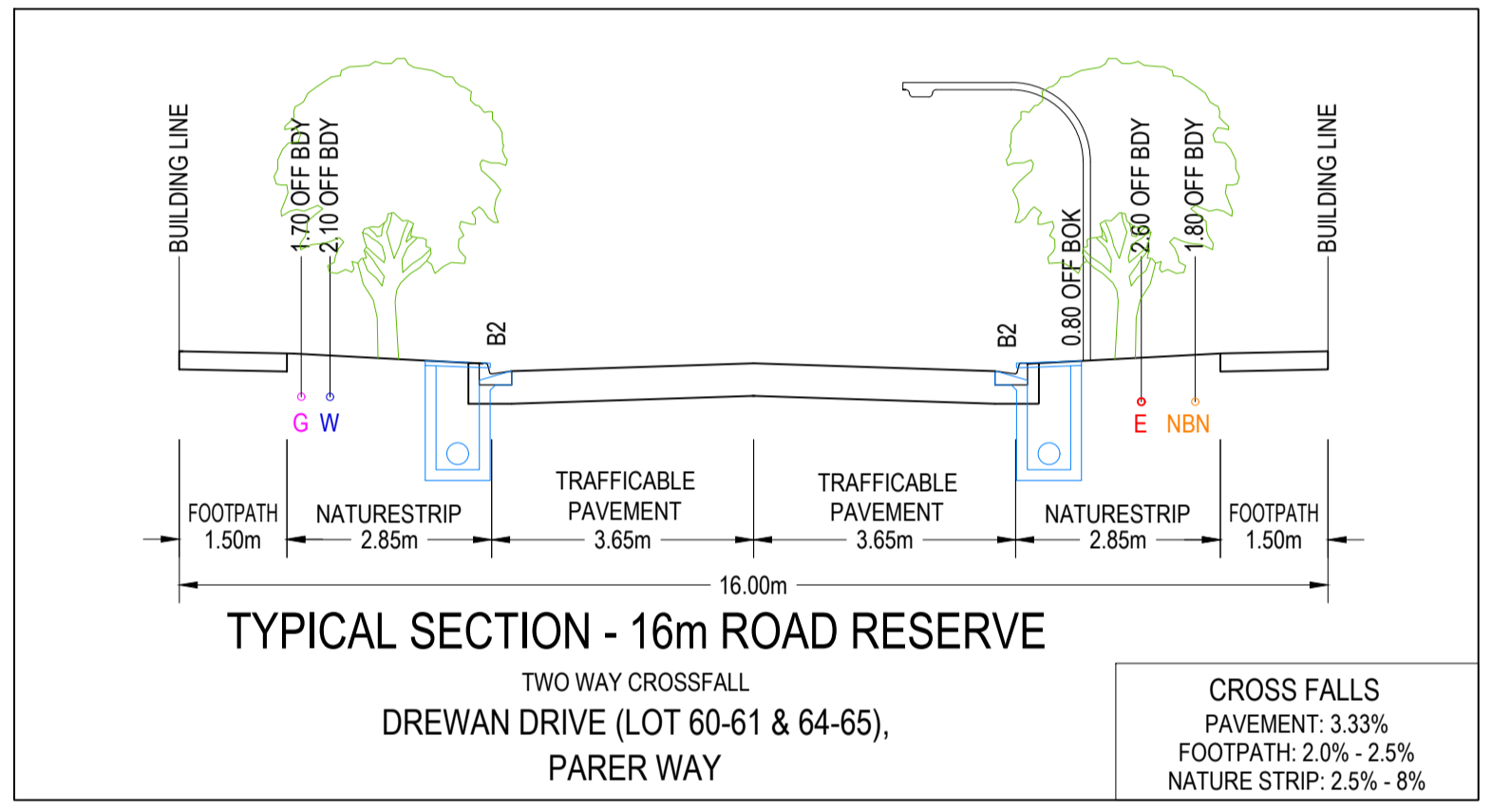
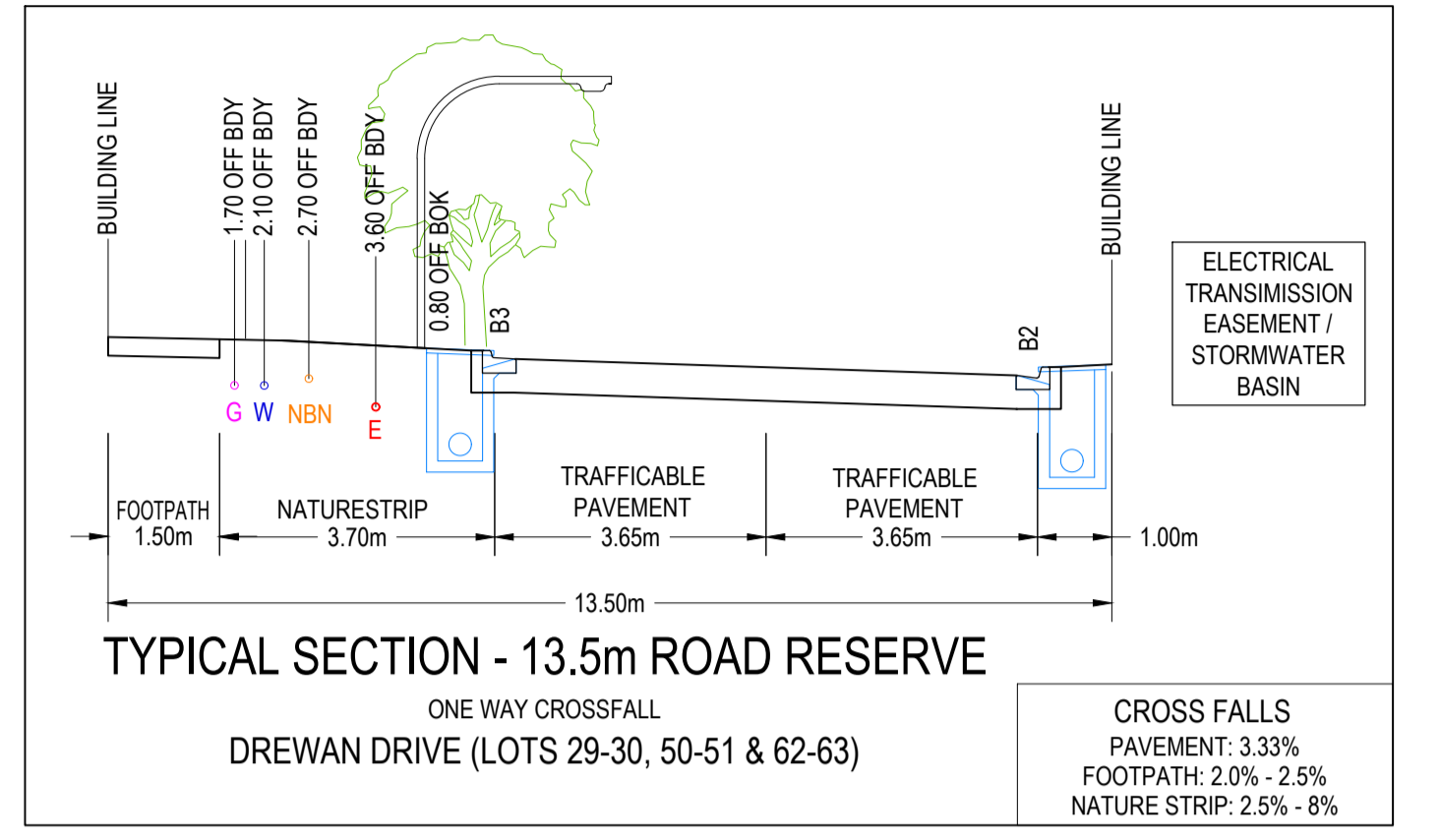
DRAWING TITLE
WANDANA ESTATE - STAGE 5
 LAYOUT PLAN

STATUS
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
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PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R200	0



DEPTH RANGE LEGEND		
Lower value	Upper value	Colour
<math><-2</math>	m	Dark Red
-2.0	to -1.5	Red
-1.5	to -1.0	Red-Orange
-1.0	to -0.8	Red
-0.8	to -0.6	Red-Orange
-0.6	to -0.4	Red
-0.4	to -0.2	Red-Orange
-0.2	to 0.2	Orange
0.2	to 0.4	Light Green
0.4	to 0.6	Green
0.6	to 0.8	Green
0.8	to 1.0	Green
1.0	to 1.5	Green
1.5	to 2.0	Green
>2.0	m	Dark Green



GREATER GEELONG CITY COUNCIL
PLANNING & ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan referred to in Permit No: 392-2015
Sheet 3 of 19 Approved Civil Plans
Cert 13761

Signed *[Signature]* Date 21/02/2019
For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL



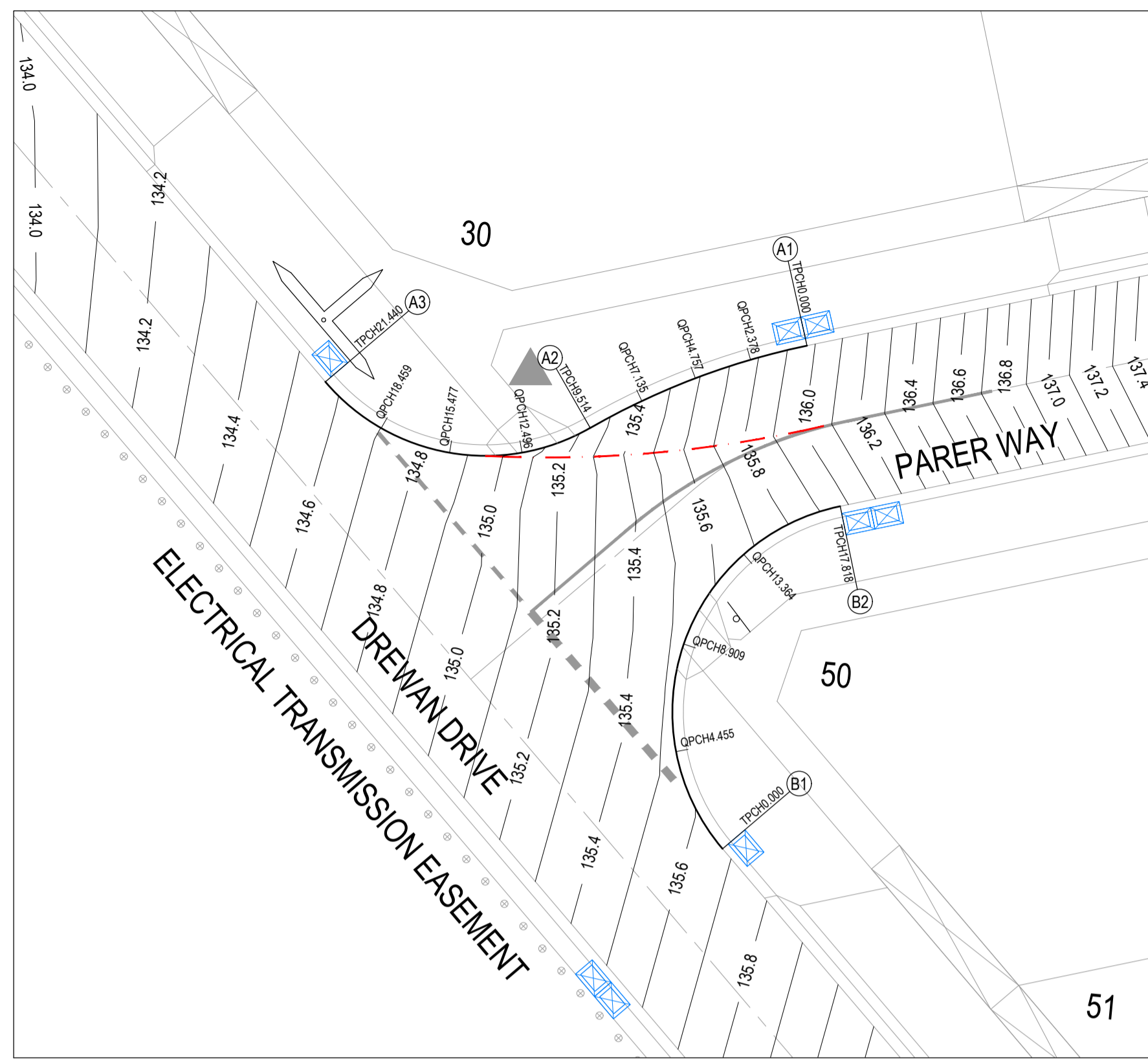
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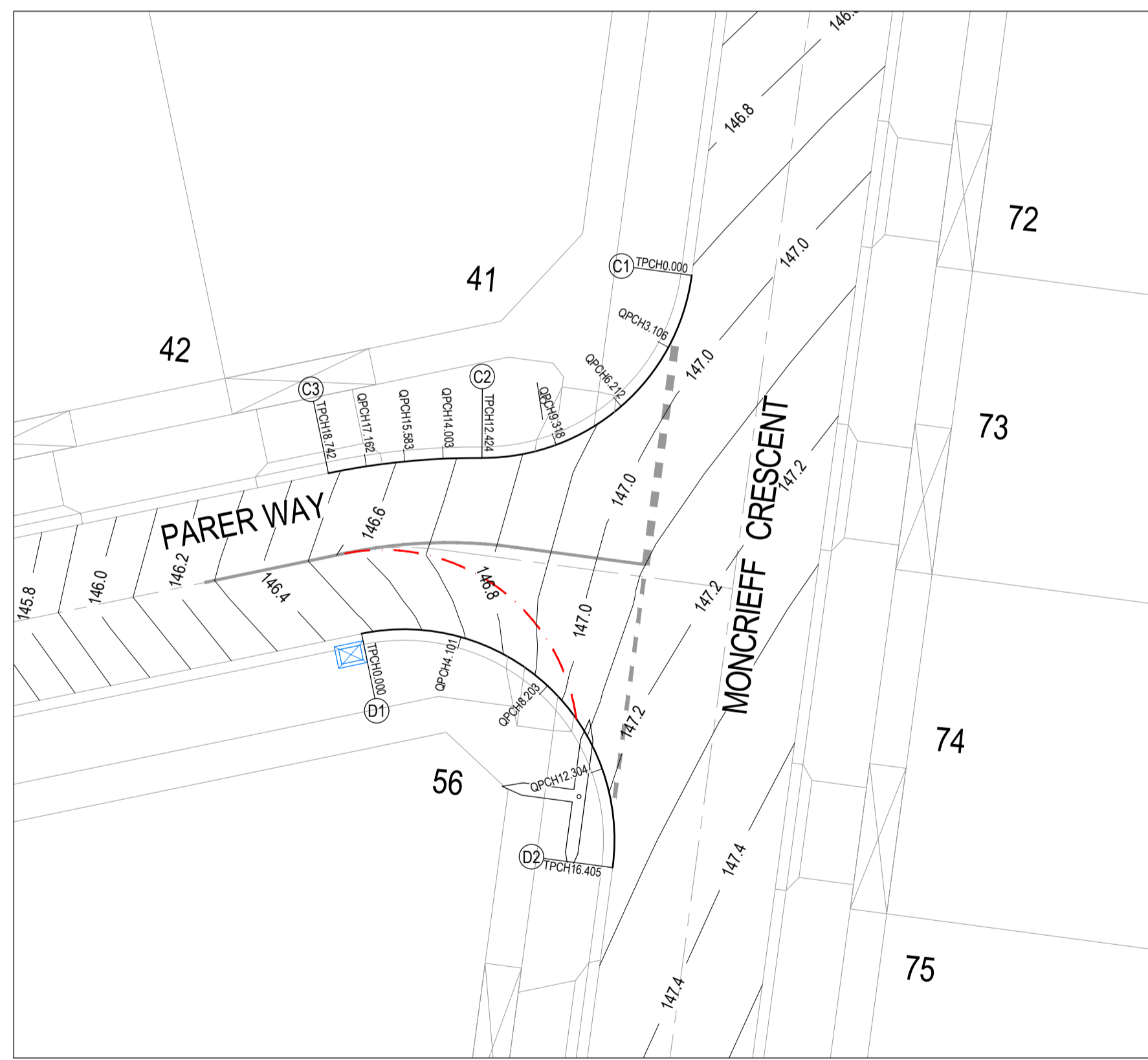
**WANDANA ESTATE - STAGE 5
EARTHWORKS PLAN**

**ISSUED FOR
CONSTRUCTION**

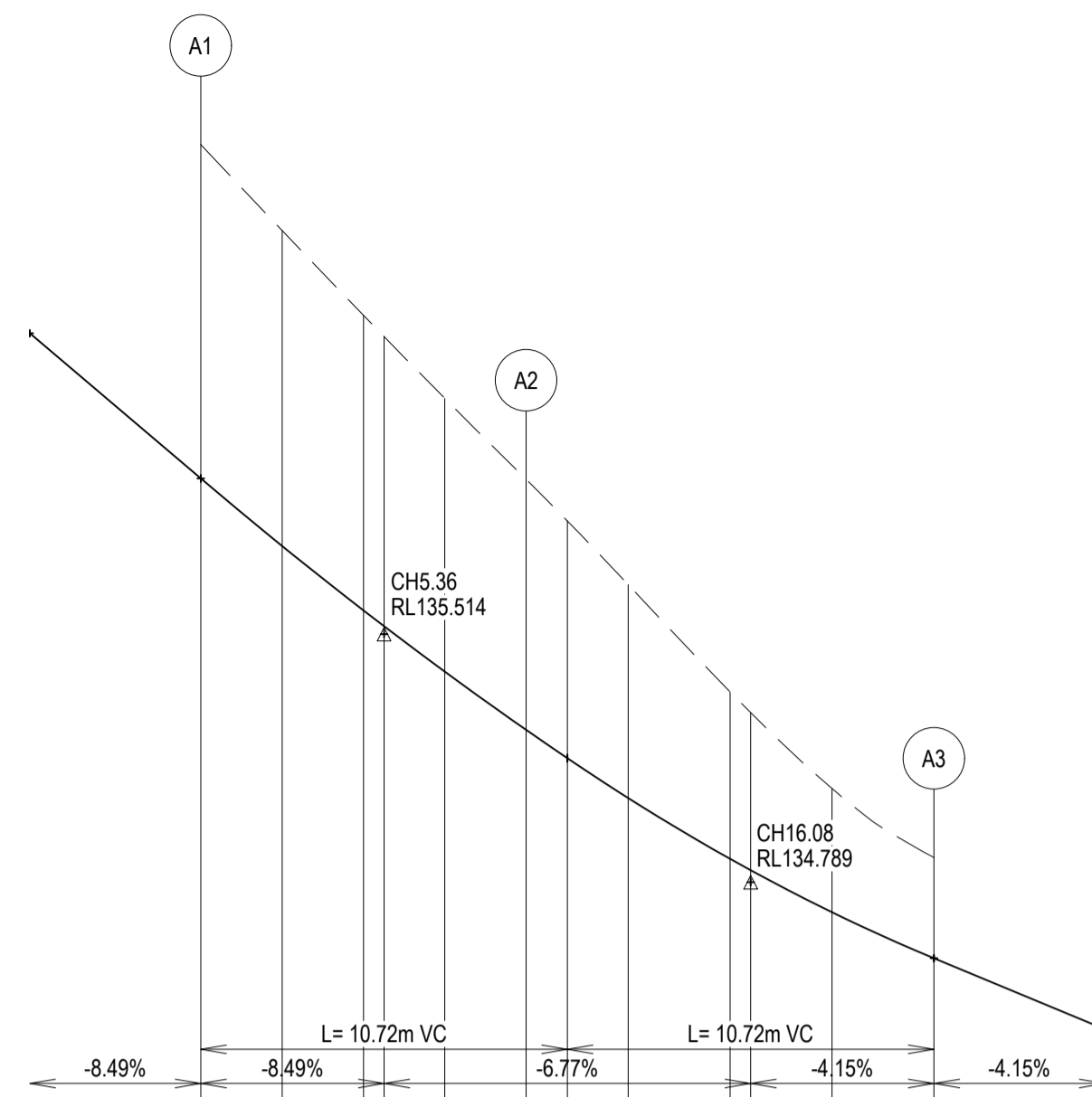
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A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R201	0



DREWAN DRIVE & PARER WAY INTERSECTION



PARER WAY & MONCRIEFF CRESCENT INTERSECTION



VERTICAL GEOMETRY
DATUM RL134
DESIGN LEVEL
EXISTING SURFACE
CHAINAGE

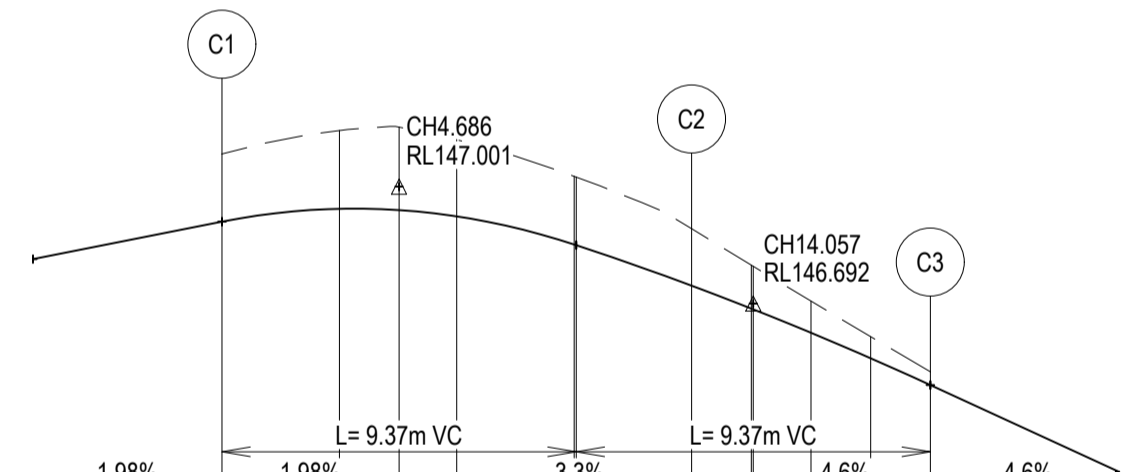
CHAINAGE	EXISTING SURFACE	DESIGN LEVEL
0.000	136.946	135.969
2.378	136.694	135.772
4.757	136.445	135.574
7.135	136.203	135.404
9.514	135.967	135.234
11.892	135.734	135.064
14.271	135.501	134.894
16.650	135.268	134.724
19.029	135.035	134.554
21.408	134.802	134.384

LIP LINE A

ALIGNMENT A

PT NO	EASTING	NORTHING	RL
A1	263018.479	5771483.013	135.969
A2	263009.621	5771479.653	135.234
A3	262998.791	5771481.537	134.566

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
A1 - A2	18.17	30	9.514	0.376	0.282	2.376	2.361	2.378	135.584
A2 - A3	79.458	8.6	11.927	1.986	1.474	2.922	2.575	2.982	134.857



VERTICAL GEOMETRY
DATUM RL146
DESIGN LEVEL
EXISTING SURFACE
CHAINAGE

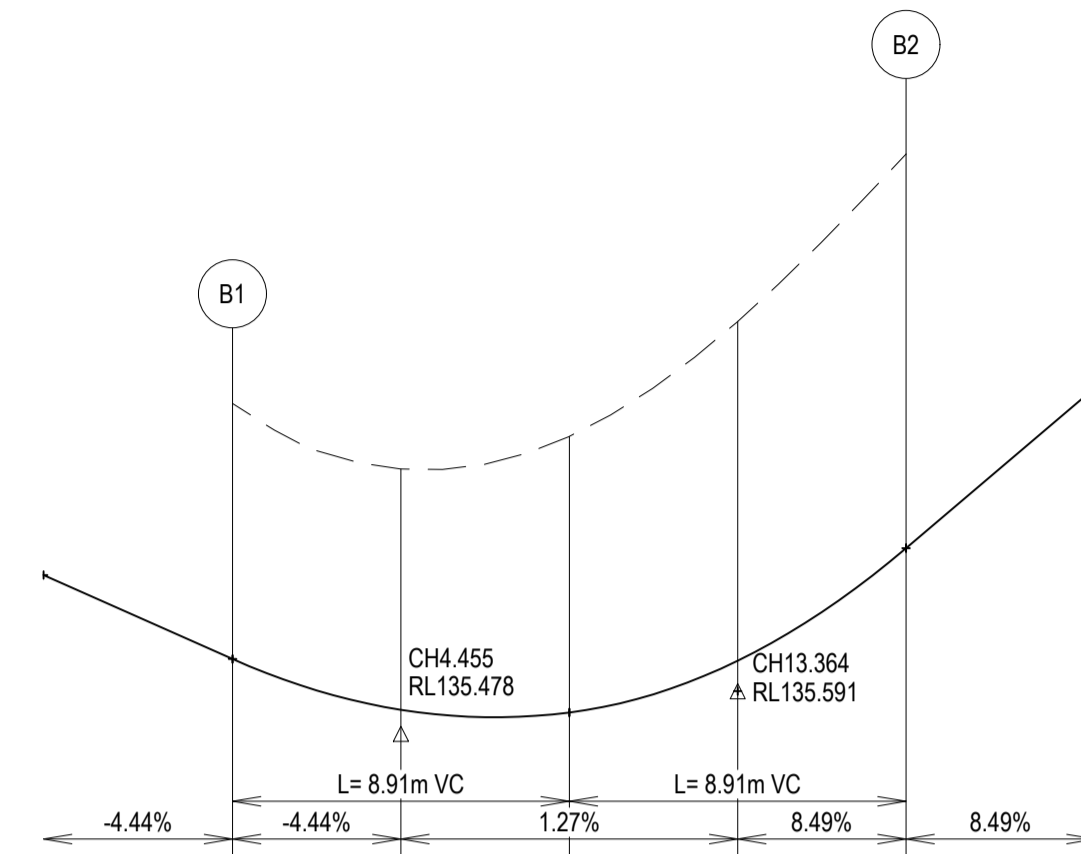
CHAINAGE	EXISTING SURFACE	DESIGN LEVEL
0.000	147.088	146.909
3.106	147.150	146.943
6.212	147.126	146.923
9.318	147.099	146.898
12.424	147.071	146.873
15.530	147.044	146.848
18.636	147.017	146.823
21.742	146.990	146.798
24.848	146.963	146.773
27.954	146.936	146.748

LIP LINE C

ALIGNMENT C

PT NO	EASTING	NORTHING	RL
C1	263152.892	5771515.83	146.909
C2	263144.311	5771508.369	146.739
C3	263138.035	5771507.747	146.477

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
C1 - C2	82.77	8.6	12.424	2.148	1.593	3.039	2.647	3.106	146.923
C2 - C3	12.067	30	6.318	0.166	0.125	1.579	1.574	1.58	146.615



VERTICAL GEOMETRY
DATUM RL135
DESIGN LEVEL
EXISTING SURFACE
CHAINAGE

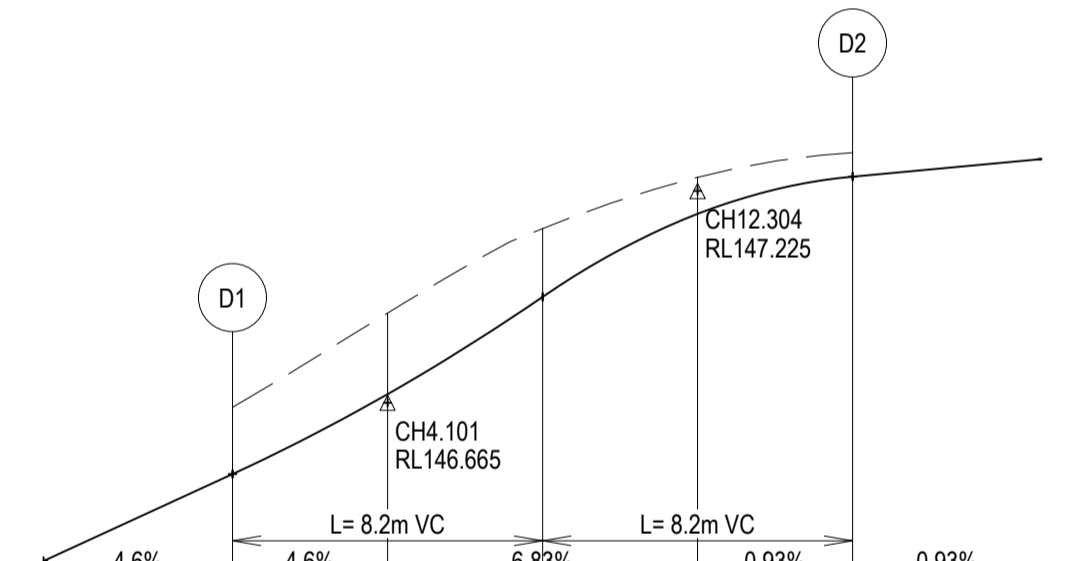
CHAINAGE	EXISTING SURFACE	DESIGN LEVEL
0.000	136.352	135.676
4.455	136.179	135.542
8.909	136.265	135.535
13.364	136.569	135.672
17.818	137.011	135.909

LIP LINE B

ALIGNMENT B

PT NO	EASTING	NORTHING	RL
B1	263015.03	5771462.456	135.676
B2	263019.837	5771476.452	135.909

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
B1 - B2	118.711	8.6	17.818	4.217	3.088	4.258	3.141	4.455	135.535



VERTICAL GEOMETRY
DATUM RL146
DESIGN LEVEL
EXISTING SURFACE
CHAINAGE

CHAINAGE	EXISTING SURFACE	DESIGN LEVEL
0.000	146.653	146.477
4.101	146.902	146.688
8.203	147.126	146.945
12.304	147.262	147.165
16.405	147.326	147.263

LIP LINE D

ALIGNMENT D

PT NO	EASTING	NORTHING	RL
D1	263139.392	5771501.186	146.477
D2	263149.659	5771491.626	147.263

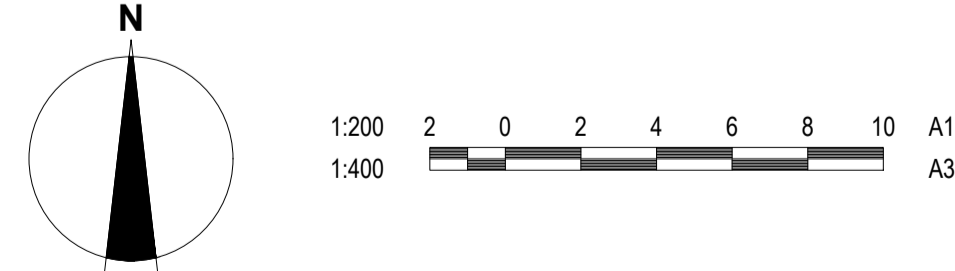
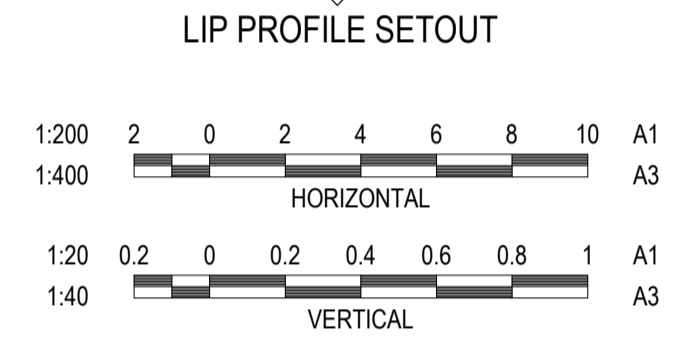
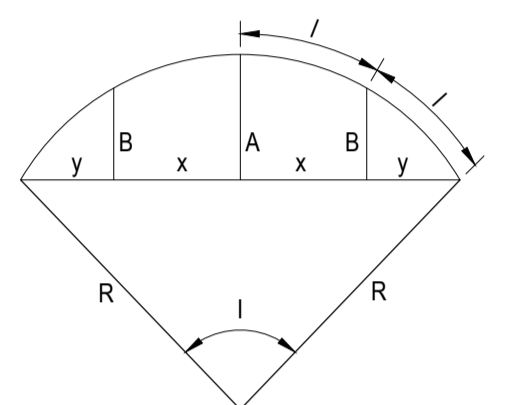
CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
D1 - D2	109.297	8.6	16.405	3.624	2.665	3.948	3.067	4.101	146.945

LEGEND - INTERSECTION DETAIL PLAN

- STORMWATER DRAIN, PIT & PROPERTY INLET
- SWALE DRAIN
- SEWER & MAINTENANCE STRUCTURES
- HOUSE DRAIN
- TACTILE PAVERS
- EXISTING HOUSE DRAIN
- RETAINING WALL
- PAVEMENT TREATMENT
- CONCRETE EDGE STRIP WITH SUBSOIL DRAIN
- "NO ROAD" SIGN & BARRIER
- LIMIT OF WORKS
- EXISTING TREE TO BE REMOVED
- PERMANENT SURVEY MARK
- TEMPORARY BENCH MARK
- PROPOSED DRIVEWAY
- CROWN LINE

LEGEND - LIP PROFILES

- EXISTING SURFACE
- DESIGN LINE



NOTE:
REFER SHEET R800 FOR
SIGNAGE & LINEMARKING PLAN

**GREATER GEELONG CITY COUNCIL
PLANNING & ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

Endorsed Plan referred to in Permit No: 392-2015
Sheet 4 of 19 Approved Civil Plans
Cen 13781

Signed: [Signature] Date: 21/02/2019
For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL.

WARNING
BWARE OF UNDERGROUND & OVERHEAD SERVICES

The locations of underground & overhead services are approximate only & their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works

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REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.

villawood properties
Communities Designed for Living

creo CONSULTANTS
Level 7, 176 Wellington Parade
East Melbourne, VIC, Australia 3002

WANDANA
Wandana Heights

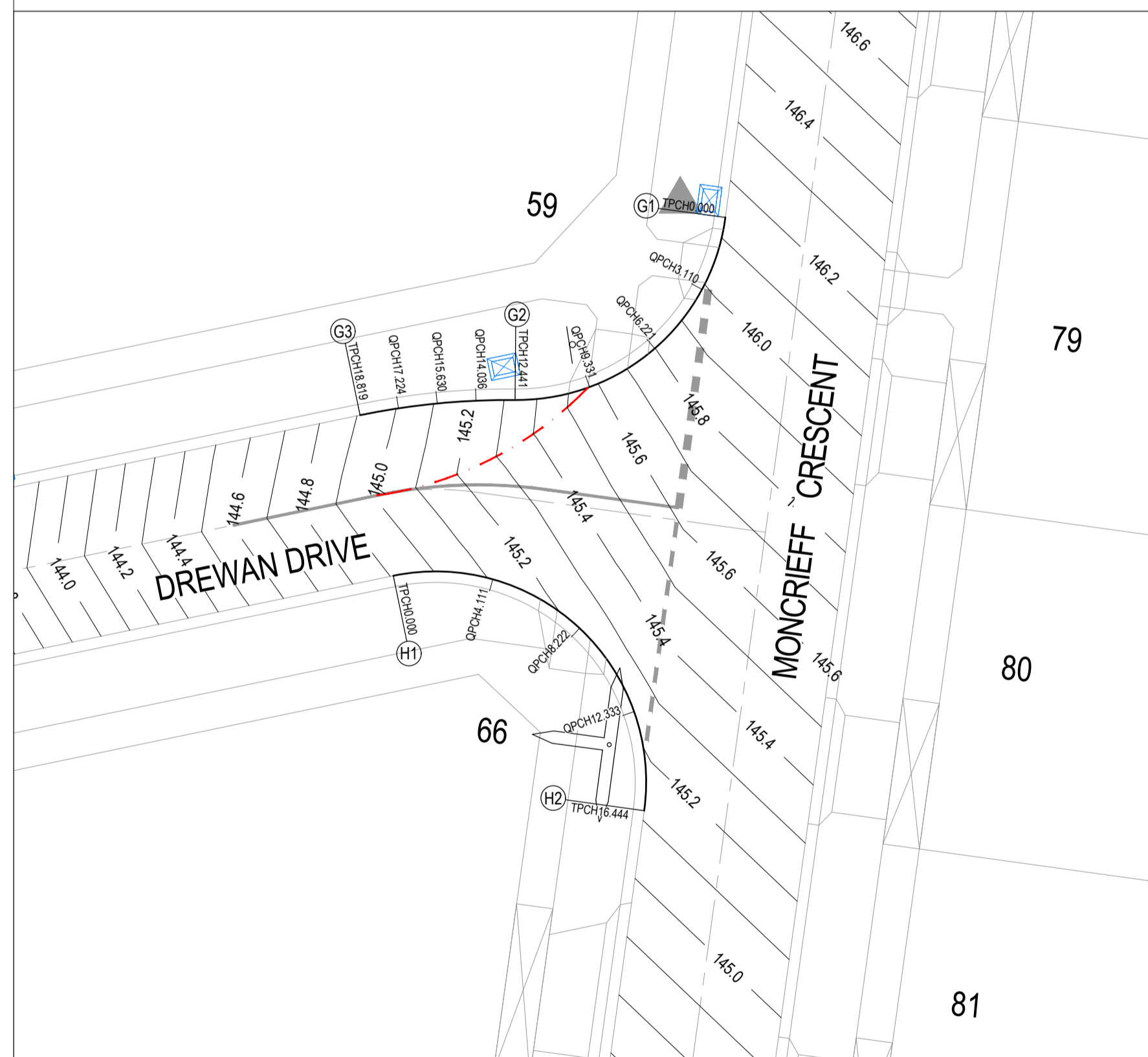
DRAWING TITLE
WANDANA ESTATE - STAGE 5
INTERSECTION DETAIL PLAN - 1

STATUS
ISSUED FOR CONSTRUCTION

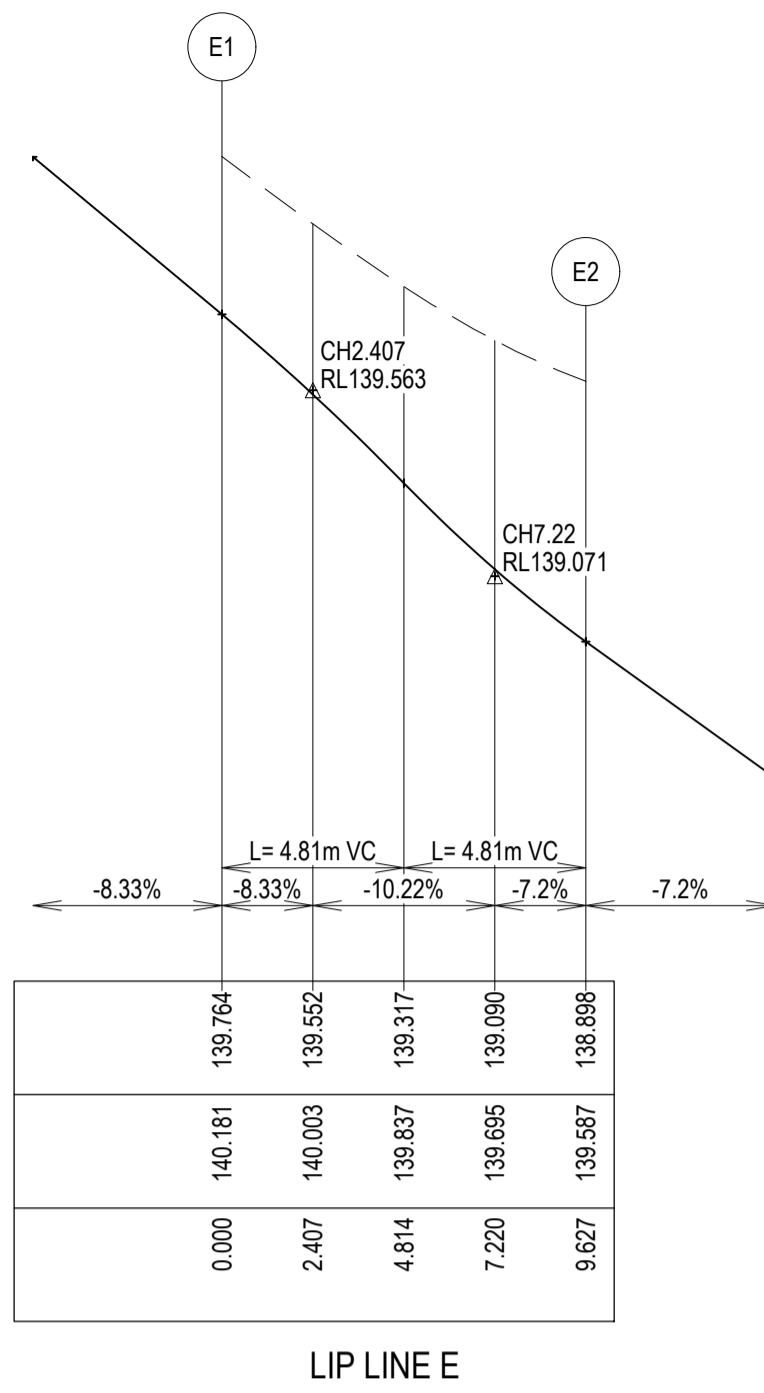
SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R300	0



SOUTH WEST DREWAN DRIVE CORNER



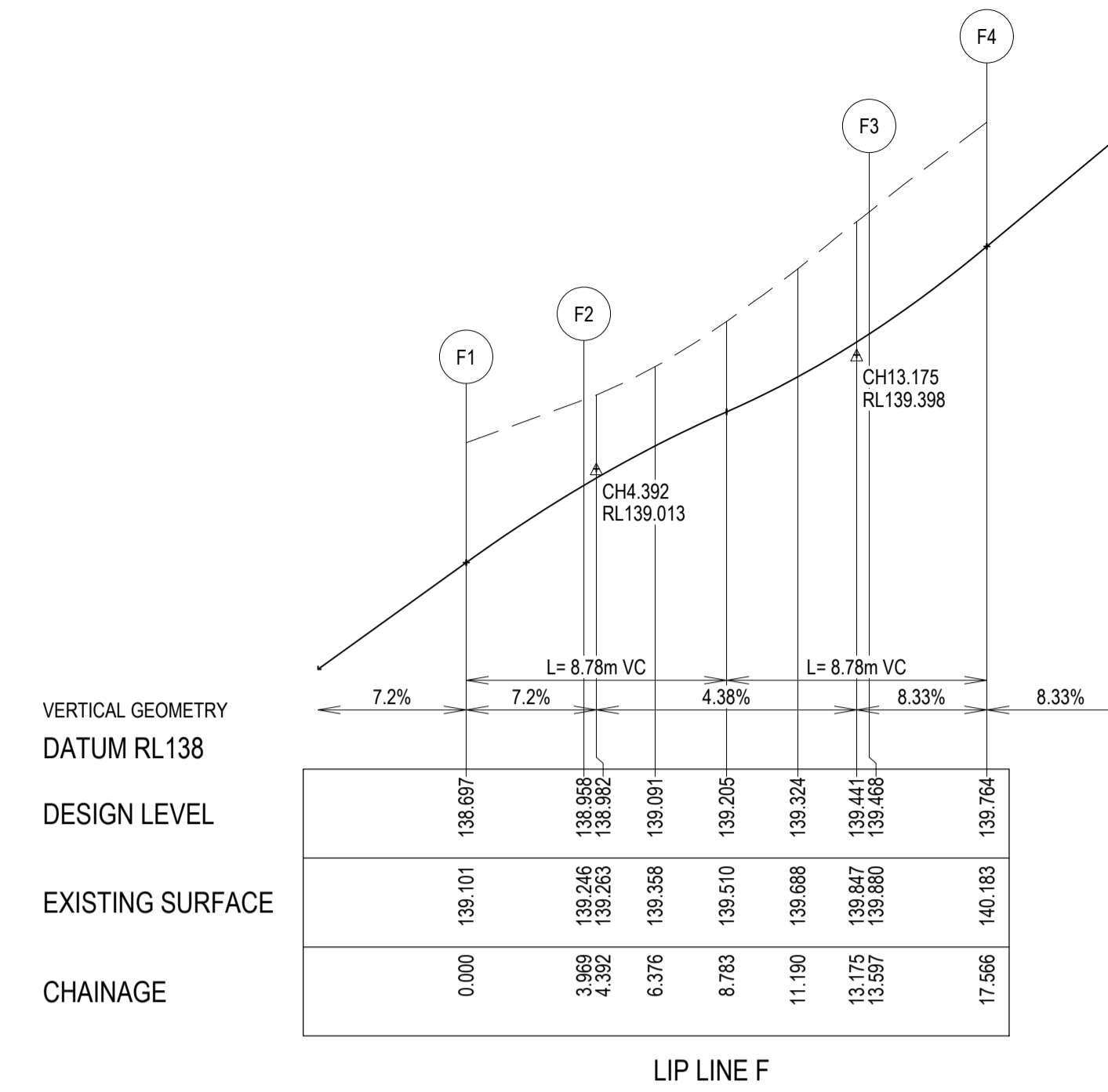
DREWAN DRIVE & MONCRIEFF CRESCENT INTERSECTION



ALIGNMENT E

PT NO	EASTING	NORTHING	RL
E1	263065.01	5771410.945	139.764
E2	263056.333	5771413.926	138.898

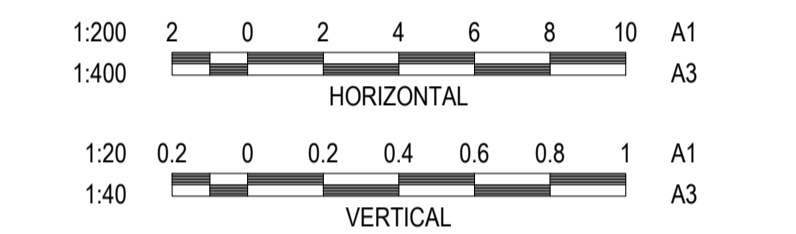
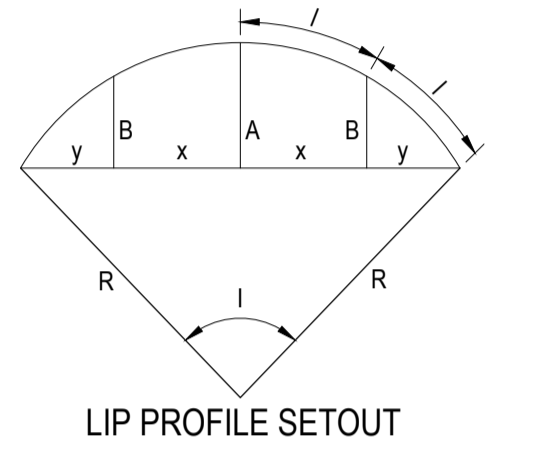
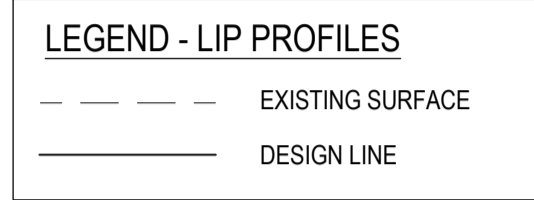
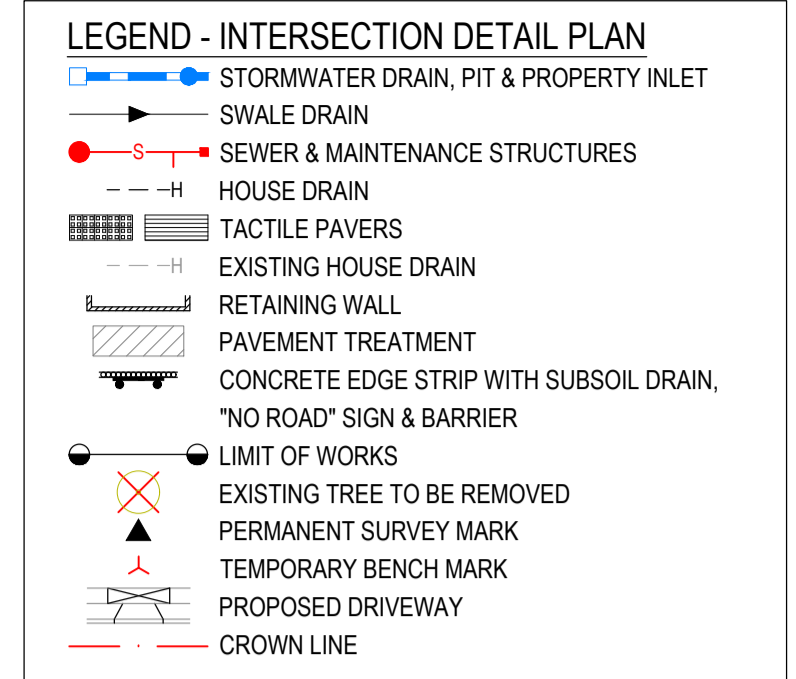
CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
E1 - E2	61.289	9	9.627	1.257	0.937	2.378	2.209	2.407	139.317



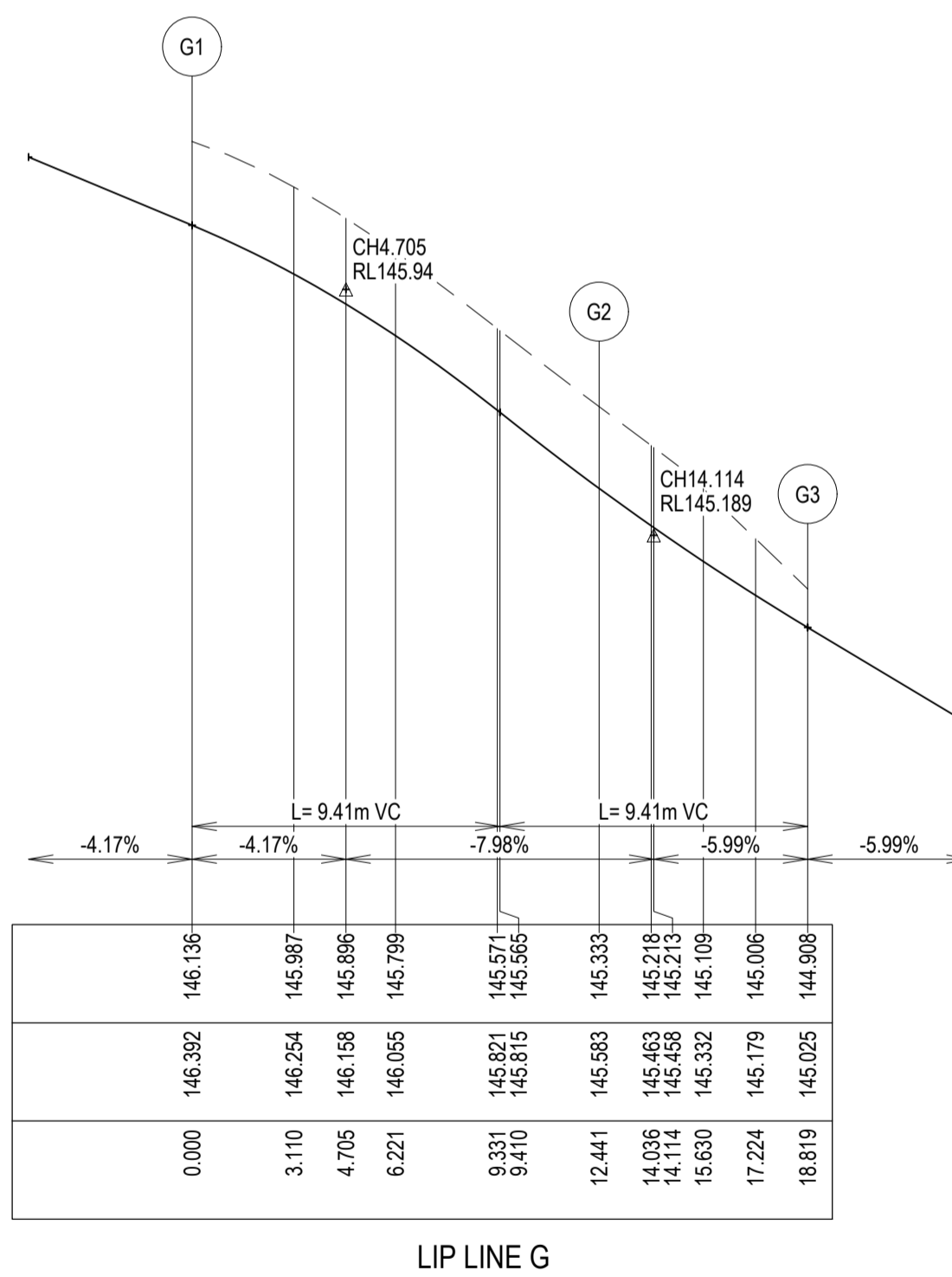
ALIGNMENT F

PT NO	EASTING	NORTHING	RL
F1	263051.23	5771409.583	138.697
F2	263053.803	5771406.55	138.958
F3	263062.46	5771403.59	139.468
F4	263066.367	5771404.384	139.764

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
F2 - F3	61.289	9	9.627	1.257	0.937	2.378	2.209	2.407	139.205



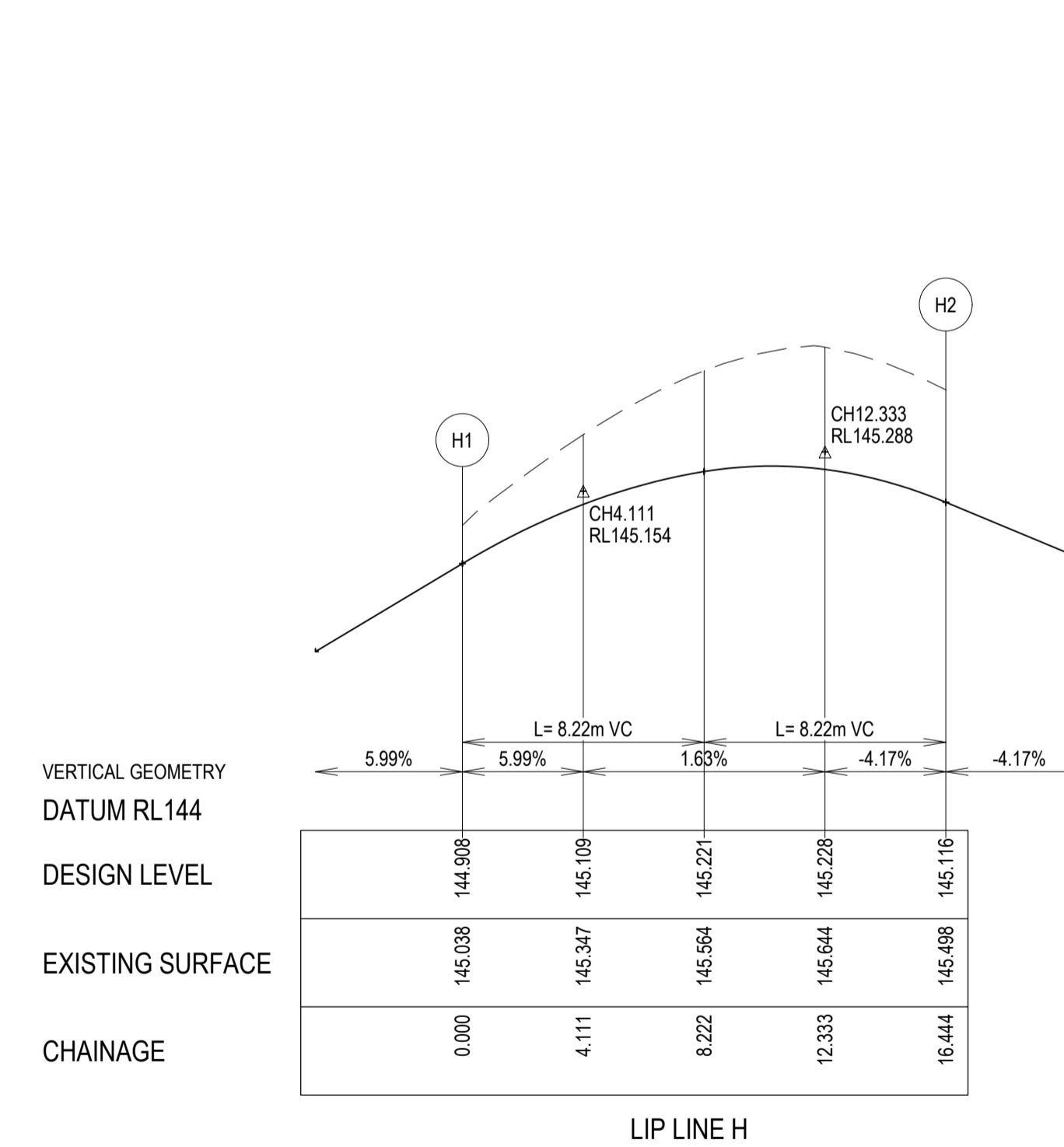
GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME
 Endorsed Plan referred to in Permit No: 392-2015
 Sheet 5 of 19 Approved Civil Plans
 Cert 13781
 Signed: [Signature] Date: 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority
 NOTE: THIS IS NOT A BUILDING APPROVAL



ALIGNMENT G

PT NO	EASTING	NORTHING	RL
G1	263141.667	5771431.797	146.136
G2	263133.069	5771424.336	145.333
G3	263126.733	5771423.715	144.908

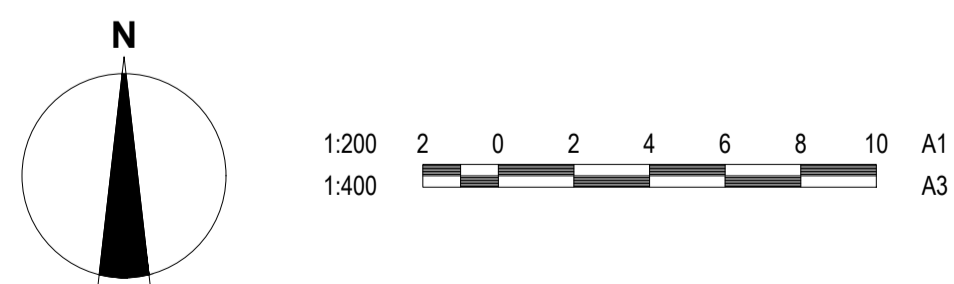
CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
G1 - G2	82.885	8.6	12.441	2.153	1.597	3.043	2.649	3.11	145.799
G2 - G3	12.162	30	6.378	0.169	0.127	1.594	1.589	1.595	145.109



ALIGNMENT H

PT NO	EASTING	NORTHING	RL
H1	263128.09	5771417.154	144.908
H2	263138.352	5771407.555	145.116

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
H1 - H2	109.556	8.6	16.444	3.64	2.676	3.956	3.069	4.111	145.221



NOTE:
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 SIGNAGE & LINEMARKING PLAN

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DIAL 1100 BEFORE YOU DIG
 www.1100.com.au

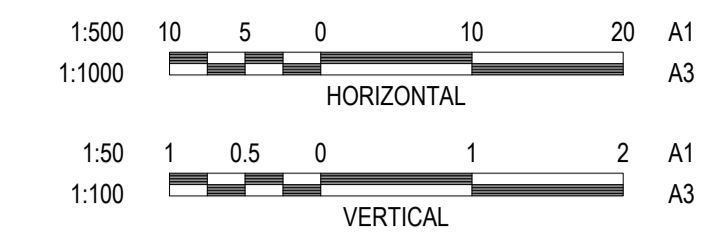
REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.



DRAWING TITLE
**WANDANA ESTATE - STAGE 5
 INTERSECTION DETAIL PLAN - 2**

STATUS
**ISSUED FOR
 CONSTRUCTION**

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R301	0



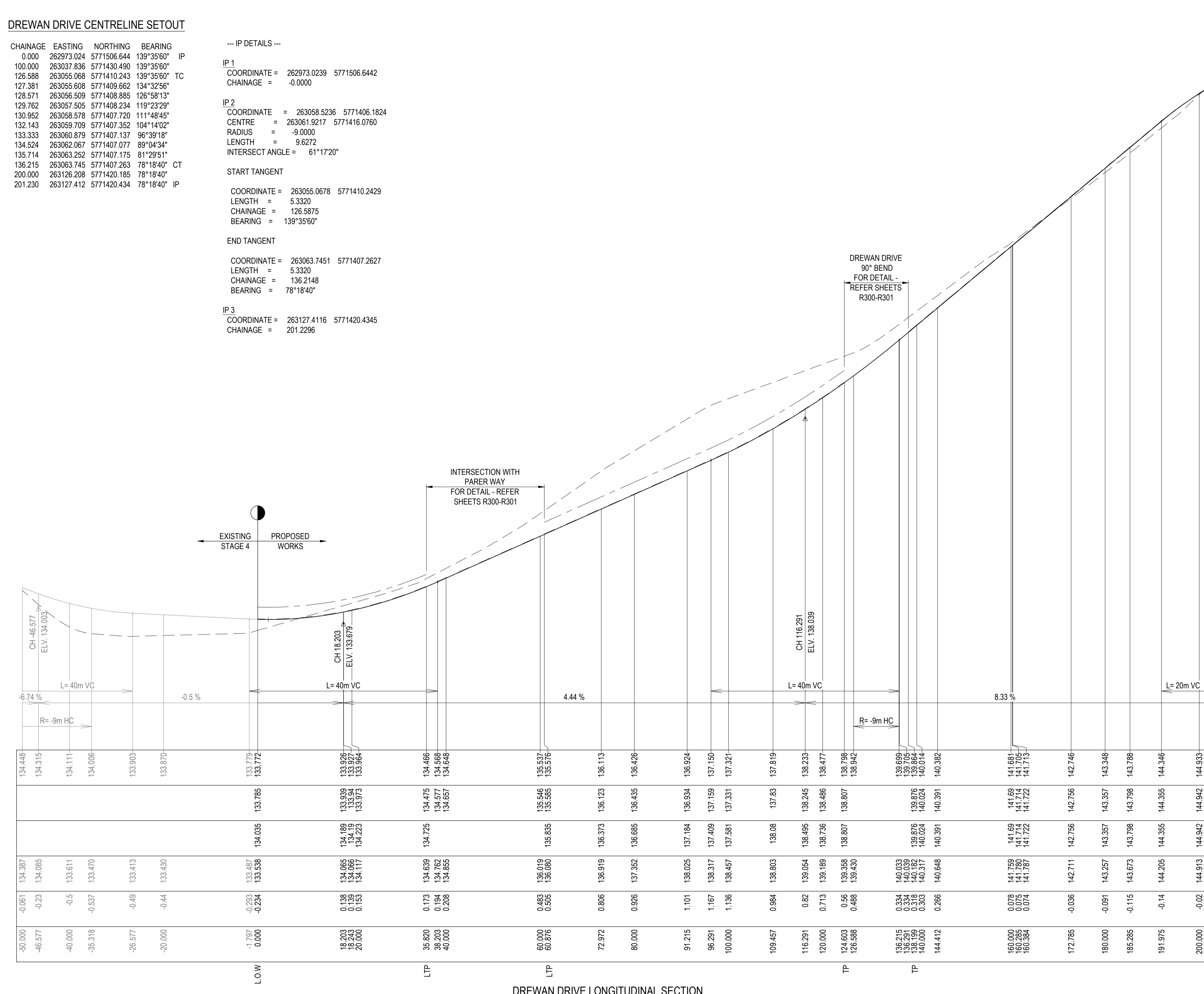
LEGEND	
---	EXISTING SURFACE
---	DESIGN LINE
---	FUTURE DESIGN LINE
---	LEFT BACK OF KERB
---	RIGHT BACK OF KERB

DREWAN DRIVE CENTRELINE SETOUT

CHAINAGE	EASTING	NORTHING	BEARING	
0.000	262973.024	5771506.644	139°35'60"	IP
100.000	263037.836	5771430.490	139°35'60"	
126.588	263055.068	5771410.243	139°35'60"	TC
127.381	263055.608	5771409.662	134°32'56"	
128.571	263056.509	5771408.885	126°58'13"	
129.762	263057.505	5771408.234	119°23'29"	
130.952	263058.578	5771407.720	111°48'45"	
132.143	263059.709	5771407.352	104°14'02"	
133.333	263060.879	5771407.137	96°39'18"	
134.524	263062.067	5771407.077	89°04'34"	
135.714	263063.252	5771407.175	81°29'51"	
136.215	263063.745	5771407.263	78°18'40"	CT
200.000	263126.208	5771420.185	78°18'40"	
201.230	263127.412	5771420.434	78°18'40"	IP

-- IP DETAILS --

IP 1 COORDINATE = 262973.0239 CHAINAGE = -0.0000	IP 2 COORDINATE = 263058.5236 CENTRE = 263061.9217 RADIUS = -9.0000 LENGTH = 9.6272 INTERSECT ANGLE = 61°17'20"	IP 3 COORDINATE = 263127.4116 CHAINAGE = 201.2296
START TANGENT COORDINATE = 263055.0678 LENGTH = 5.3320 CHAINAGE = 126.5875 BEARING = 139°35'60"		
END TANGENT COORDINATE = 263063.7451 LENGTH = 5.3320 CHAINAGE = 136.2148 BEARING = 78°18'40"		



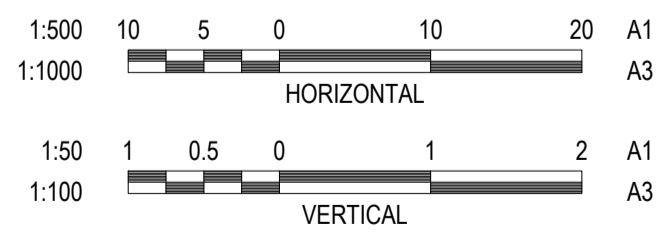
DREWAN DRIVE LONGITUDINAL SECTION

**GREATER GEELONG CITY COUNCIL
PLANNING & ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

Endorsed Plan referred to in Permit No: 392-2015
Sheet 6 of 19 - Approved Civil Plans
Cert 13781

Signed: [Signature] Date: 21/02/2019
For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL



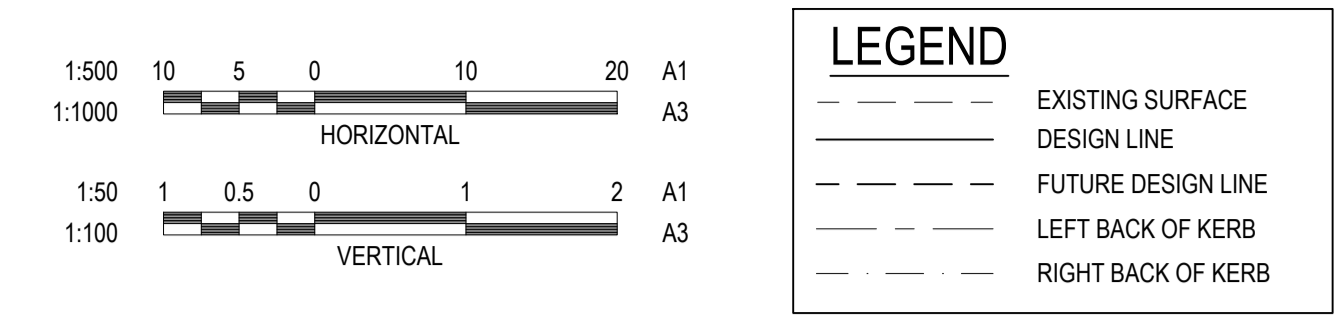
REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.



DRAWING TITLE
**WANDANA ESTATE - STAGE 5
ROAD LONGITUDINAL SECTIONS - 1**

STATUS
**ISSUED FOR
CONSTRUCTION**

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R400	0



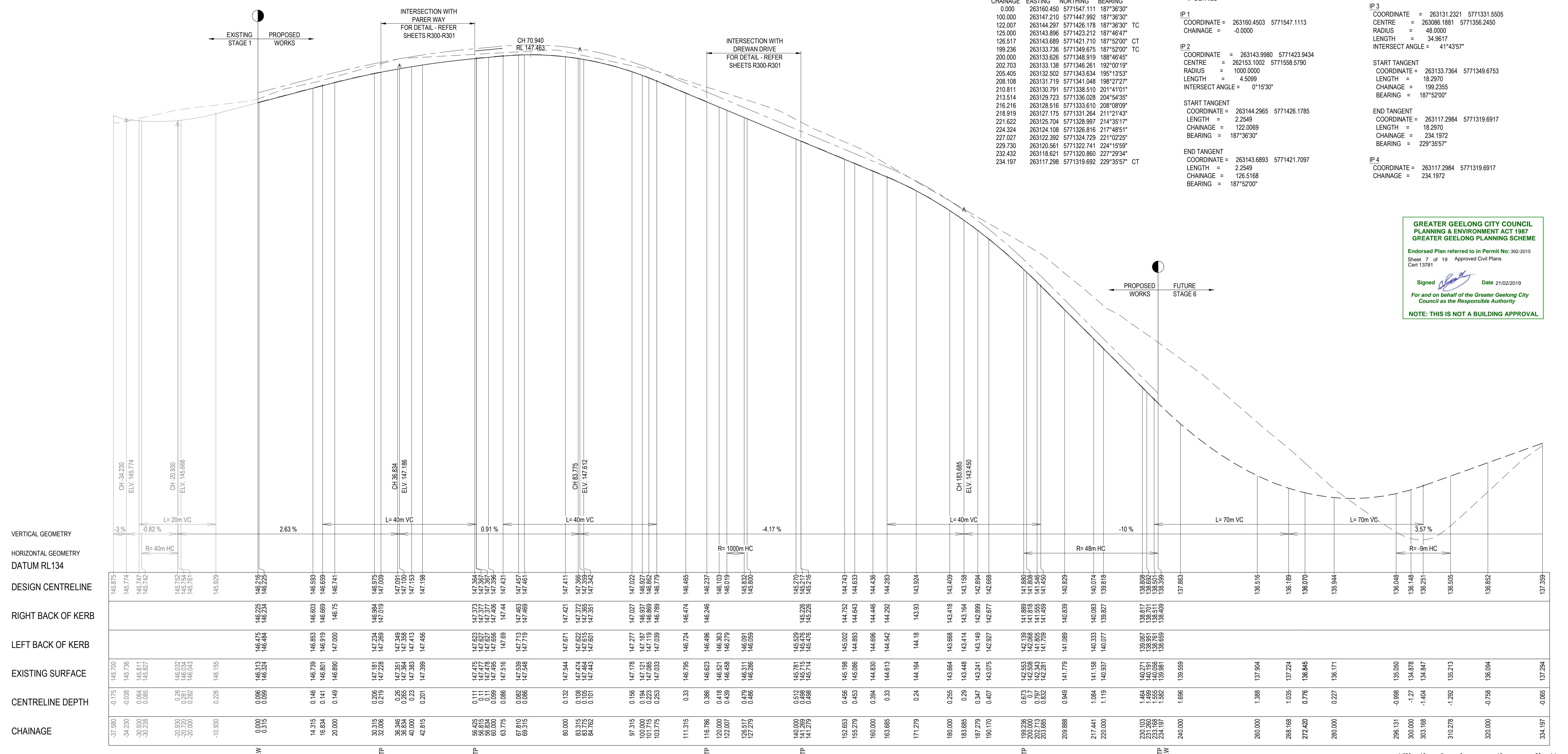
MONCRIEFF CRESCENT CENTRELINE SETOUT

CHAINAGE	EASTING	NORTHING	BEARING
0.000	263160.450	5771547.111	187°36'30"
100.000	263147.210	5771447.992	187°36'30"
122.007	263144.297	5771426.178	187°36'30"
125.000	263143.896	5771423.212	187°46'47"
126.517	263143.689	5771421.710	187°52'00"
199.236	263133.736	5771349.975	187°52'00"
200.000	263133.626	5771348.919	188°46'45"
202.703	263133.138	5771346.261	192°00'19"
205.405	263132.502	5771343.634	195°13'53"
208.108	263131.719	5771341.048	198°27'27"
210.811	263130.791	5771338.510	201°41'01"
213.514	263129.723	5771336.028	204°54'35"
216.216	263128.516	5771333.610	208°08'09"
218.919	263127.175	5771331.264	211°21'43"
221.622	263125.704	5771328.997	214°35'17"
224.324	263124.108	5771326.816	217°48'51"
227.027	263122.392	5771324.729	221°02'25"
229.730	263120.561	5771322.741	224°15'59"
232.432	263118.621	5771320.860	227°29'34"
234.197	263117.298	5771319.692	229°35'57"

--- IP DETAILS ---

IP 1	COORDINATE =	263160.4503	5771547.1113
	CENTRE =	263086.1881	5771356.2450
	RADIUS =	48.0000	
	LENGTH =	34.9617	
	INTERSECT ANGLE =	41°43'57"	
IP 2	COORDINATE =	263143.9980	5771423.9434
	CENTRE =	262153.1002	5771558.5790
	RADIUS =	1000.0000	
	LENGTH =	4.5099	
	INTERSECT ANGLE =	0°15'30"	
IP 3	COORDINATE =	263131.2321	5771331.5505
	CENTRE =	263086.1881	5771356.2450
	RADIUS =	48.0000	
	LENGTH =	34.9617	
	INTERSECT ANGLE =	41°43'57"	

START TANGENT	COORDINATE =	263133.7364	5771349.6753
	LENGTH =	18.2970	
	CHAINAGE =	234.1972	
	BEARING =	187°52'00"	
END TANGENT	COORDINATE =	263117.2984	5771319.6917
	LENGTH =	18.2970	
	CHAINAGE =	234.1972	
	BEARING =	229°35'57"	



GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME

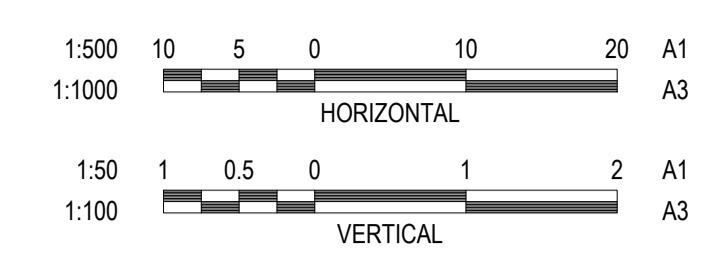
Endorsed Plan referred to in Permit No: 392-2015
 Sheet 7 of 19 Approved Civil Plans
 Cen 13781

Signed: [Signature] Date: 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.

<p>Communities Designed for Living</p>	<p>Level 7, 176 Wellington Parade East Melbourne, VIC, Australia 3002</p>	<p>Wandana Heights</p>	DRAWING TITLE	STATUS	SCALE AT A1	DRAWN	DESIGNED
			WANDANA ESTATE - STAGE 5 ROAD LONGITUDINAL SECTIONS - 2	ISSUED FOR CONSTRUCTION	AS SHOWN	S. DAVIES	M. TROUNCE
			PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE	A. WALE	T. PALIOS
PROJECT No. 180363.5		DRAWING No. R401		REVISION 0			

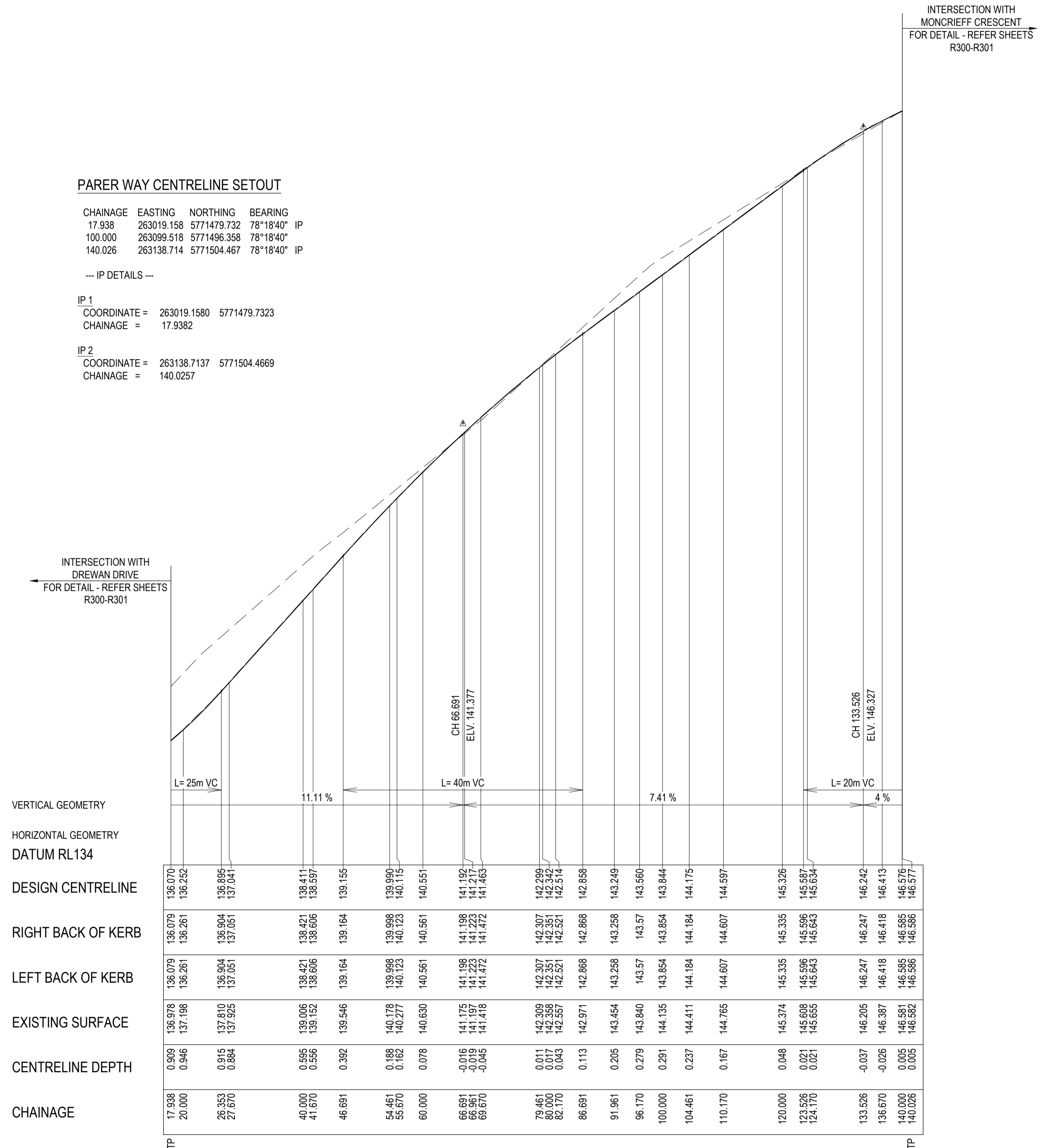


LEGEND	
	EXISTING SURFACE
	DESIGN LINE
	FUTURE DESIGN LINE
	LEFT BACK OF KERB
	RIGHT BACK OF KERB

PARER WAY CENTRELINE SETOUT

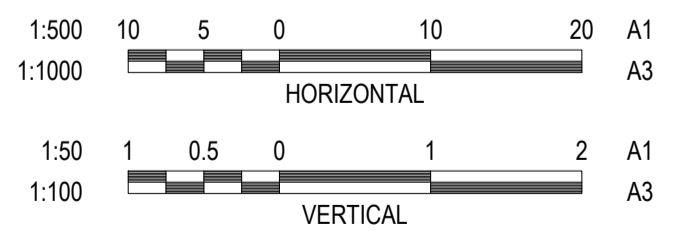
CHAINAGE	EASTING	NORTHING	BEARING
17.936	263019.158	5771479.732	78°18'40"
100.000	263099.518	5771496.358	78°18'40"
140.026	263138.714	5771504.467	78°18'40"

--- IP DETAILS ---
IP 1
 COORDINATE = 263019.1580 5771479.7323
 CHAINAGE = 17.9382
IP 2
 COORDINATE = 263138.7137 5771504.4669
 CHAINAGE = 140.0257



CHAINAGE	17.936	20.000	26.363	27.670	46.000	41.670	46.691	54.461	55.670	60.000	66.691	66.961	68.670	79.461	80.000	82.170	86.691	91.961	96.170	100.000	104.461	110.170	120.000	123.526	124.170	133.526	136.670	140.000	140.026	
DESIGN CENTRELINE	136.070	136.252	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261
RIGHT BACK OF KERB	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261
LEFT BACK OF KERB	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261	136.079	136.261
EXISTING SURFACE	136.978	137.198	137.810	137.926	138.096	138.152	139.546	140.178	140.277	140.630	141.175	141.197	141.197	142.309	142.358	142.357	142.971	143.454	143.840	144.135	144.411	144.765	145.374	145.698	145.655	146.205	146.387	146.691	146.582	
CENTRELINE DEPTH	0.909	0.946	0.945	0.944	0.965	0.966	0.932	0.888	0.862	0.078	-0.016	-0.019	-0.045	0.011	0.017	0.045	0.113	0.205	0.279	0.291	0.237	0.167	0.048	0.021	0.021	-0.037	-0.026	0.005	0.005	

PARER WAY LONGITUDINAL SECTION



GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME
 Endorsed Plan referred to in Permit No: 392-2015
 Sheet 8 of 19 Approved Civil Plans
 Cert 13781
 Signed Date 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority
 NOTE: THIS IS NOT A BUILDING APPROVAL.

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.

CLIENT

Communities Designed for Living

PROJECT

Level 7, 176 Wellington Parade
 East Melbourne, VIC, Australia 3002

DRAWING TITLE

Wandana Heights

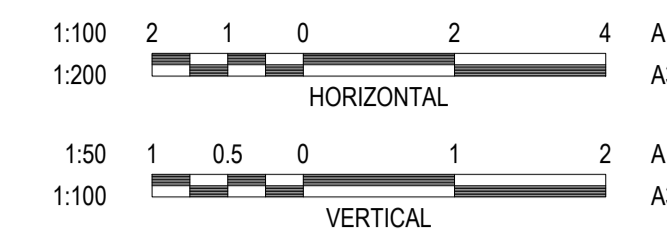
DRAWING TITLE

**WANDANA ESTATE - STAGE 5
 ROAD LONGITUDINAL SECTIONS - 3**

STATUS

**ISSUED FOR
 CONSTRUCTION**

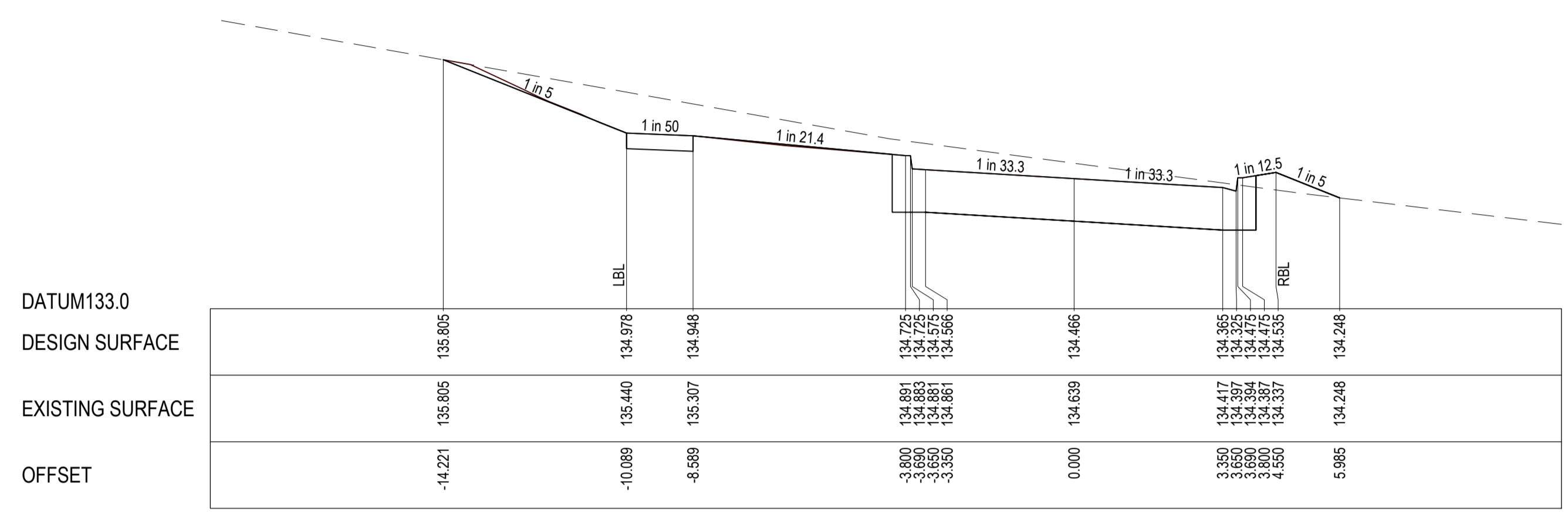
SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R402	0



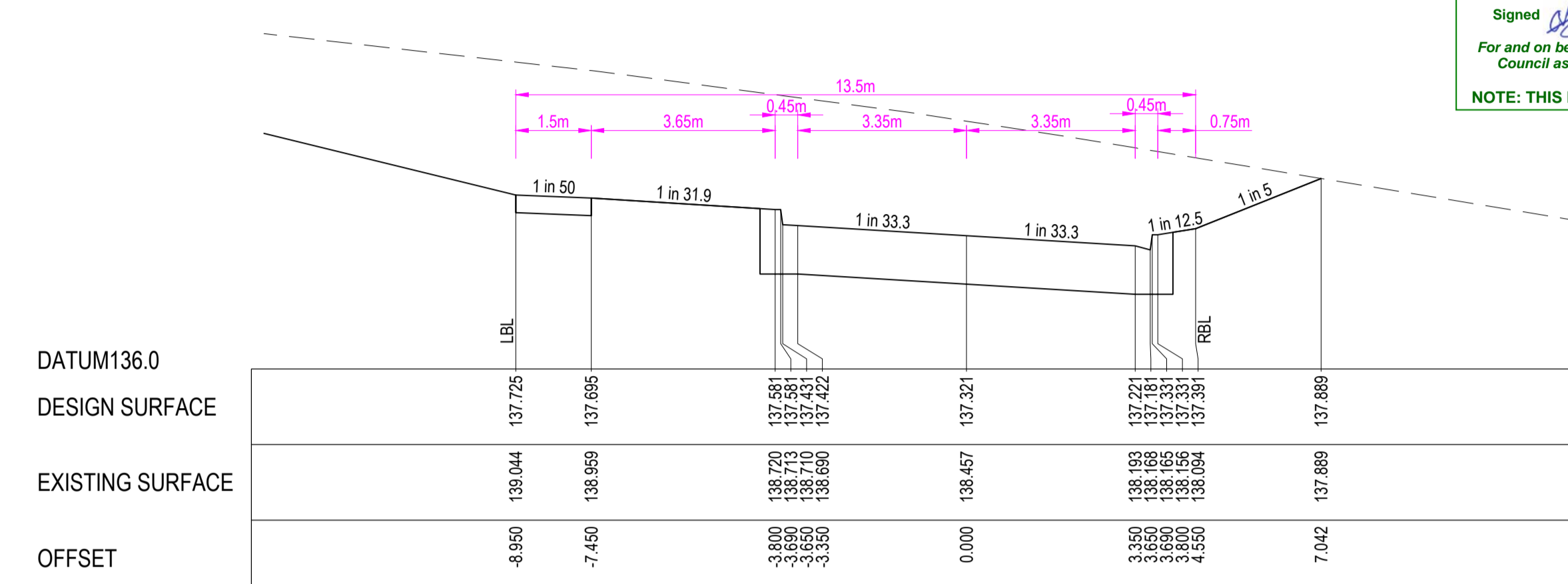
LEGEND	
	EXISTING SURFACE
	DESIGN LINE
	SELECT FILL

NOTE:
 SELECT FILL EXTENDING 200mm BELOW NATURAL SURFACE REQUIRED UNDER ALL PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. SELECT FILL TO MEET CITY OF GREATER GEELONG REQUIREMENTS.

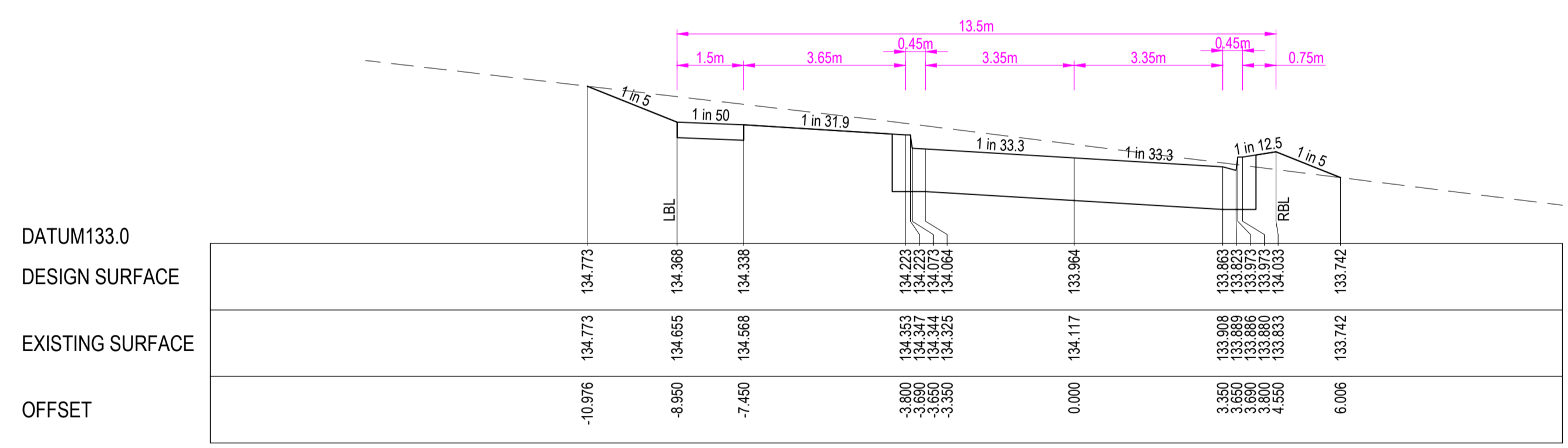
GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME
 Endorsed Plan referred to in Permit No: 392-2015
 Sheet 9 of 19 Approved Civil Plans
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 Signed: Date: 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority
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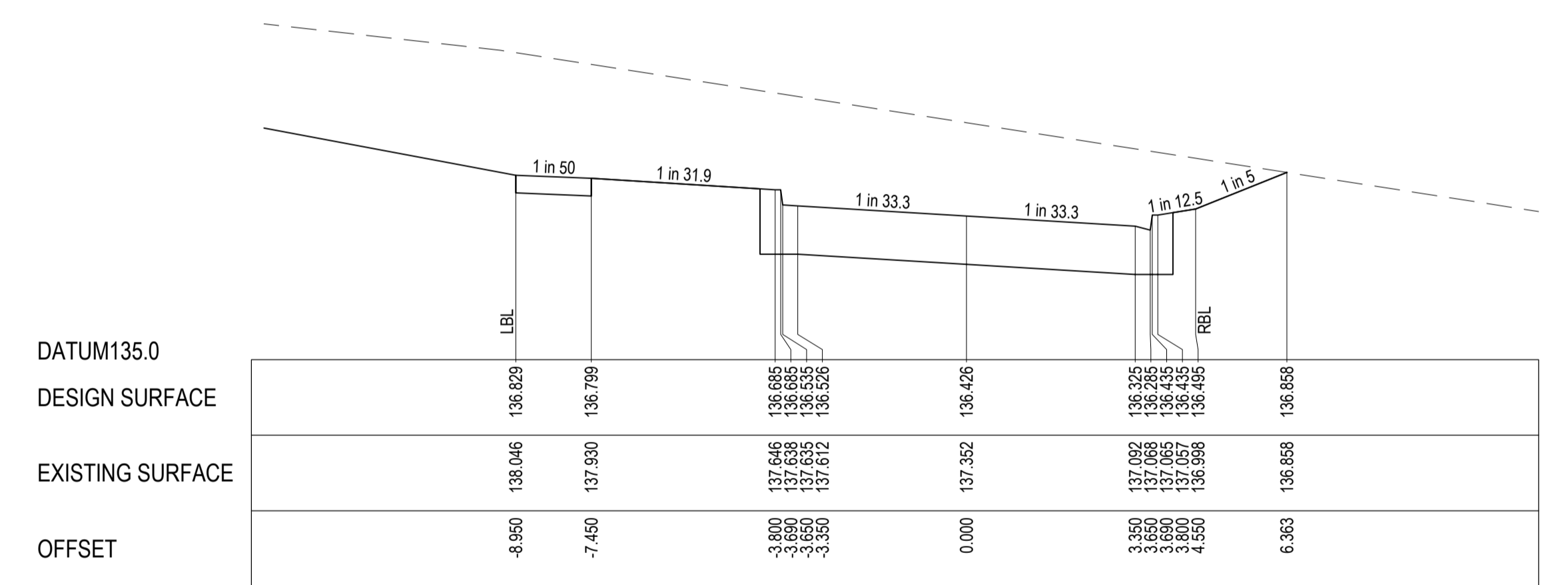
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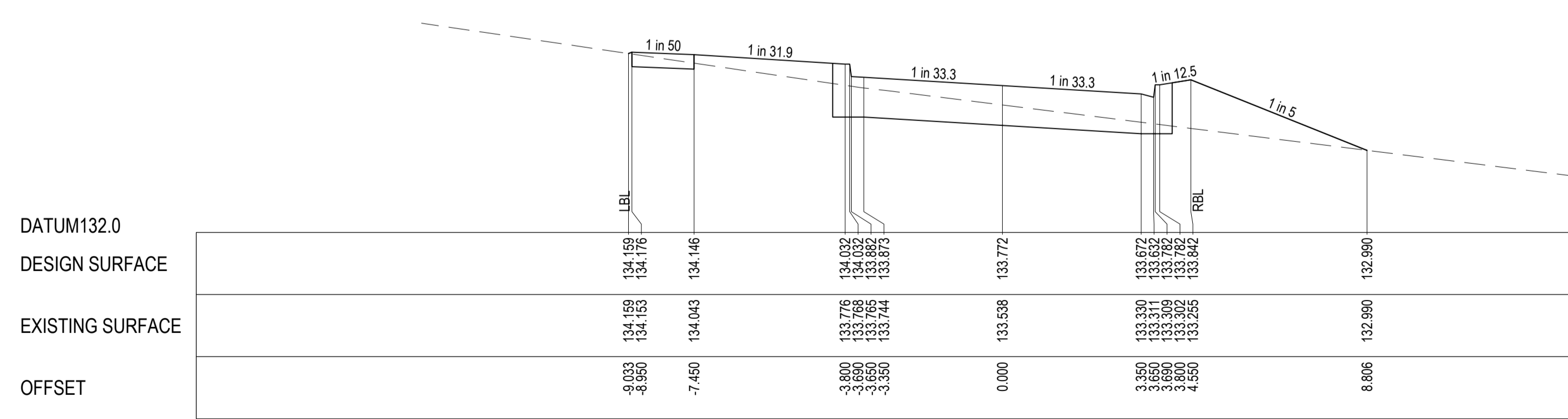
CH 100.000



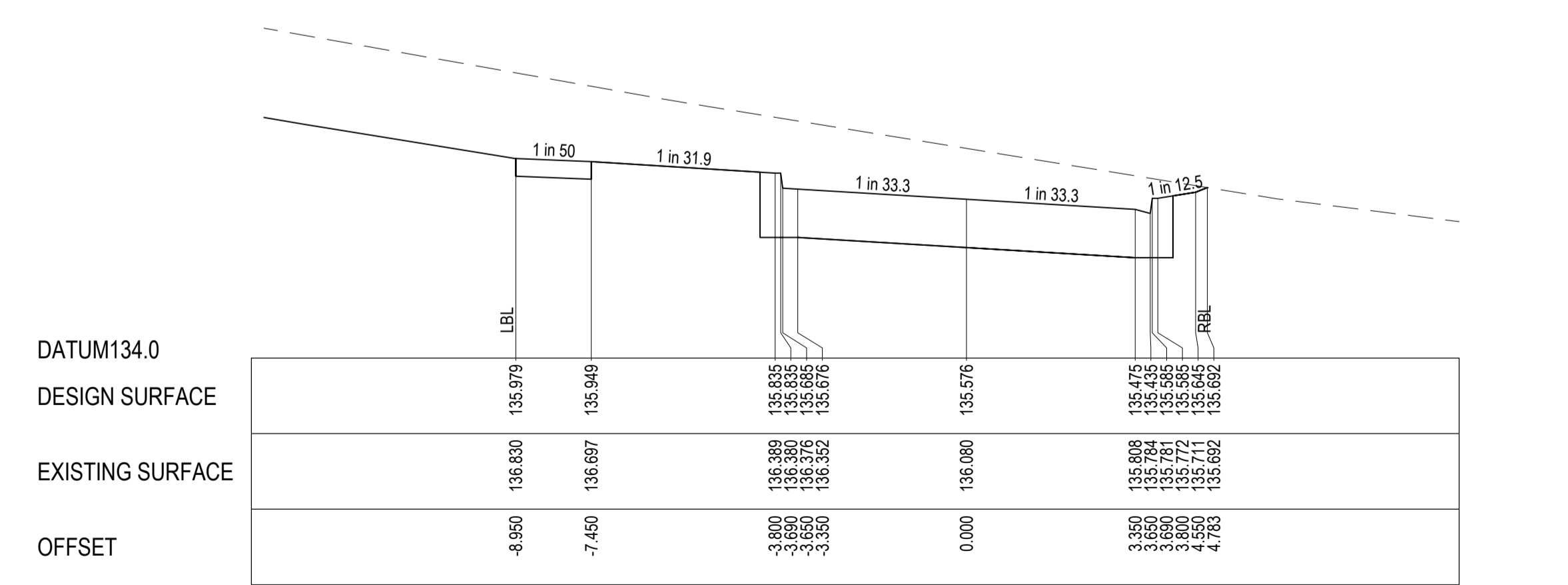
CH 20.000



CH 80.000

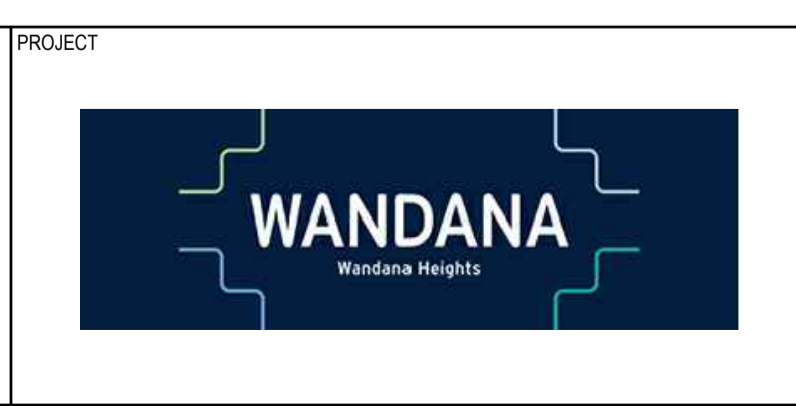


CH 0.000 (LIMIT OF WORKS)



LTPCH 60.876

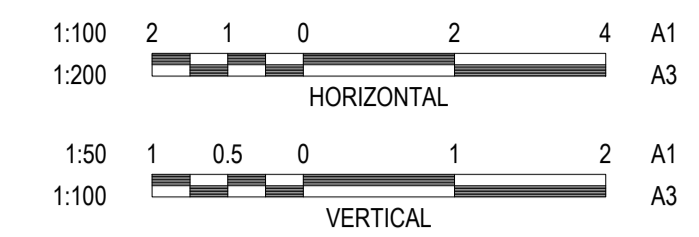
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0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.



DRAWING TITLE
 WANDANA ESTATE - STAGE 5
 ROAD CROSS SECTIONS - 1
 DREWAN DRIVE - SHEET 1

STATUS
 ISSUED FOR CONSTRUCTION

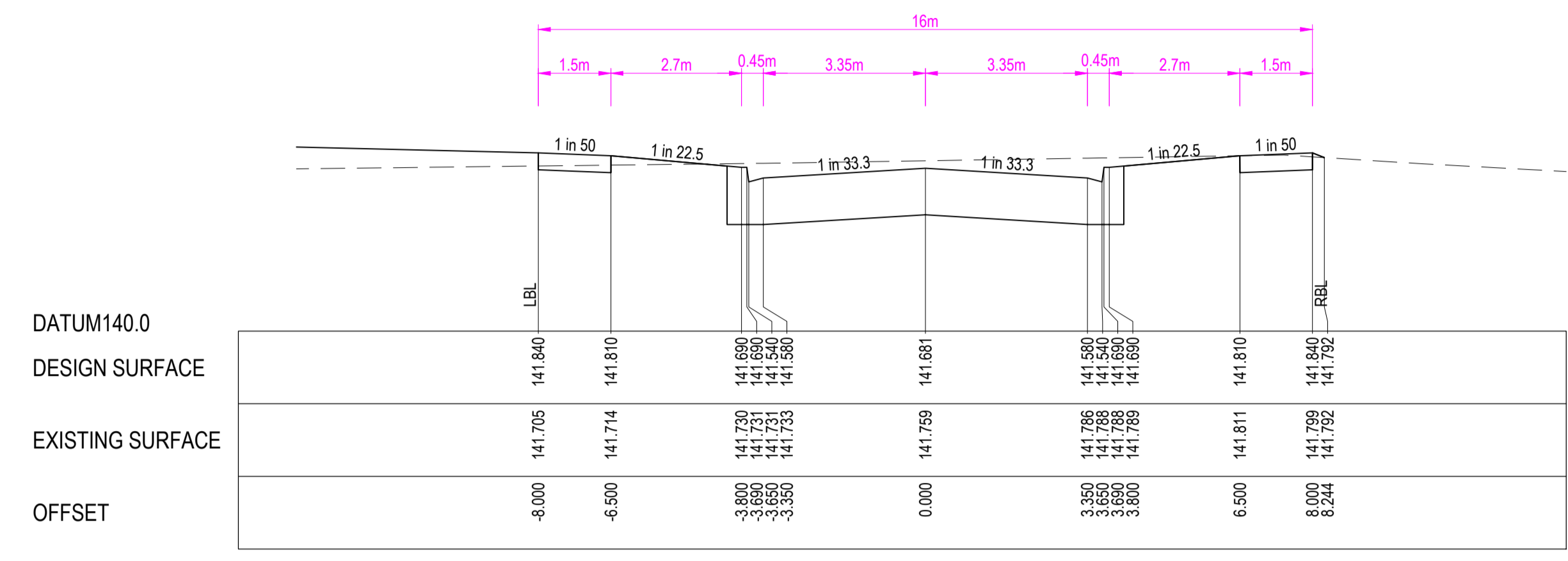
SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R500	0



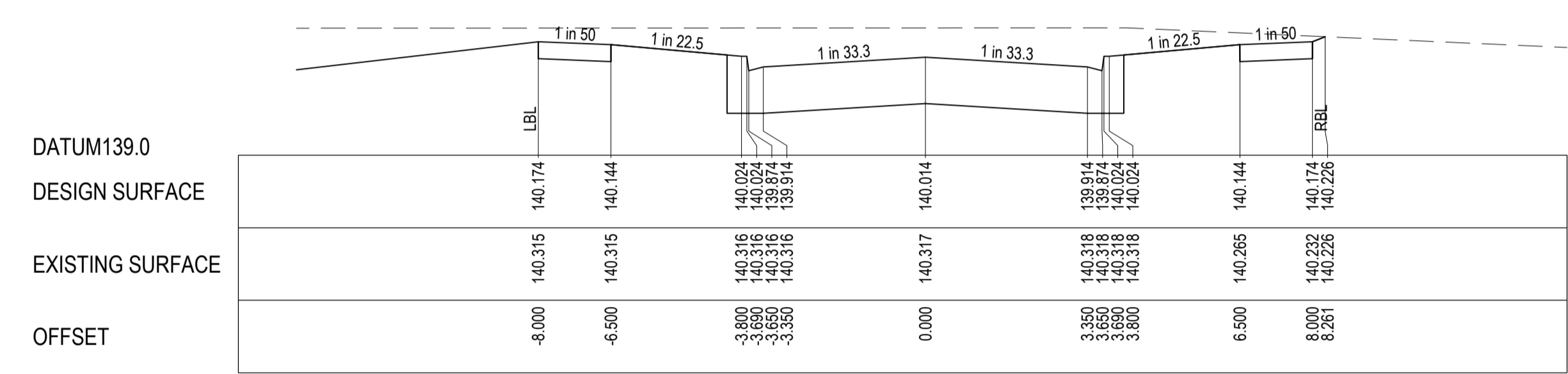
LEGEND	
	EXISTING SURFACE
	DESIGN LINE
	SELECT FILL

NOTE:
 "SELECT FILL" EXTENDING 200mm BELOW NATURAL SURFACE REQUIRED UNDER ALL PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. SELECT FILL TO MEET CITY OF GREATER GEELONG REQUIREMENTS.

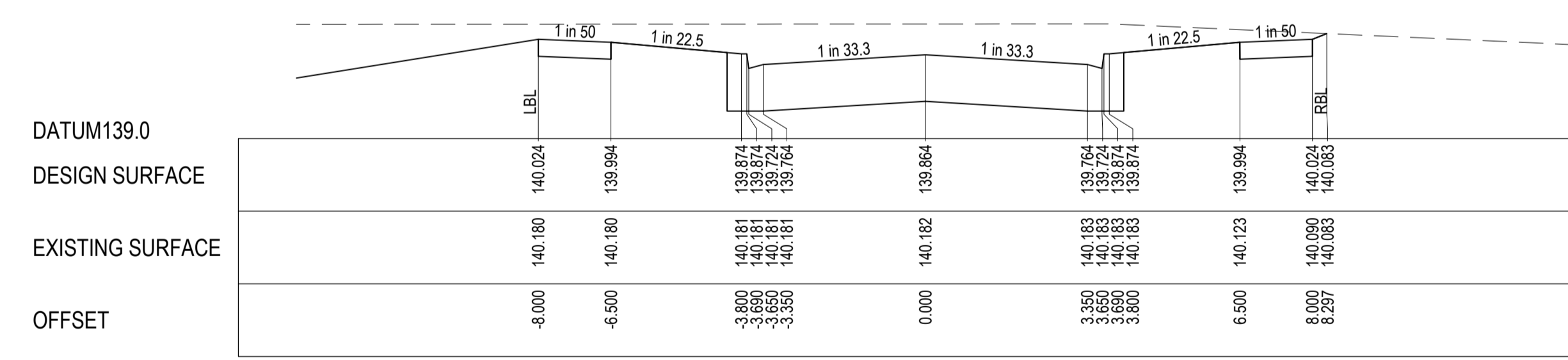
GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME
 Endorsed Plan referred to in Permit No: 382-2015
 Sheet 10 of 19 Approved Civil Plans
 Cert 13781
 Signed: Date: 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority
NOTE: THIS IS NOT A BUILDING APPROVAL



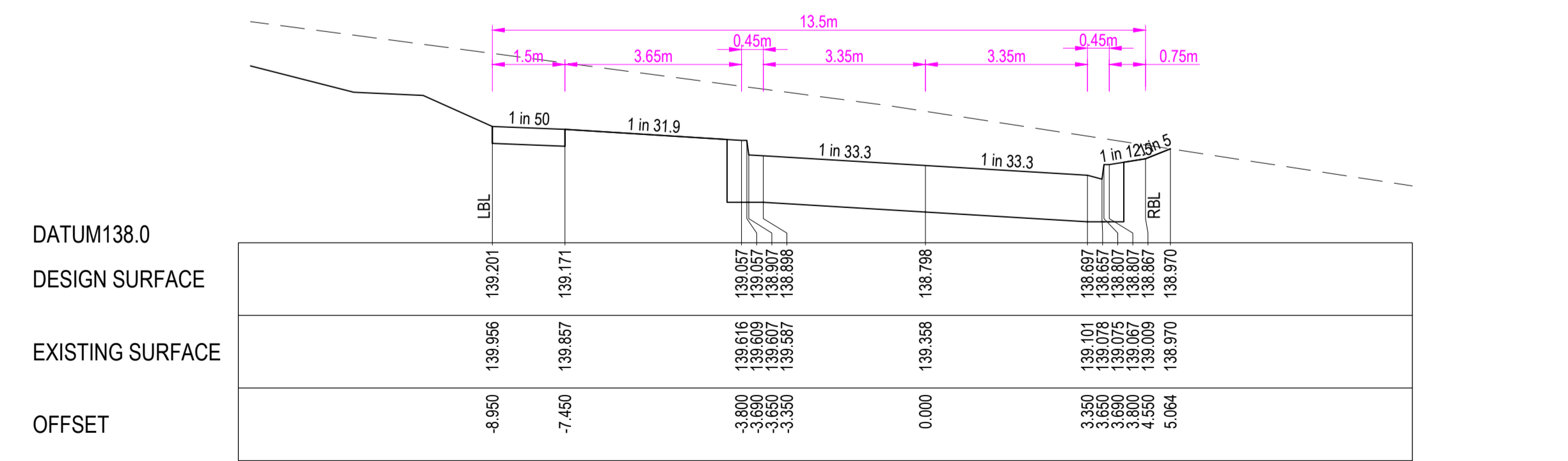
CH 160.000



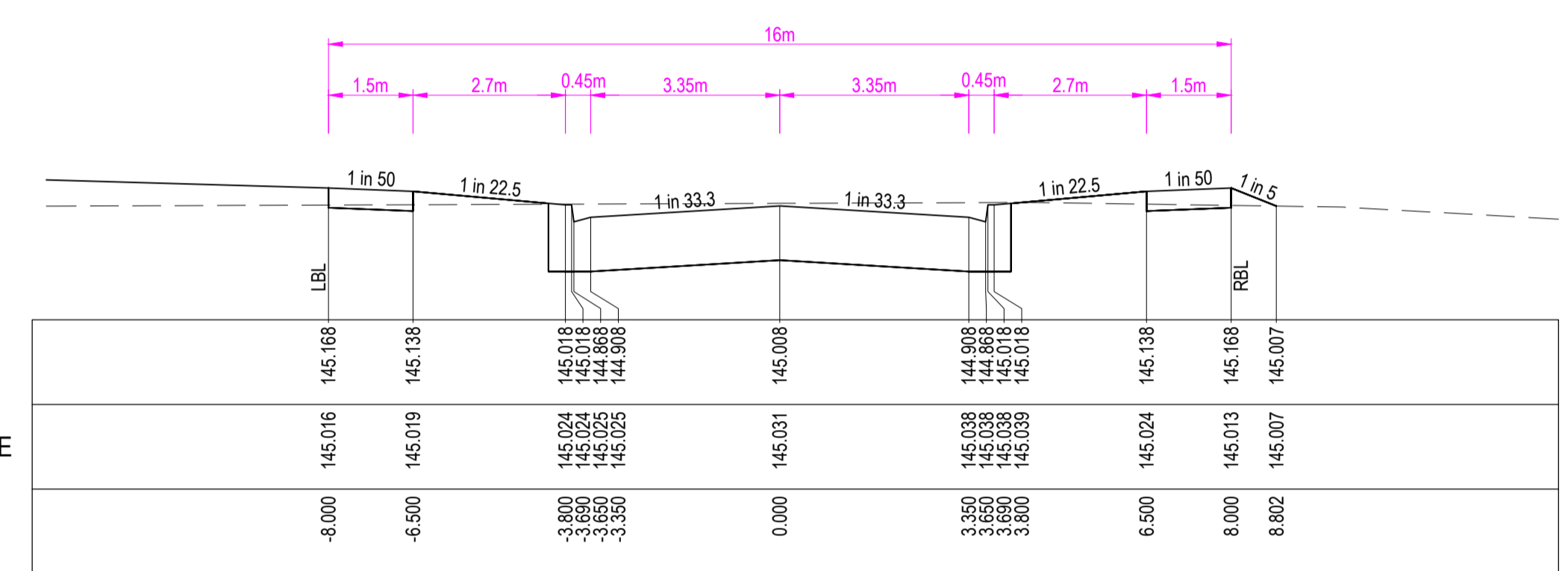
CH 140.000



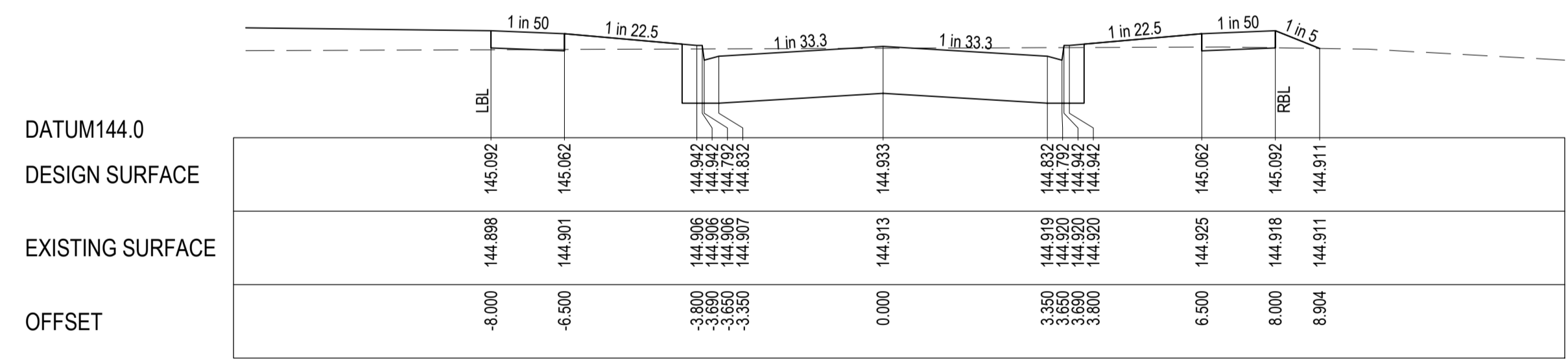
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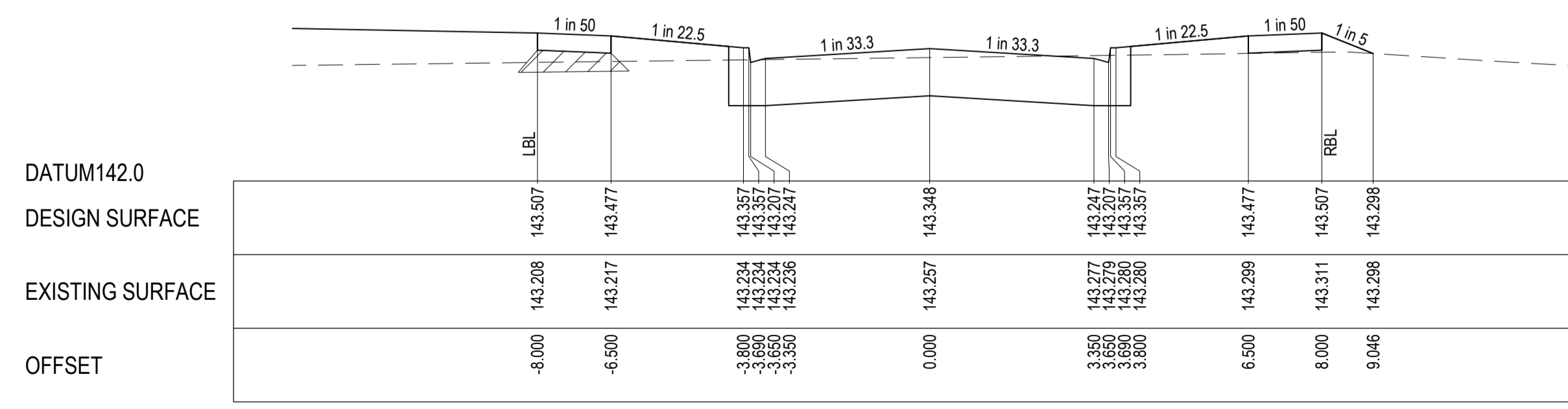
TPCH 124.603



TPCH 201.230



CH 200.000



CH 180.000

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.

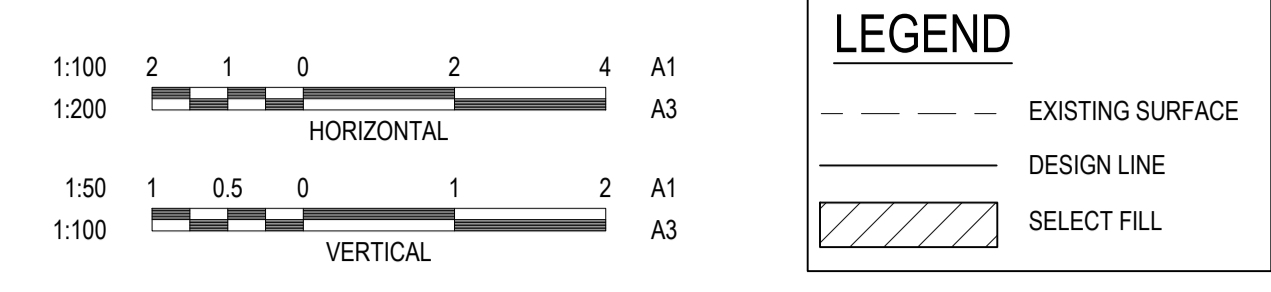


WANDANA ESTATE - STAGE 5
ROAD CROSS SECTIONS - 2
DREWAN DRIVE - SHEET 2

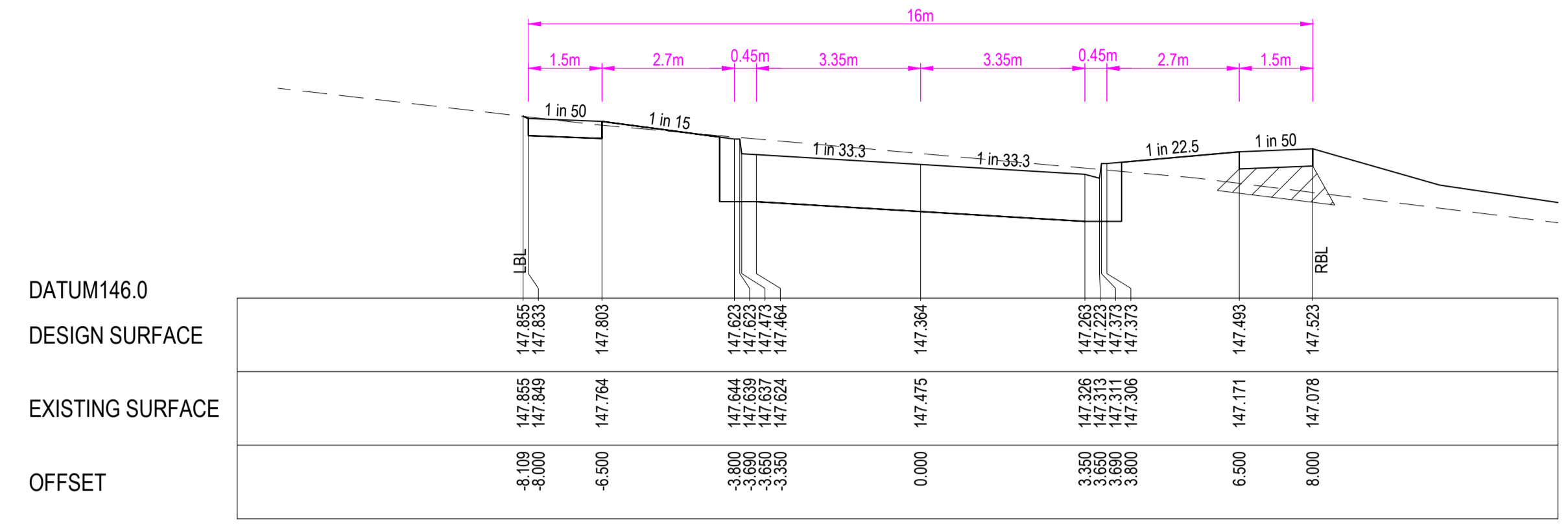
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R501	0

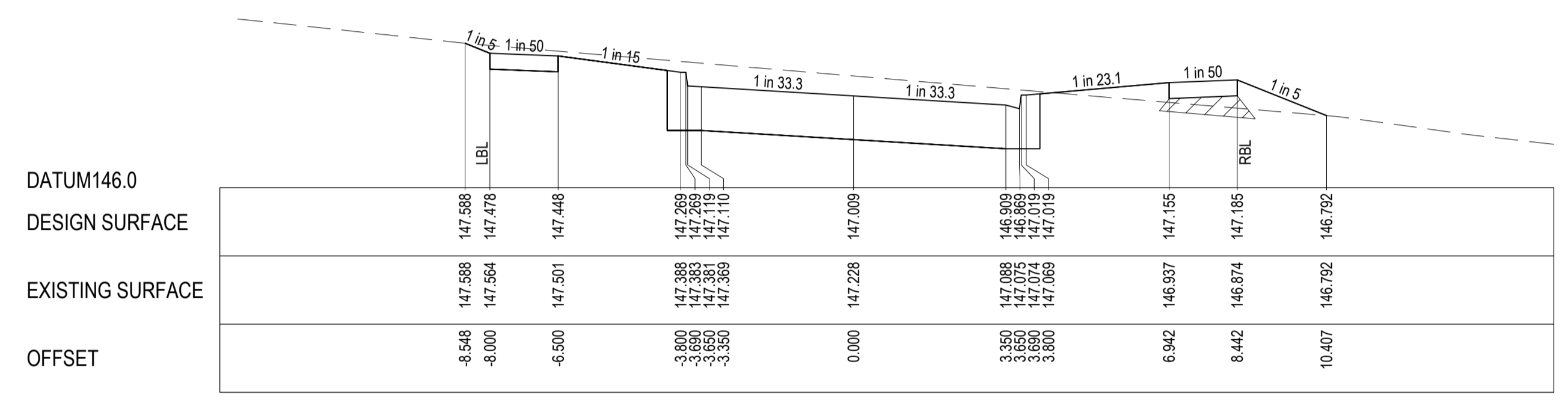
GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME
 Endorsed Plan referred to in Permit No: 392-2015
 Sheet 11 of 19 Approved Civil Plans
 Cert 13781
 Signed:  Date 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority
 NOTE: THIS IS NOT A BUILDING APPROVAL.



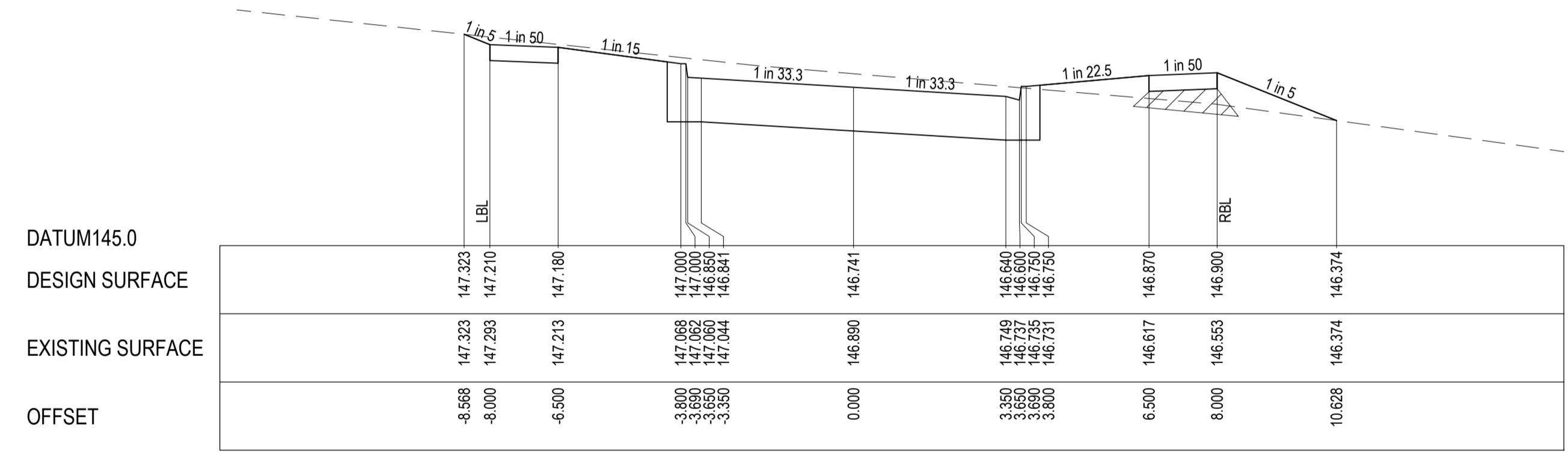
NOTE:
 SELECT FILL EXTENDING 200mm BELOW NATURAL SURFACE REQUIRED UNDER ALL PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. SELECT FILL TO MEET CITY OF GREATER GEELONG REQUIREMENTS.



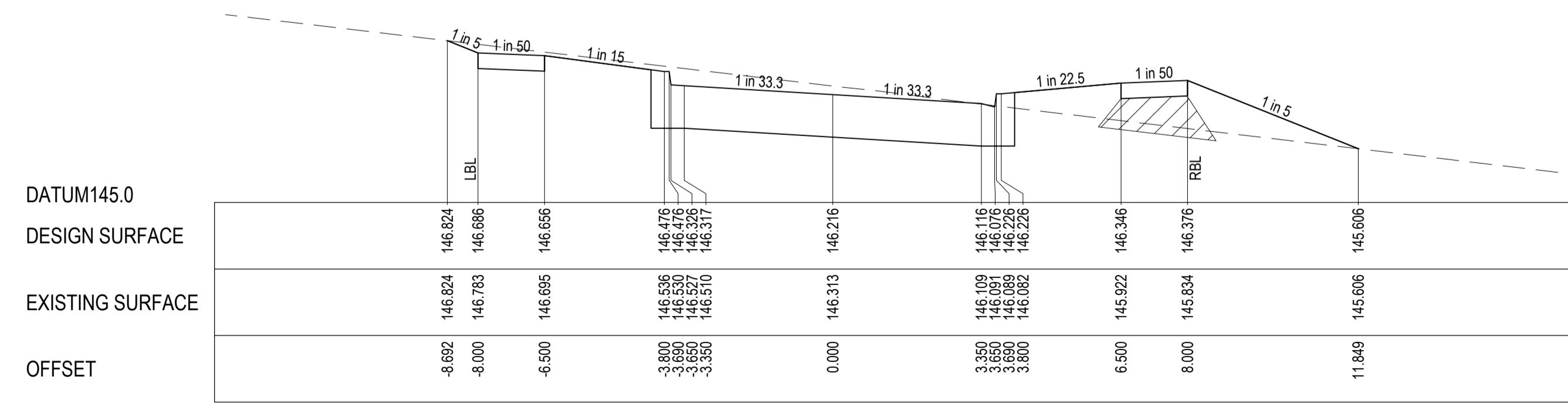
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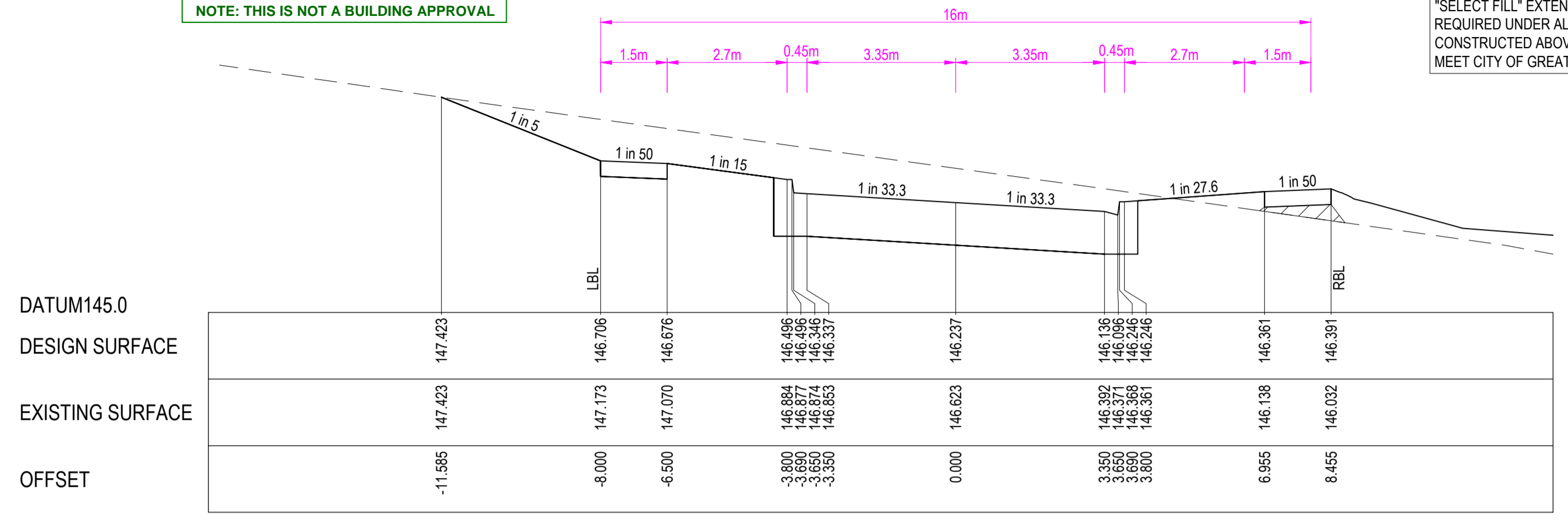
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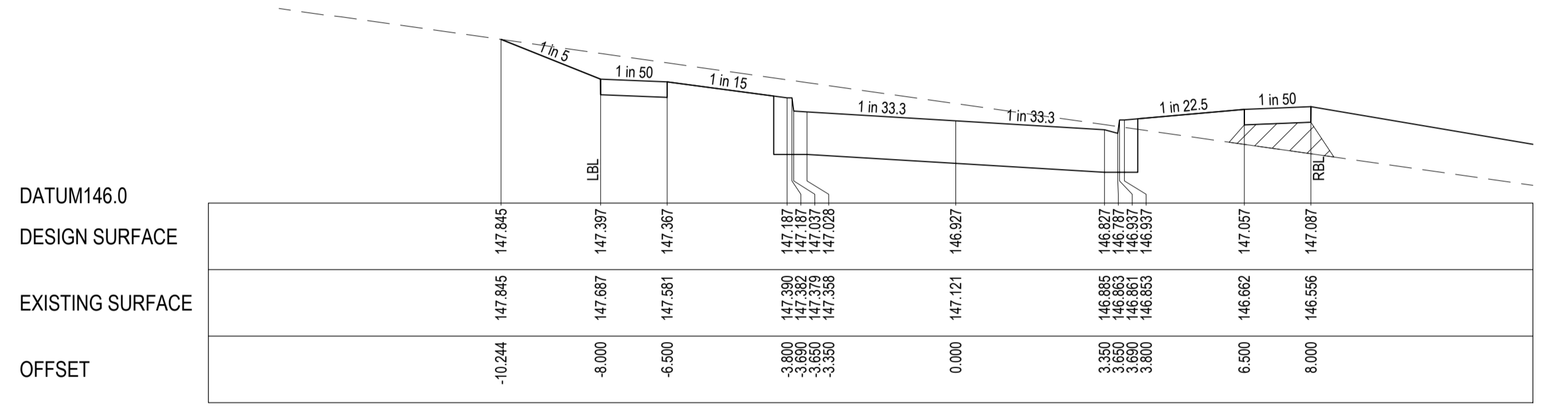
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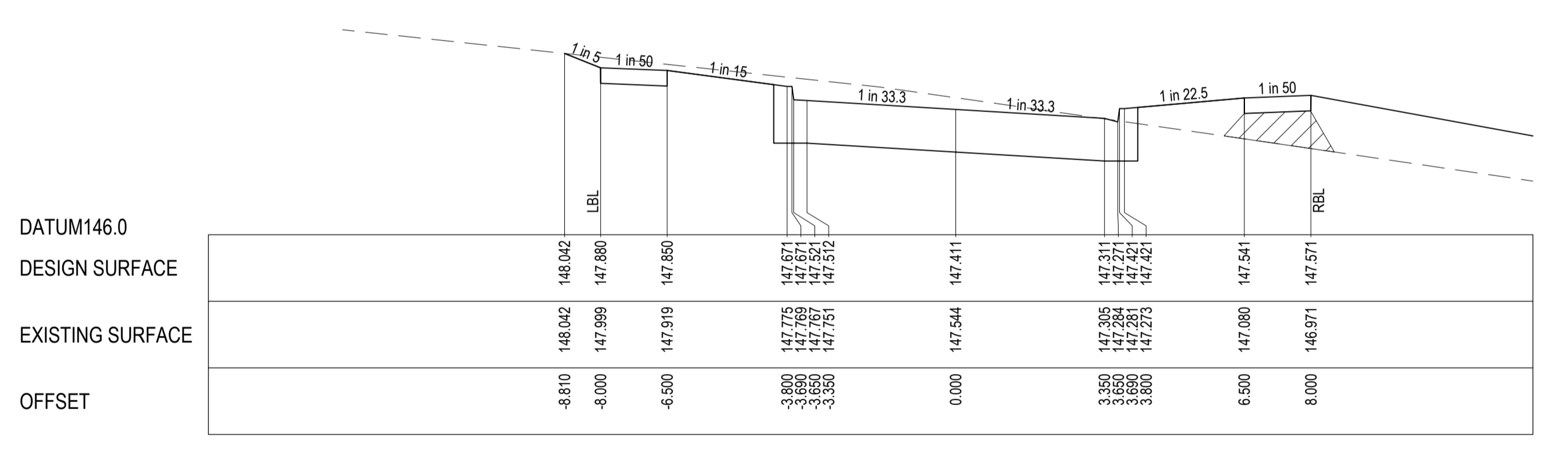
CH 0.000 (LIMIT OF WORKS)



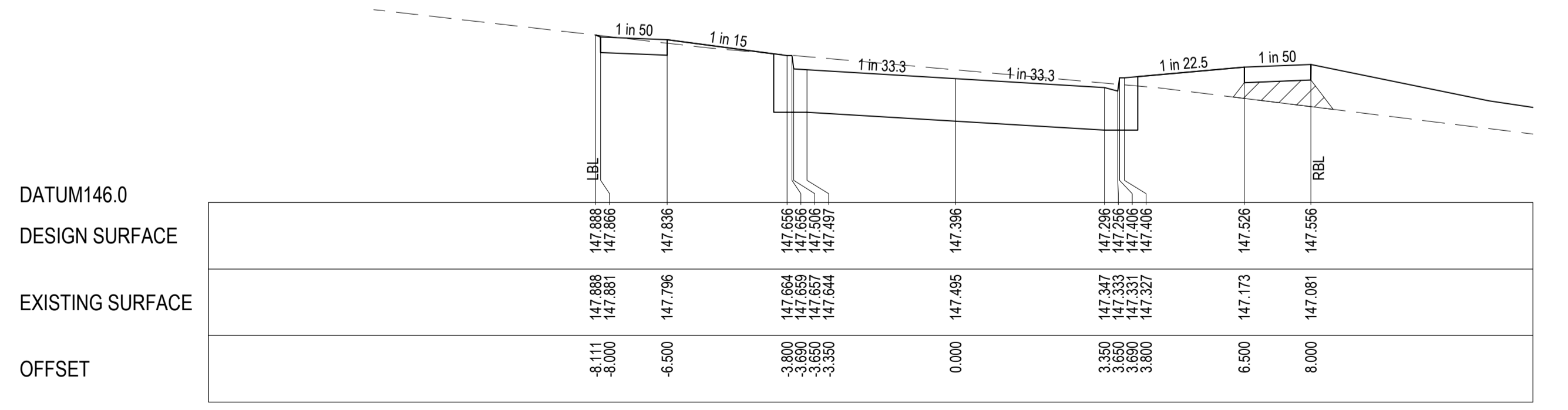
RTPCH 116.786



CH 100.000



CH 80.000



CH 60.000

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
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A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.

CLIENT




Communities Designed for Living

PROJECT



Level 7, 176 Wellington Parade
 East Melbourne, VIC, Australia 3002

DRAWING TITLE



WANDANA ESTATE - STAGE 5
 ROAD CROSS SECTIONS - 3
 MONCRIEFF CRESCENT - SHEET 1

STATUS

ISSUED FOR CONSTRUCTION

SCALE AT A1

AS SHOWN	DRAWN	DESIGNED
A. WALE	T. PALIOS	M. TROUNCE
PROJECT No.	DRAWING No.	REVISION
180363.5	R502	0

PROJECT ENGINEER

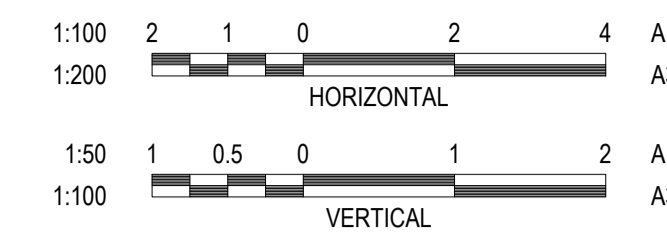
A. WALE

PROJECT MANAGER

T. PALIOS

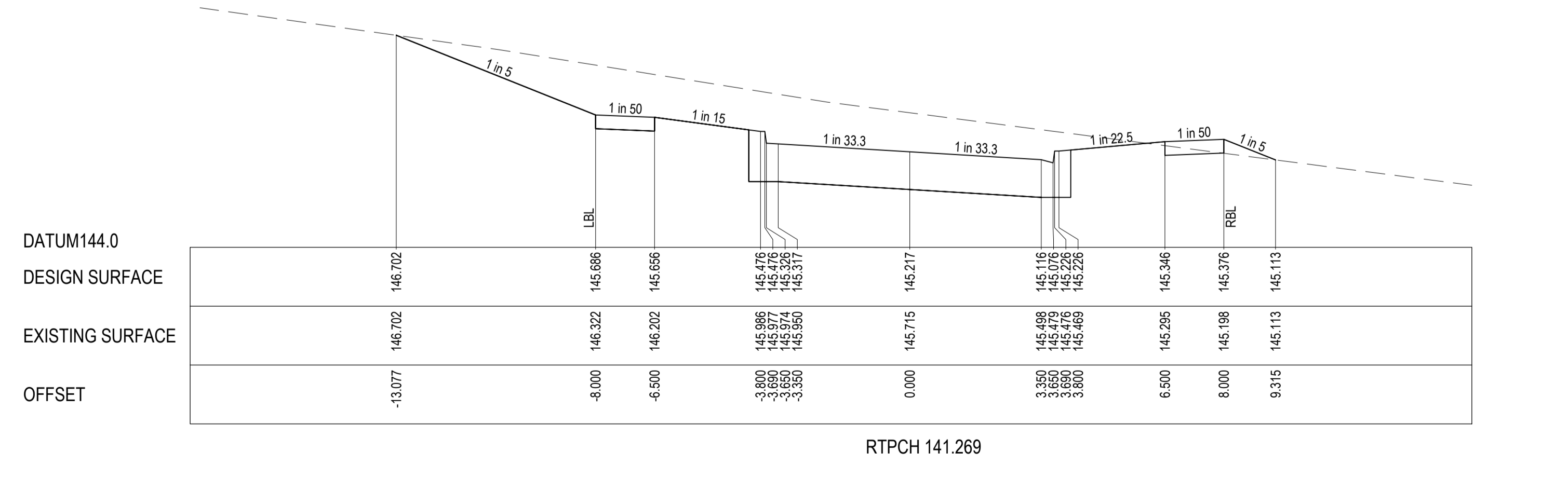
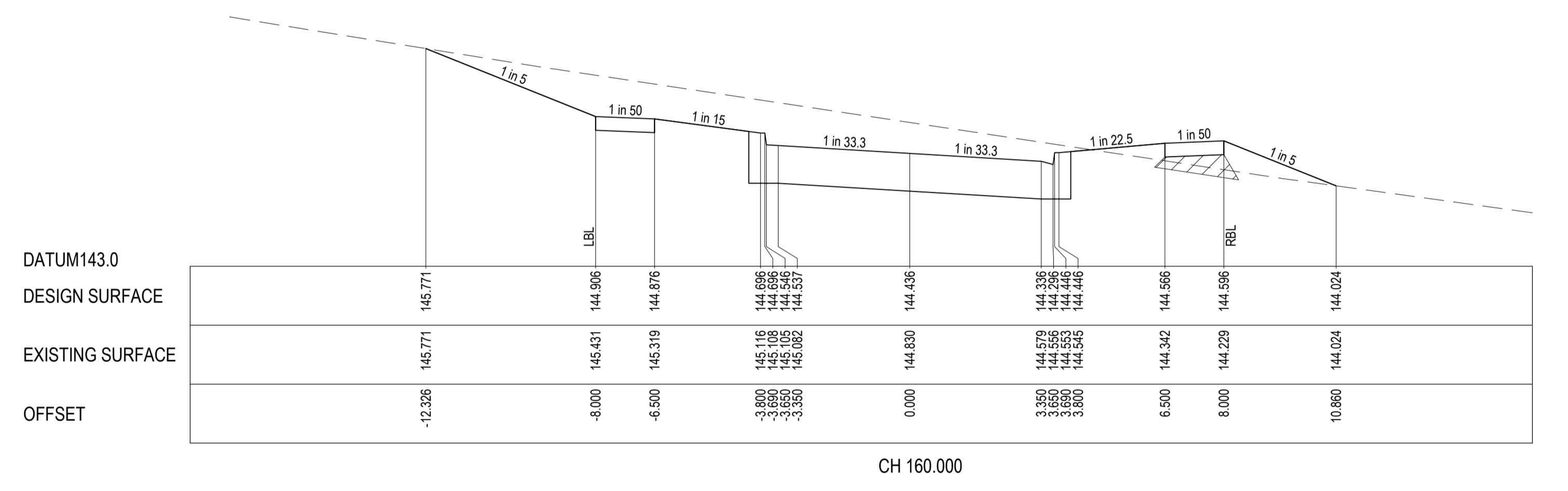
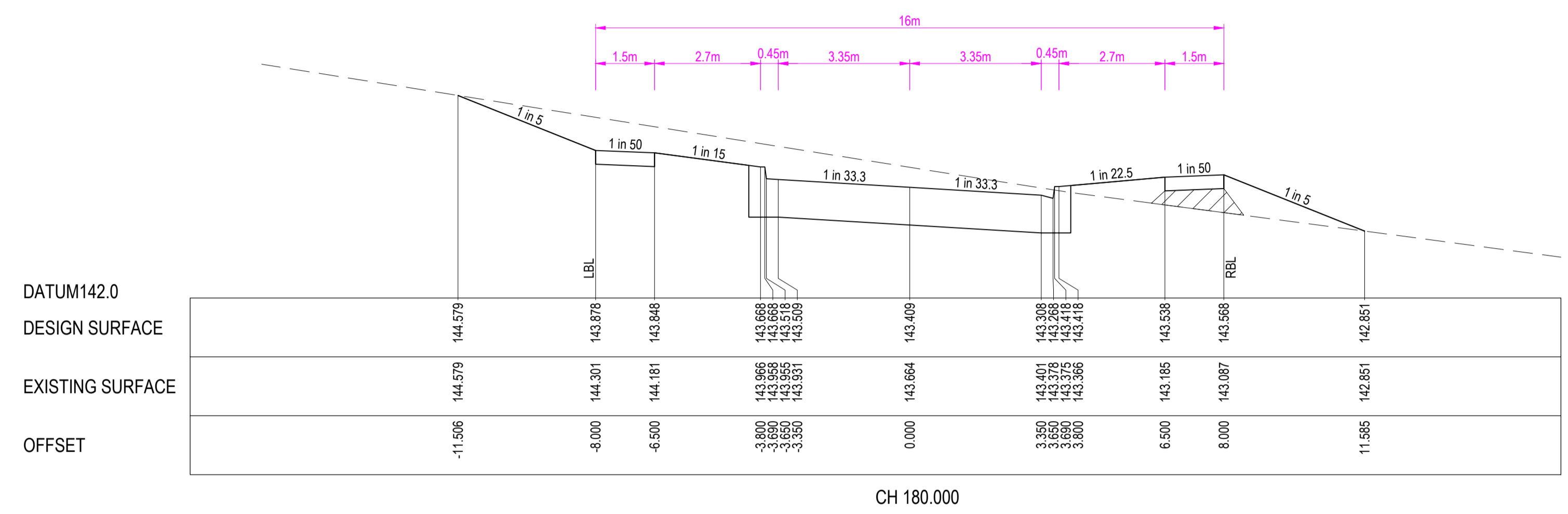
DATE FIRST ISSUE

NOVEMBER 2018



LEGEND	
	EXISTING SURFACE
	DESIGN LINE
	SELECT FILL

NOTE:
 SELECT FILL EXTENDING 200mm BELOW NATURAL SURFACE REQUIRED UNDER ALL PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. SELECT FILL TO MEET CITY OF GREATER GEELONG REQUIREMENTS.



GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME

Endorsed Plan referred to in Permit No: 392-2015
 Sheet 12 of 19 Approved Civil Plans
 Cert 13761

Signed Date 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.

CLIENT

Communities Designed for Living

PROJECT

Level 7, 176 Wellington Parade
 East Melbourne, VIC, Australia 3002

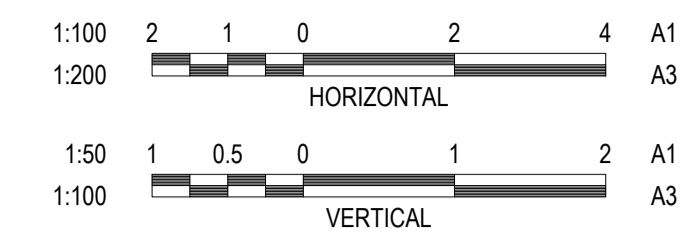
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**WANDANA ESTATE - STAGE 5
 ROAD CROSS SECTIONS - 4
 MONCRIEFF CRESCENT - SHEET 2**

STATUS

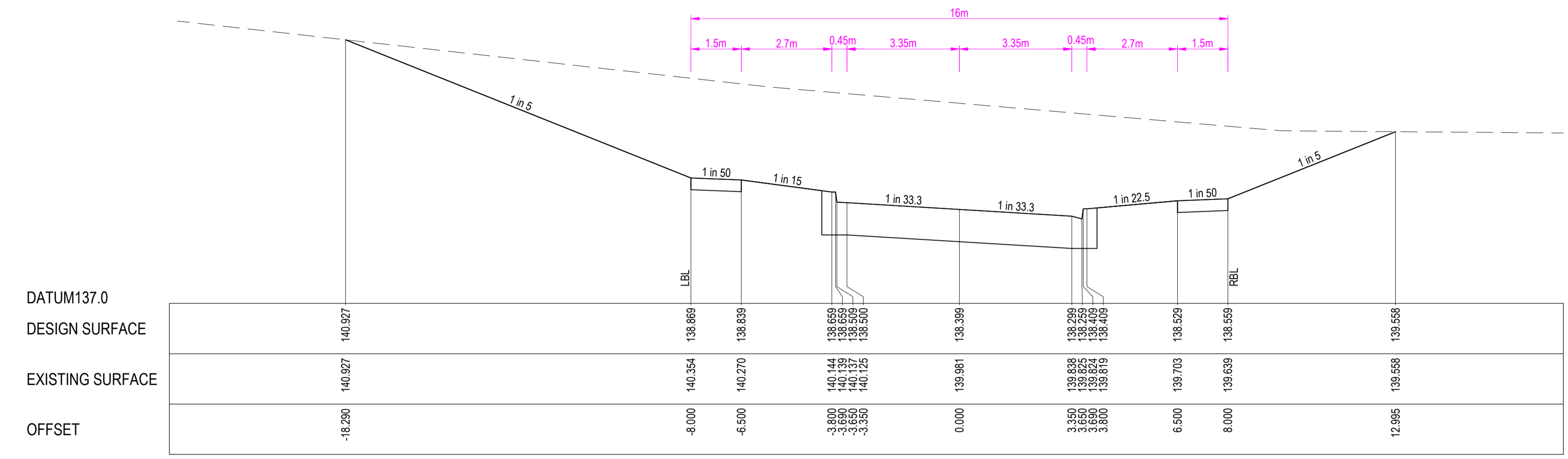
**ISSUED FOR
 CONSTRUCTION**

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R503	0

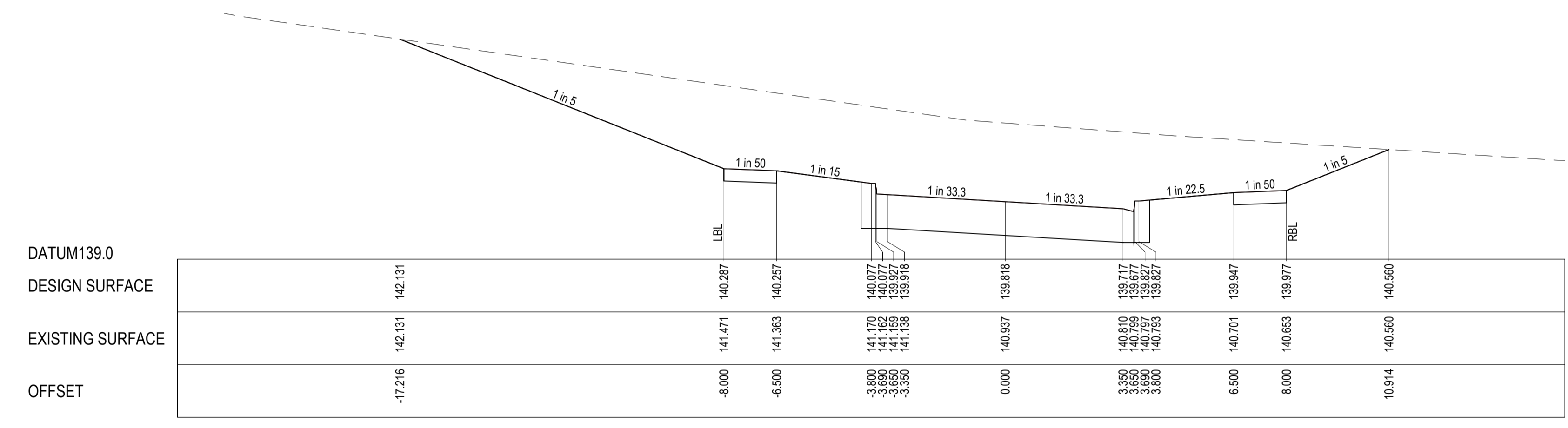


LEGEND	
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	DESIGN LINE
	SELECT FILL

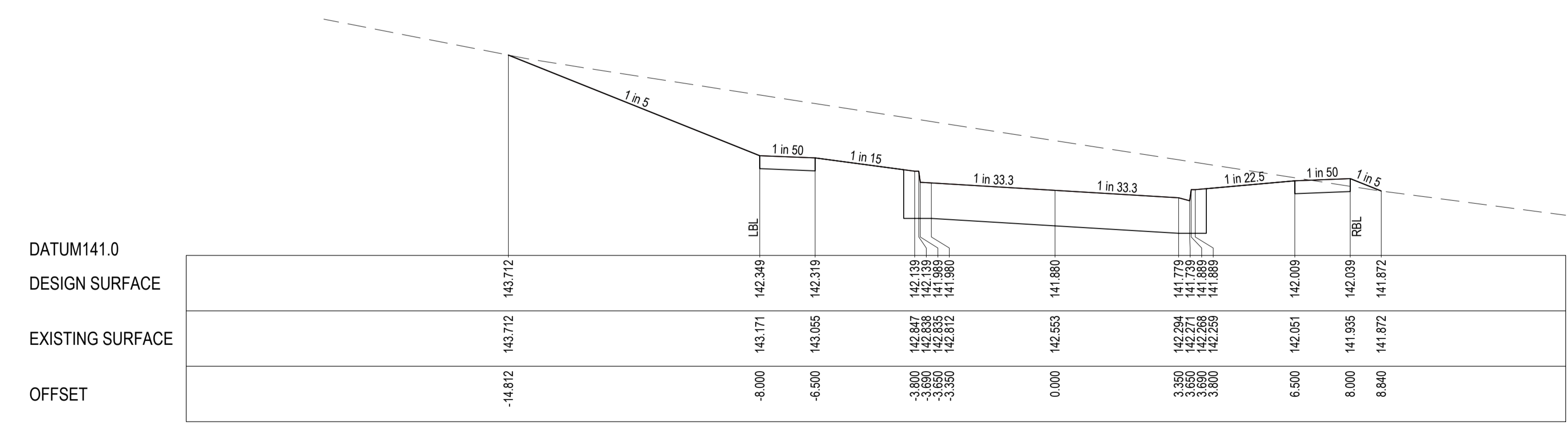
NOTE:
 "SELECT FILL" EXTENDING 200mm BELOW NATURAL SURFACE REQUIRED UNDER ALL PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. SELECT FILL TO MEET CITY OF GREATER GEELONG REQUIREMENTS.



CH 234.197 (LIMIT OF WORKS)



CH 220.000



TPCH 199.236

GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME

Endorsed Plan referred to in Permit No: 392-2015
 Sheet 13 of 19 Approved Civil Plans
 Cert 13781

Signed Date 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.




DRAWING TITLE
 WANDANA ESTATE - STAGE 5
 ROAD CROSS SECTIONS - 5
 MONCREIFF CRESCENT - SHEET 3

STATUS
 ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R504	0

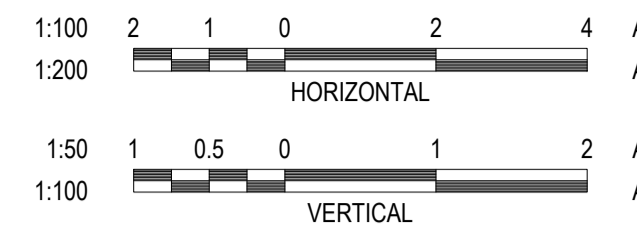
**GREATER GEELONG CITY COUNCIL
PLANNING & ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

Endorsed Plan referred to in Permit No: 392-2015
Sheet 14 of 19 Approved Civil Plans
Cert 13781

Signed  Date 21/02/2019

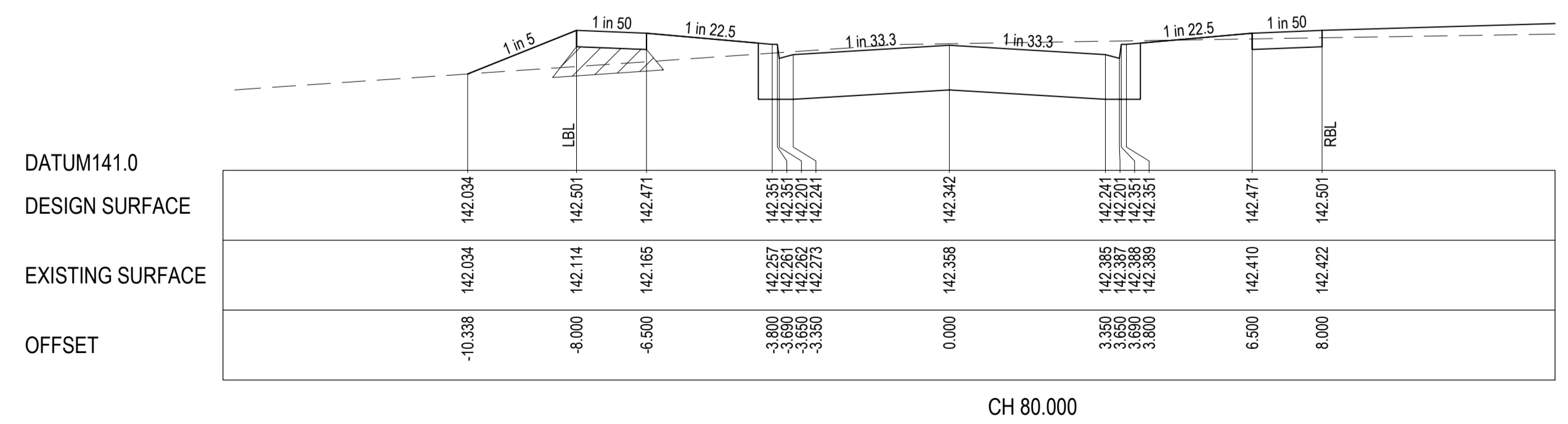
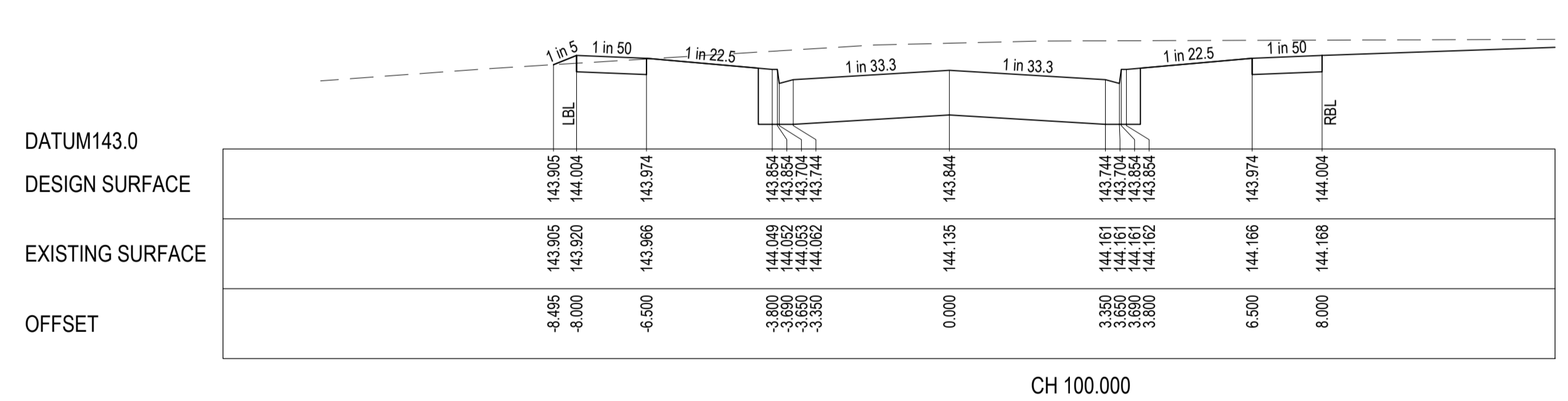
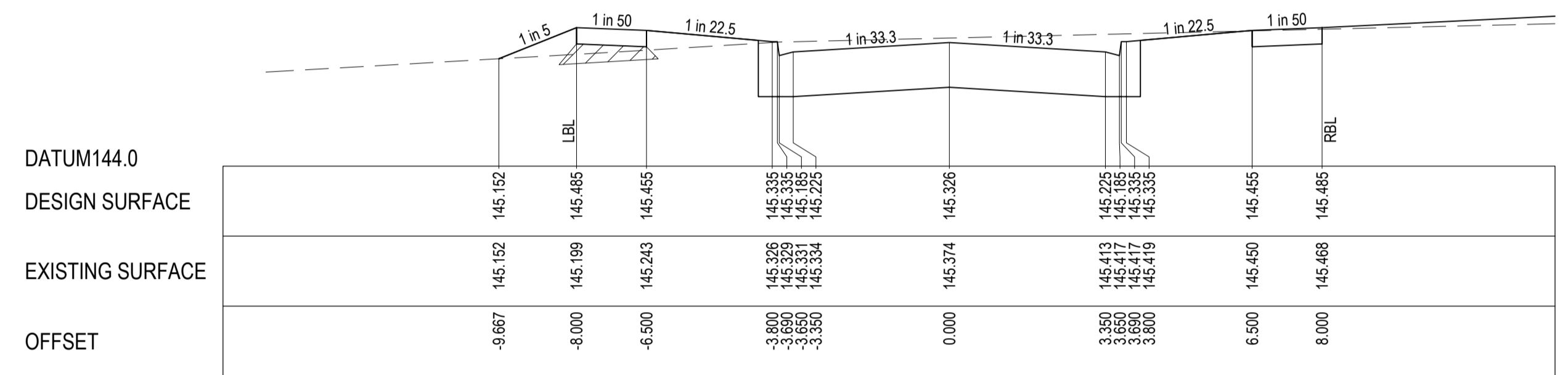
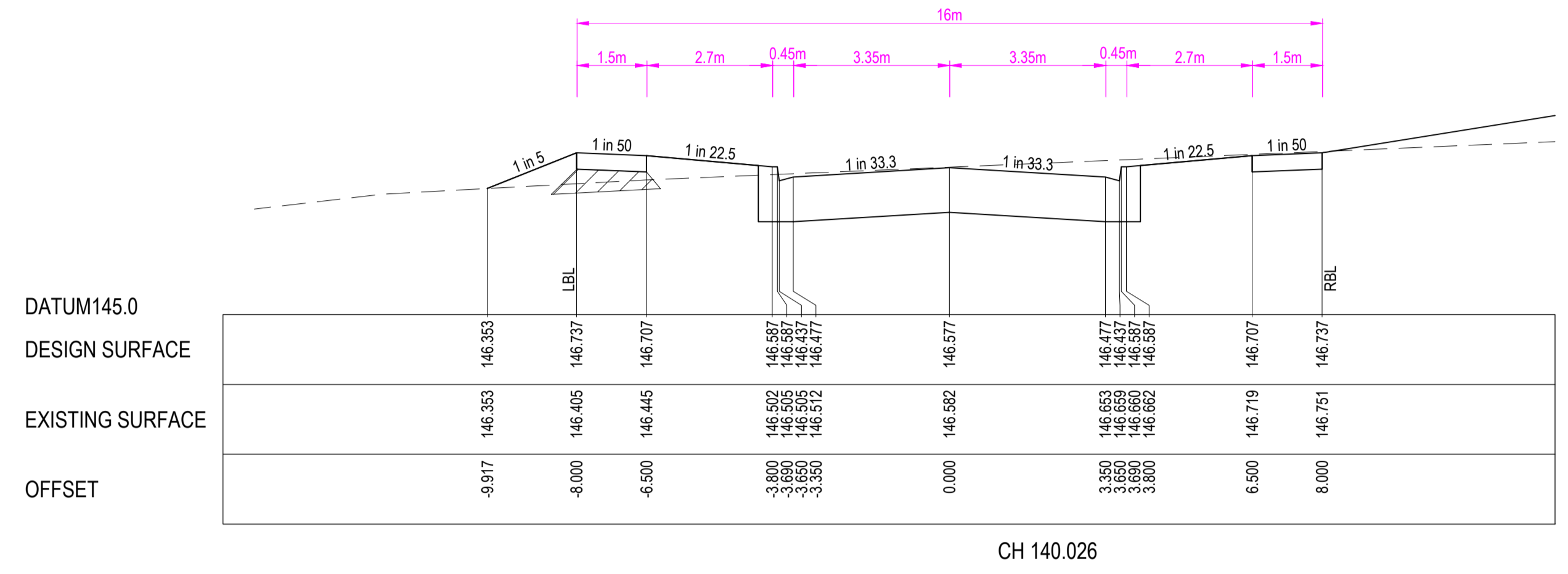
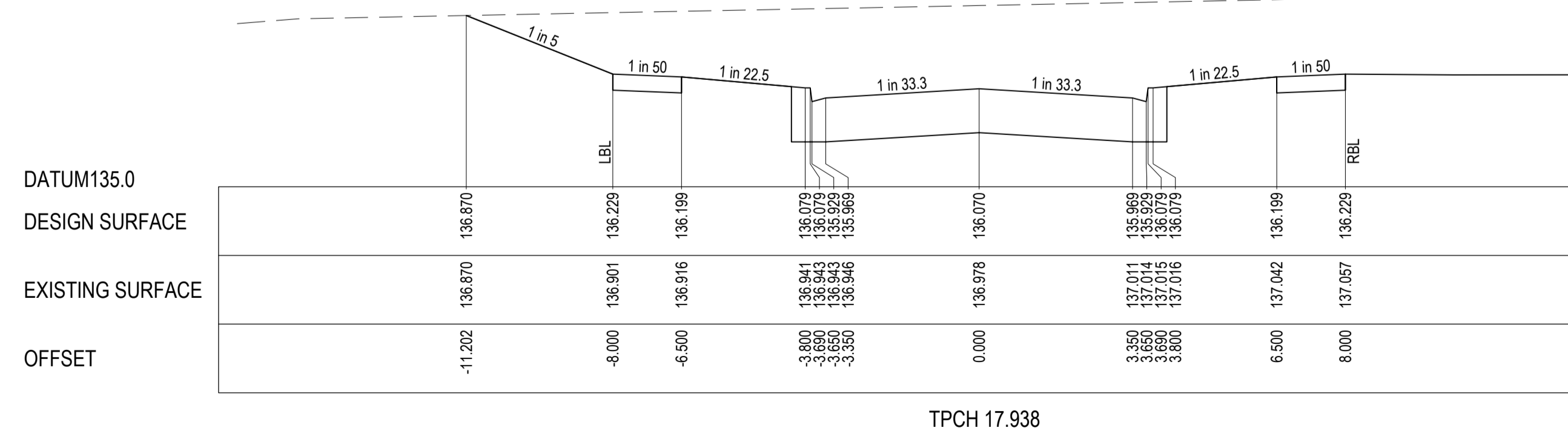
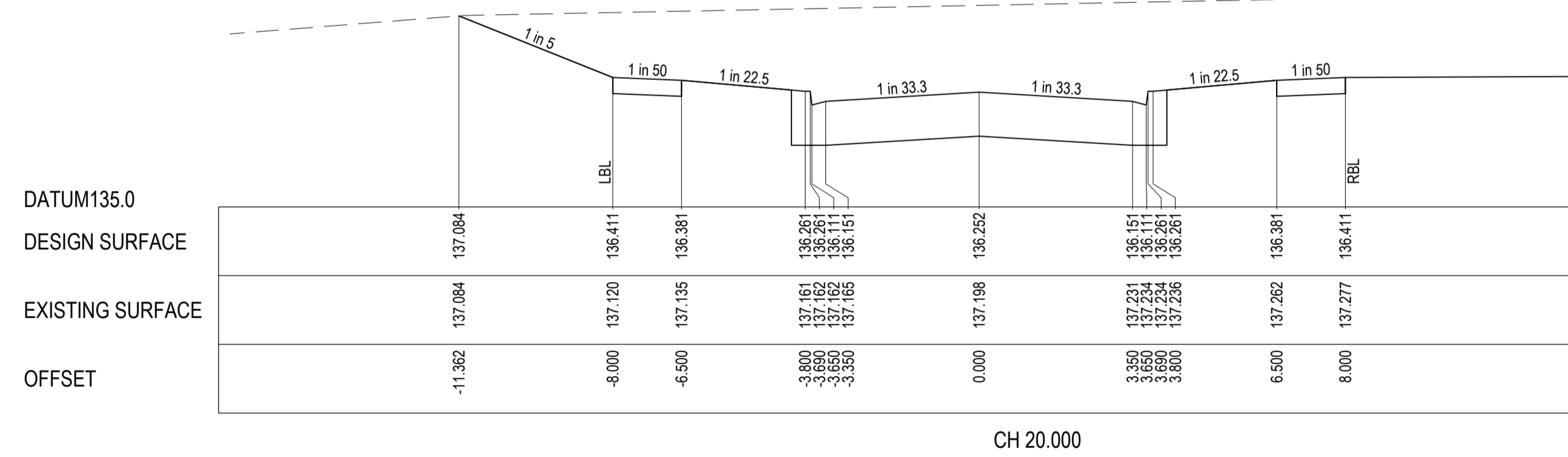
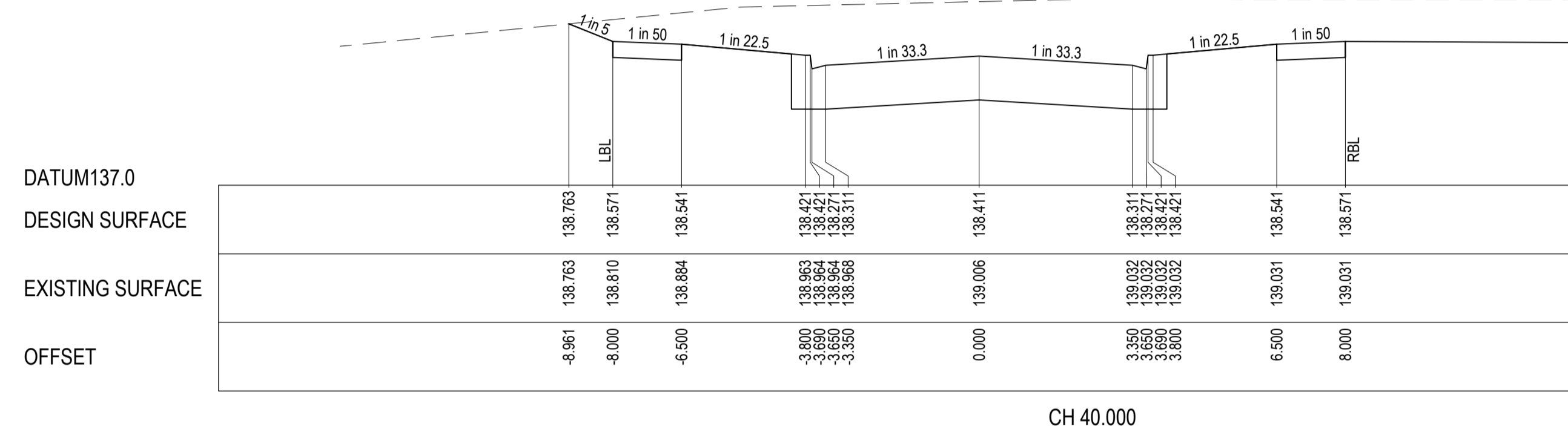
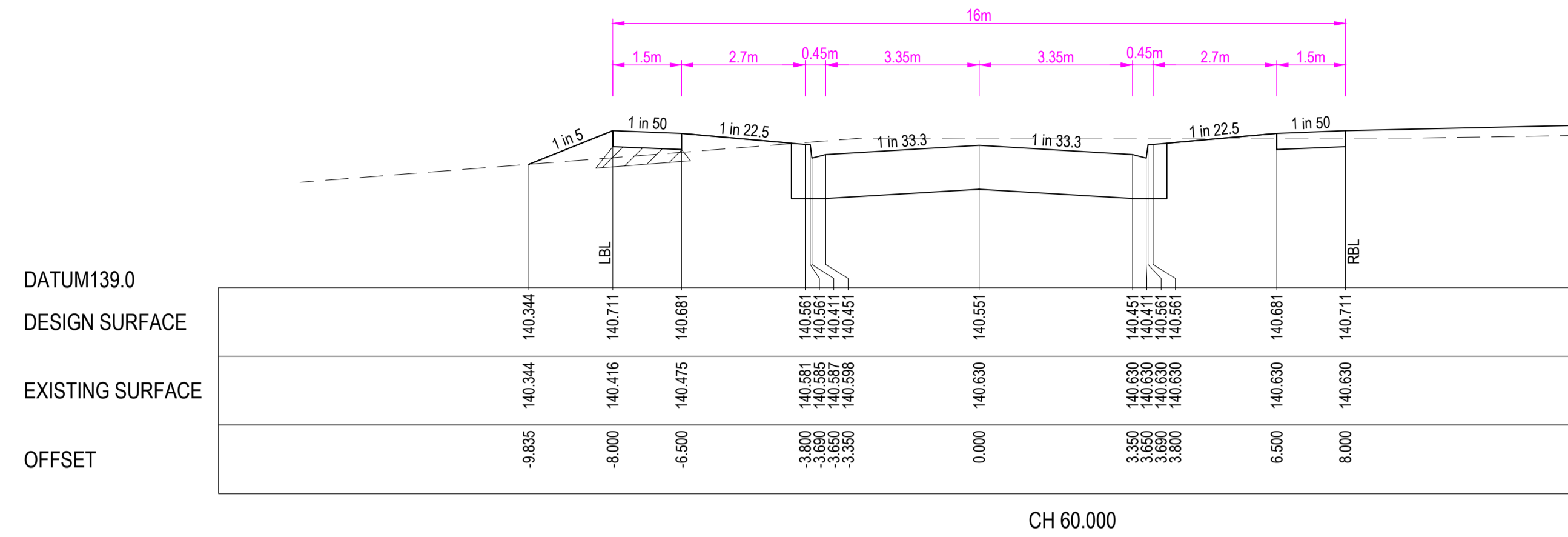
For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL



LEGEND	
	EXISTING SURFACE
	DESIGN LINE
	SELECT FILL

NOTE:
"SELECT FILL" EXTENDING 200mm BELOW NATURAL SURFACE REQUIRED UNDER ALL PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. SELECT FILL TO MEET CITY OF GREATER GEELONG REQUIREMENTS.



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.

CLIENT



Communities Designed for Living

PROJECT



Level 7, 176 Wellington Parade
East Melbourne, VIC, Australia 3002

DRAWING TITLE

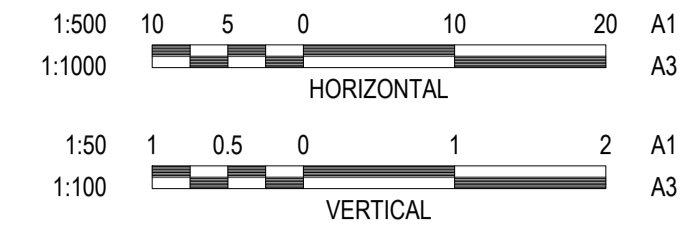


WANDANA ESTATE - STAGE 5
ROAD CROSS SECTIONS - 6
PARER WAY

STATUS

ISSUED FOR CONSTRUCTION

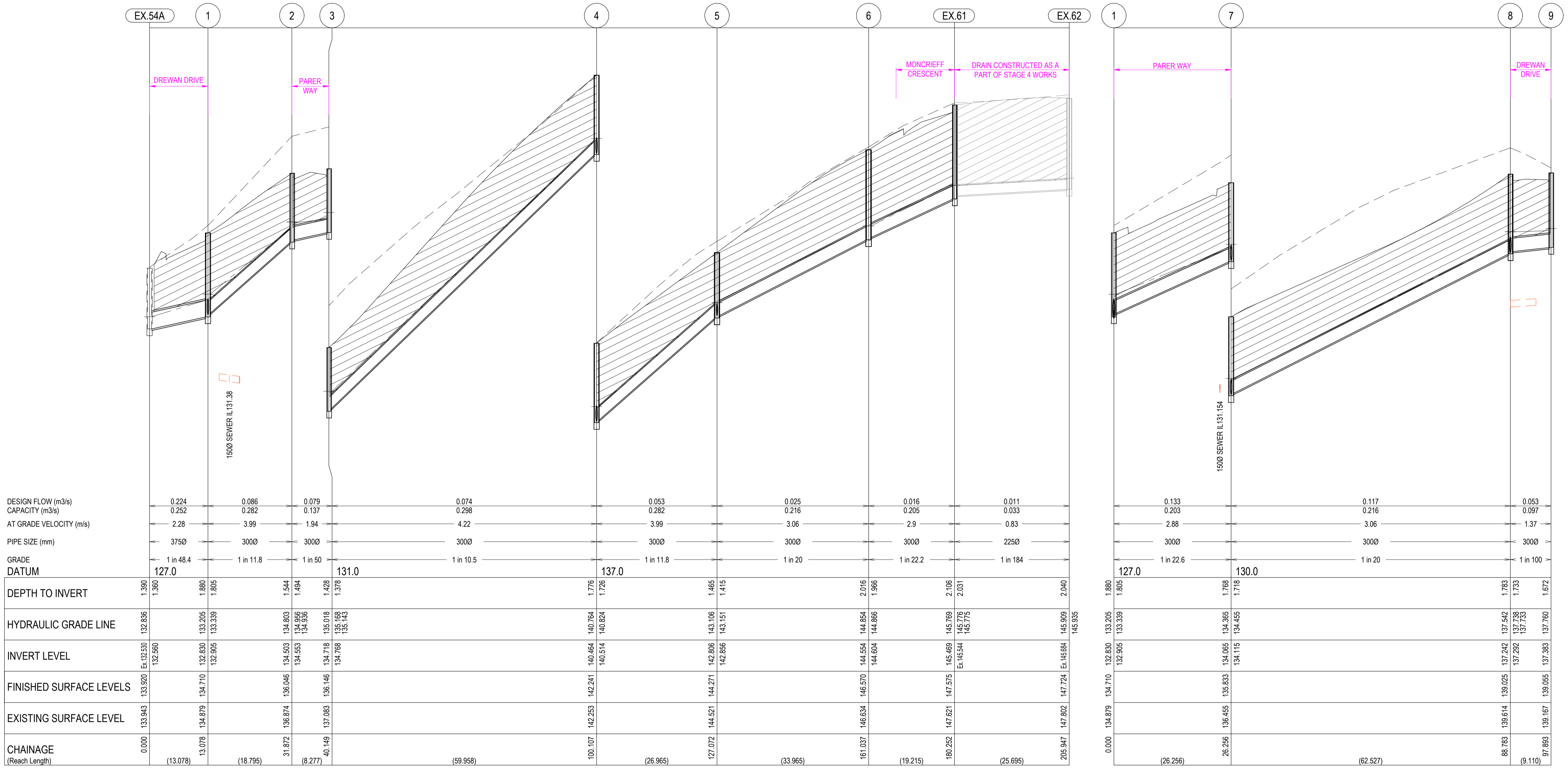
SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R504	0



LEGEND

- EXISTING SURFACE
- DESIGN SURFACE
- DRAINAGE PIPE/PIT
- EXISTING DRAINAGE PIPE/PIT
- HYDRAULIC GRADE LINE
- CRUSHED ROCK BACKFILL

NOTE: ALL DRAINAGE PIPES ARE CLASS 2 TYPE UNLESS OTHERWISE SHOWN



- NOTES**
- PIPE TRENCHES WITHIN THE ROAD RESERVE MUST BE BACKFILLED WITH 20mm NOM. SIZE CLASS 3 CRUSHED ROCK TO BE COMPACTED TO A DRY DENSITY NOT LESS THAN 98% MODIFIED RELATIVE COMPACTION IN 150mm THICK LAYER FOR THE FOLLOWING:
 - BENEATH DRIVEWAY CROSSOVERS TO THE UNDERSIDE OF THE PAVEMENT OR CROSSOVER.
 - ADJACENT TO KERBING OR CONCRETE WORKS TO A LEVEL THAT IS NOT AFFECTED BY A 45 DEGREE ANGLE OF REPOSE FROM NEAR THE LOWER EDGE.
 - ALL PIPES UNDER ROADS SHALL BE BACKFILLED WITH 2% STABILISED SAND TO SPRINGLINE, ABOVE THIS POINT, PROVIDE 20mm NOMINAL SIZE CLASS 3 FINE CRUSHED ROCK (WETMIX) COMPACTED TO 98% MODIFIED COMPACTION IN 150mm MAXIMUM LAYER.
 - ALL DRAINAGE PIPES TO BE SPIGOT-SOCKET RUBBER RING JOINTED (RRJ).
 - ALL DRAINAGE PIPES SHALL BE CLASS 2 RCP, UNLESS OTHERWISE NOTED.
 - WHERE PITS DROP LESS THAN 50mm, THE PIT FLOOR MUST BE SHAPED TO MATCH THE LOWER HALF OF THE PIPE.
 - ALL SPALLED SECTIONS OF PIPE ARE TO BE BACKFILLED WITH 2% STABILIZED SAND, 300mm ABOVE TOP OF PIPE.
 - PIPES CONSTRUCTED WITHIN THE TRANSMISSION EASEMENT TO BE STORMPRO OR EQUIVALENT.

REINFORCED CONCRETE PIPES

ALL STORMWATER DRAINAGE PIPES SHALL NOT BE SUBJECTED TO CONSTRUCTION TRAFFIC LOADING DURING CONSTRUCTION UNLESS THE PIPE STRENGTH CHARACTERISTICS HAVE BEEN COMPUTED AND APPROVED BY THE CONTRACTORS ENGINEER. COMPUTATIONS ARE TO ACCORD WITH AS.3725-1989, LOADS ON BURIED PIPES. CONCRETE PIPES DAMAGED DUE TO CONSTRUCTION LOADS SHALL BE REPAIRED AT THE CONTRACTORS COST.

GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME

Endorsed Plan referred to in Permit No: 392-2015
 Sheet 15 of 19 Approved Civil Plans
 Cert 13781

Signed: [Signature] Date: 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.

villawood
properties

Communities Designed for Living

creo
CONSULTANTS

Level 7, 176 Wellington Parade
 East Melbourne, VIC, Australia 3002

WANDANA
Wandana Heights

DRAWING TITLE
WANDANA ESTATE - STAGE 5
DRAINAGE LONG SECTIONS - 1

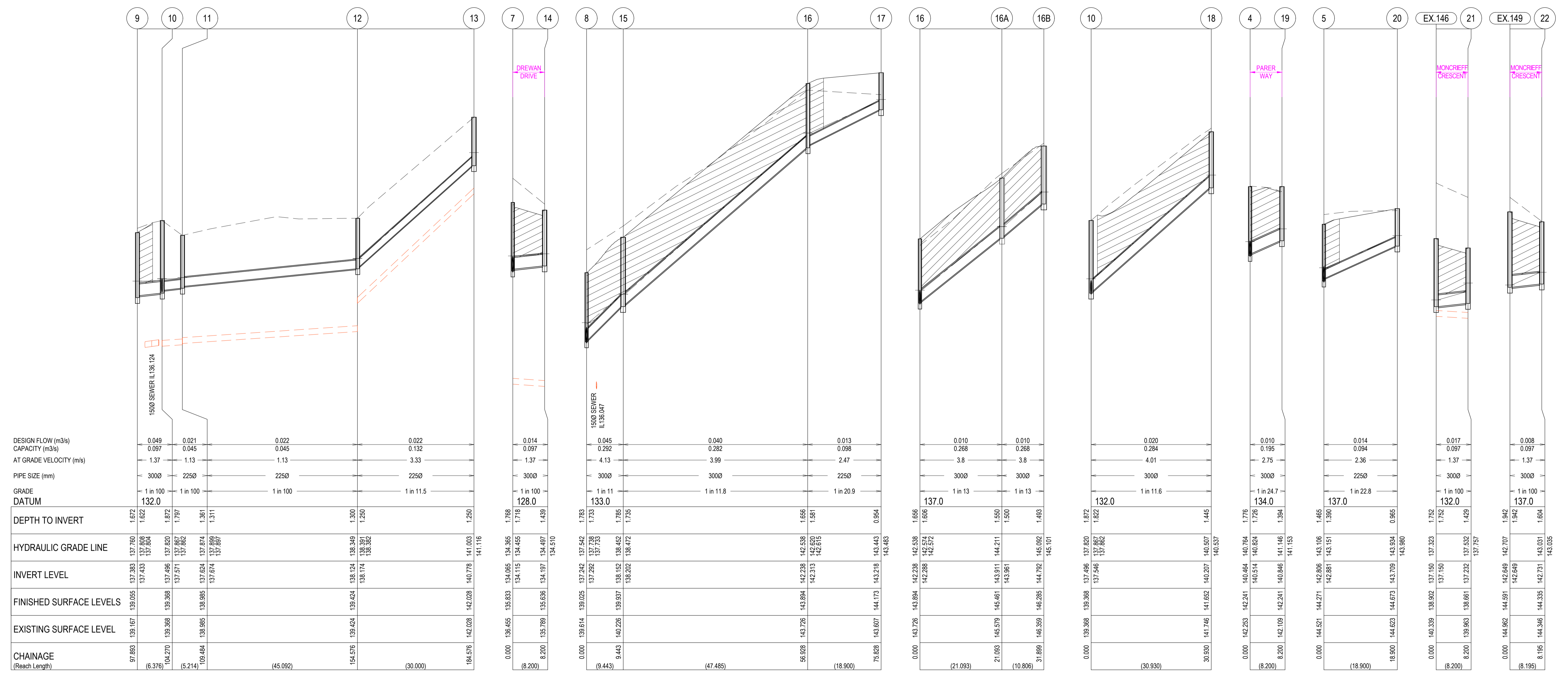
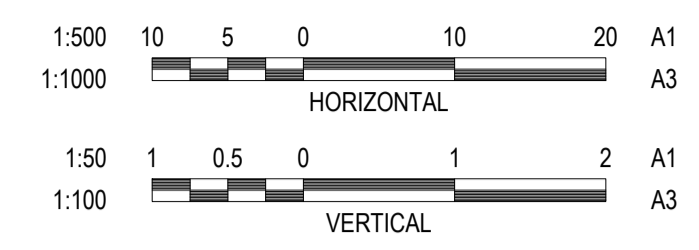
STATUS
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R600	0

LEGEND

- EXISTING SURFACE
- DESIGN SURFACE
- DRAINAGE PIPE/PIT
- EXISTING DRAINAGE PIPE/PIT
- HYDRAULIC GRADE LINE
- CRUSHED ROCK BACKFILL

NOTE: ALL DRAINAGE PIPES ARE CLASS 2 TYPE UNLESS OTHERWISE SHOWN



- NOTES**
- PIPE TRENCHES WITHIN THE ROAD RESERVE MUST BE BACKFILLED WITH 20mm NOM. SIZE CLASS 3 CRUSHED ROCK TO BE COMPACTED TO A DRY DENSITY NOT LESS THAN 98% MODIFIED RELATIVE COMPACTION IN 150mm THICK LAYER FOR THE FOLLOWING:
 - BENEATH DRIVEWAY CROSSOVERS TO THE UNDERSIDE OF THE PAVEMENT OR CROSSOVER.
 - ADJACENT TO KERBING OR CONCRETE WORKS TO A LEVEL THAT IS NOT AFFECTED BY A 45 DEGREE ANGLE OF REPOSE FROM NEAR THE LOWER EDGE.
 - ALL PIPES UNDER ROADS SHALL BE BACKFILLED WITH 2% STABILISED SAND TO SPRINGLINE. ABOVE THIS POINT, PROVIDE 20mm NOMINAL SIZE CLASS 3 FINE CRUSHED ROCK (WETMIX) COMPACTED TO 98% MODIFIED COMPACTION IN 150mm MAXIMUM LAYER.
 - ALL DRAINAGE PIPES TO BE SPIGOT-SOCKET RUBBER RING JOINTED (RRJ).
 - ALL DRAINAGE PIPES SHALL BE CLASS 2 RCP, UNLESS OTHERWISE NOTED.
 - WHERE PITS DROP LESS THAN 50mm, THE PIT FLOOR MUST BE SHAPED TO MATCH THE LOWER HALF OF THE PIPE.
 - ALL SPLAYED SECTIONS OF PIPE ARE TO BE BACKFILLED WITH 2% STABILIZED SAND, 300mm ABOVE TOP OF PIPE.

REINFORCED CONCRETE PIPES

ALL STORMWATER DRAINAGE PIPES SHALL NOT BE SUBJECTED TO CONSTRUCTION TRAFFIC LOADING DURING CONSTRUCTION UNLESS THE PIPE STRENGTH CHARACTERISTICS HAVE BEEN COMPUTED AND APPROVED BY THE CONTRACTORS ENGINEER. COMPUTATIONS ARE TO ACCORD WITH AS.3725-1989, LOADS ON BURIED PIPES. CONCRETE PIPES DAMAGED DUE TO CONSTRUCTION LOADS SHALL BE REPAIRED AT THE CONTRACTORS COST.

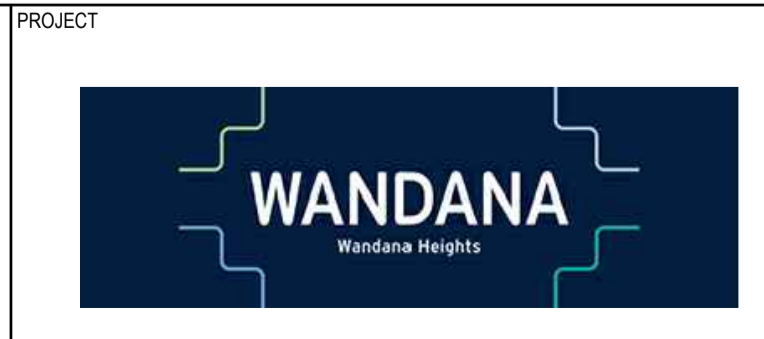
GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME

Endorsed Plan referred to in Permit No: 292-2015
 Sheet 16 of 19 Approved Civil Plans
 Cert 13781

Signed: [Signature] Date: 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
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A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.



DRAWING TITLE
 WANDANA ESTATE - STAGE 5
 DRAINAGE LONG SECTIONS - 2

STATUS
 ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R601	0

PIT SCHEDULE											
NAME	PIT TYPE	INTERNAL		INLET		OUTLET		PIT		STD DWG	REMARKS
		WD	LEN	DIA	INV LEV	DIA	INV LEV	SETOUT RL	DEPTH		
Ex.54A	EX JUNCTION PIT	Ex.900	Ex.900	375	132.560	Ex.450	Ex.130.076	Ex.134.122	Ex.4.046	-	CONNECT TO EXISTING PIT
1	SIDE ENTRY PIT	900	900	300	132.905	375	132.830	134.710	1.880	IDM SD430 & IDM SD410	PIT TO BE HAUNCHED TO 600 x 900 COVER IN ACCORDANCE WITH IDM SD410
2	DOUBLE SIDE ENTRY PIT	600	1900	300	134.553	300	134.503	136.046	1.544	IDM SD430	
3	DOUBLE SIDE ENTRY PIT	600	1900	300	134.768	300	134.718	136.146	1.428	IDM SD430	
4	SIDE ENTRY PIT	600	900	300	140.514	300	140.464	142.241	1.776	IDM SD430	
5	SIDE ENTRY PIT	600	900	300	142.856	300	142.806	144.271	1.465	IDM SD430	
6	SIDE ENTRY PIT	900	900	300	144.604	300	144.554	146.570	2.016	IDM SD430 & IDM SD410	PIT TO BE HAUNCHED TO 600 x 900 COVER IN ACCORDANCE WITH IDM SD410
Ex.61	EX JUNCTION PIT	Ex.600	Ex.900	Ex.225	Ex.145.544	300	145.469	147.575	2.106	-	CONNECT TO EXISTING PIT
7	SIDE ENTRY PIT	600	900	300	134.115	300	134.065	135.833	1.768	IDM SD430	
8	SIDE ENTRY PIT	600	900	300	137.292	300	137.242	139.025	1.783	IDM SD430	
9	SIDE ENTRY PIT	600	900	300	137.433	300	137.383	139.055	1.672	IDM SD430	
10	JUNCTION PIT	900	900	225	137.571	300	137.496	139.368	1.872	IDM SD420 & IDM SD410	PIT TO BE HAUNCHED TO 600 x 900 COVER IN ACCORDANCE WITH IDM SD410
11	JUNCTION PIT	600	900	225	137.674	225	137.624	138.985	1.361	IDM SD425	
12	JUNCTION PIT	600	900	225	138.174	225	138.124	139.424	1.300	IDM SD425	
13	JUNCTION PIT	600	900			225	140.778	142.028	1.250	IDM SD425	
14	SIDE ENTRY PIT	600	900			300	134.197	135.636	1.439	IDM SD430	
15	SIDE ENTRY PIT	600	900	300	138.202	300	138.152	139.937	1.785	IDM SD430	
16	SIDE ENTRY PIT	600	900	225	142.313	300	142.238	143.894	1.656	IDM SD430	
16A	JUNCTION PIT	600	900			300	144.792	146.285	1.493	IDM SD420	
16B	SIDE ENTRY PIT	600	900	300	143.961	300	143.911	145.461	1.550	IDM SD430	
17	JUNCTION PIT	600	900			225	143.218	144.173	0.954	IDM SD425	
18	SIDE ENTRY PIT	600	900			300	140.207	141.652	1.445	IDM SD430	
19	SIDE ENTRY PIT	600	900			300	140.846	142.241	1.394	IDM SD430	
20	JUNCTION PIT	600	900			225	143.709	144.673	0.965	IDM SD425	
Ex.146	EX JUNCTION PIT	Ex.900	Ex.900	300	137.15	Ex.300	Ex.136.000	138.902	1.752	-	CONNECT TO EXISTING PIT
				Ex.300	Ex.137.550						
				Ex.300	Ex.137.447						
21	SIDE ENTRY PIT	600	900			300	137.232	138.661	1.429	IDM SD430	
Ex.149	EX SIDE ENTRY PIT	Ex.900	Ex.900	300	142.649	Ex.300	Ex.142.619	144.591	1.942	-	CONNECT TO EXISTING PIT
				Ex.225	Ex.142.934						
22	SIDE ENTRY PIT	600	900			300	142.731	144.335	1.604	IDM SD430	

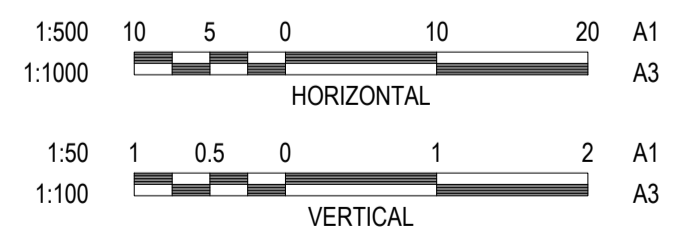
NOTE:
PIT COVERS ARE TO BE PROVIDED IN ACCORDANCE WITH CITY OF GREATER GEELONG DESIGN NOTE 13. ALL PITS WITHIN ROAD RESERVE ARE TO BE CLASS C FIBREGLASS REINFORCED PLASTIC (FRP) UNLESS AGREED OTHERWISE.

GREATER GEELONG CITY COUNCIL
PLANNING & ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan referred to in Permit No: 392-2015
Sheet 17 of 19 Approved Civil Plans
Cert 13751

Signed  Date 21/02/2019
For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.

CLIENT



Communities Designed for Living

PROJECT



Level 7, 176 Wellington Parade
East Melbourne, VIC, Australia 3002

DRAWING TITLE



WANDANA
Wandana Heights

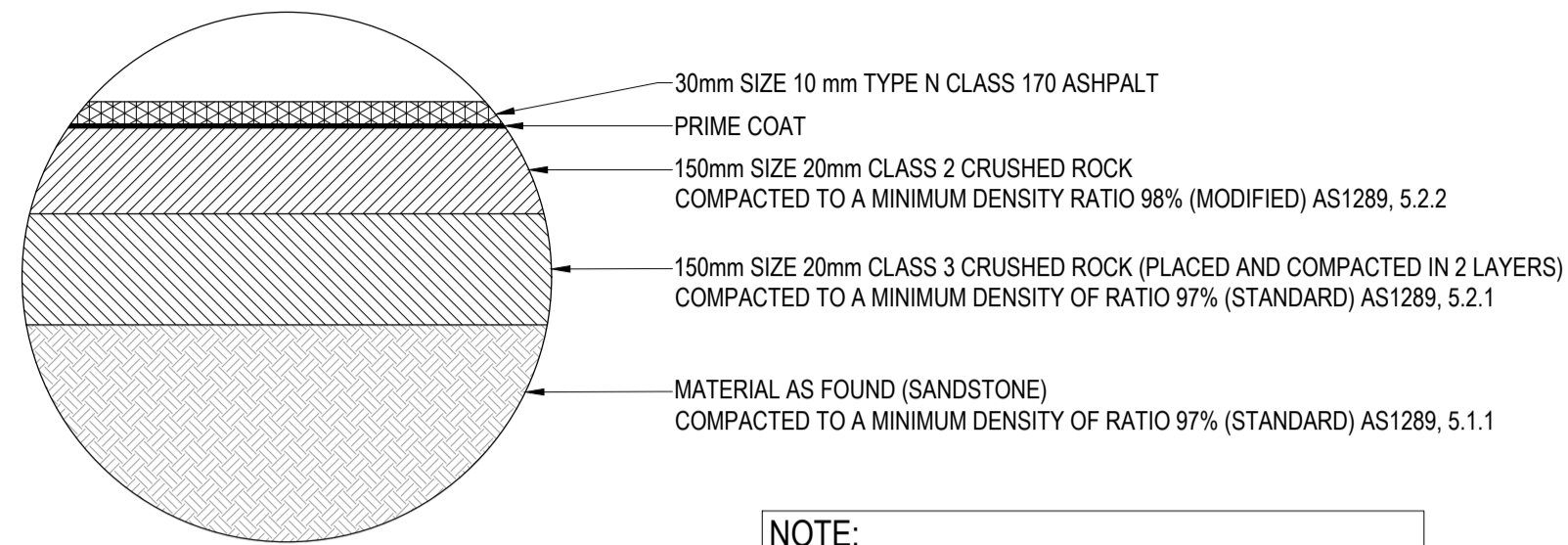
DRAWING TITLE

**WANDANA ESTATE - STAGE 5
DRAINAGE PIT SCHEDULE**

STATUS

**ISSUED FOR
CONSTRUCTION**

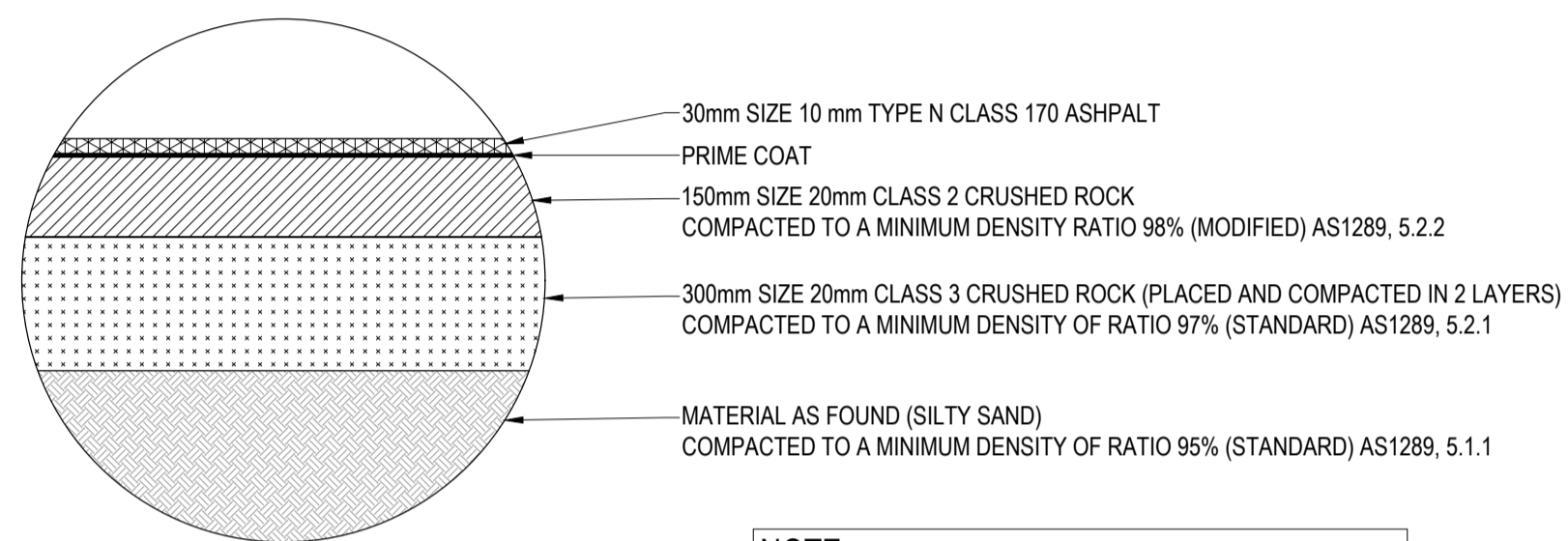
SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R602	0



PAVEMENT COMPOSITION FOUNDED ON SANDSTONE
DREWAN DRIVE, MONCRIEFF CRESCENT & PARER WAY
330mm DEPTH
NTS

NOTE:
NEW FLEXIBLE PAVEMENT MAKEUP FOR ROADS FOUNDED ON HIGHLY/SIGHTLY WEATHERED SANDSTONE

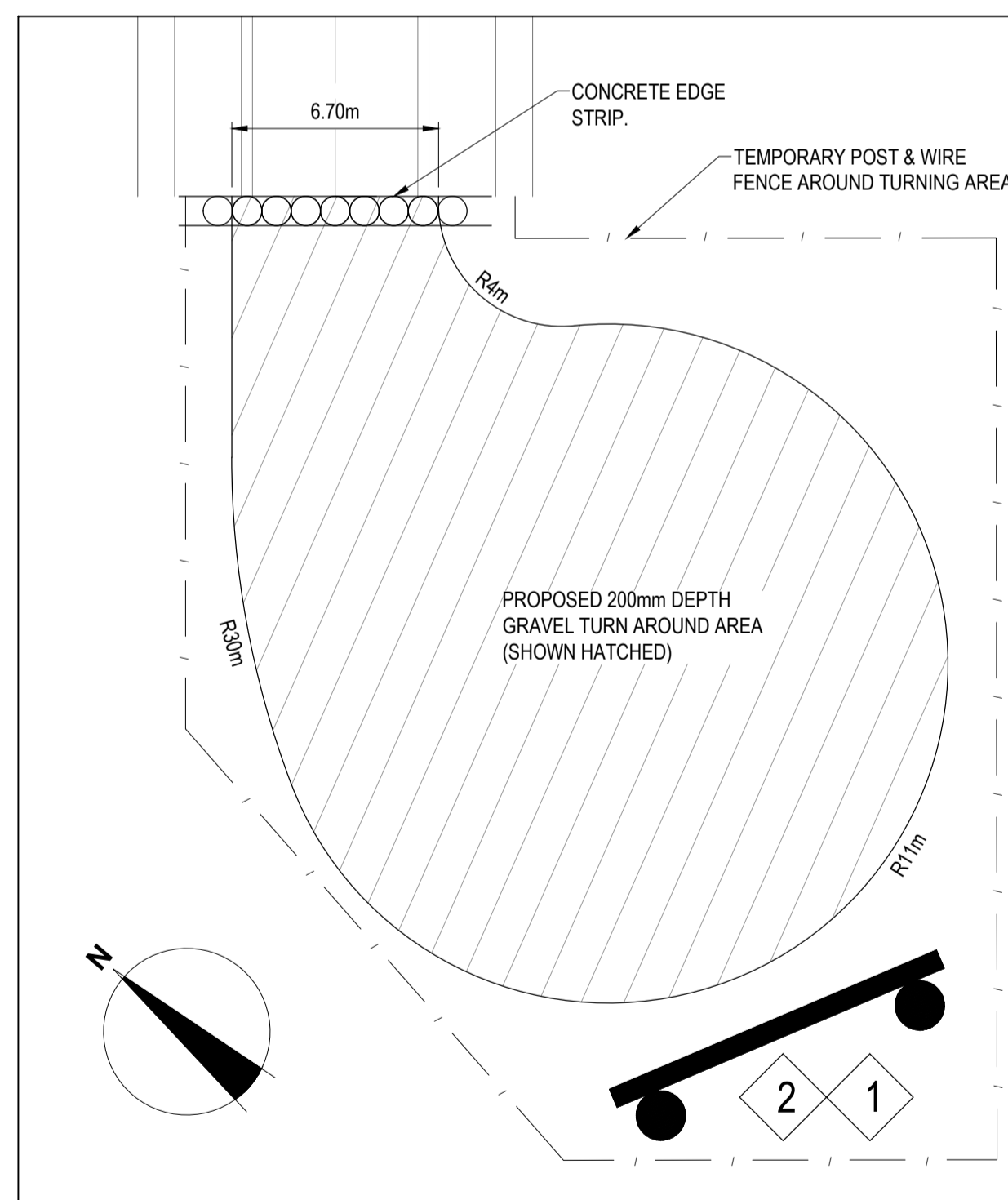
NOTE:
ADDITIONAL ON SITE GEOTECHNICAL TESTING FOR SWELL IS REQUIRED TO BE CONDUCTED PRIOR TO CONSTRUCTION OF PAVEMENT SUBGRADE. THE DESIGN ENGINEER IS TO BE NOTIFIED IF SWELL IS FOUND TO BE GREATER THAN 2.5%.



PAVEMENT COMPOSITION FOUNDED ON SILTY CLAY
DREWAN DRIVE, MONCRIEFF CRESCENT & PARER WAY
480mm DEPTH
NTS

NOTE:
NEW FLEXIBLE PAVEMENT MAKEUP FOR ROADS FOUNDED ON SILTY CLAY OR EXTREMELY WEATHERED SANDSTONE

NOTE:
ADDITIONAL ON SITE GEOTECHNICAL TESTING FOR SWELL IS REQUIRED TO BE CONDUCTED PRIOR TO CONSTRUCTION OF PAVEMENT SUBGRADE. THE DESIGN ENGINEER IS TO BE NOTIFIED IF SWELL IS FOUND TO BE GREATER THAN 2.5%.

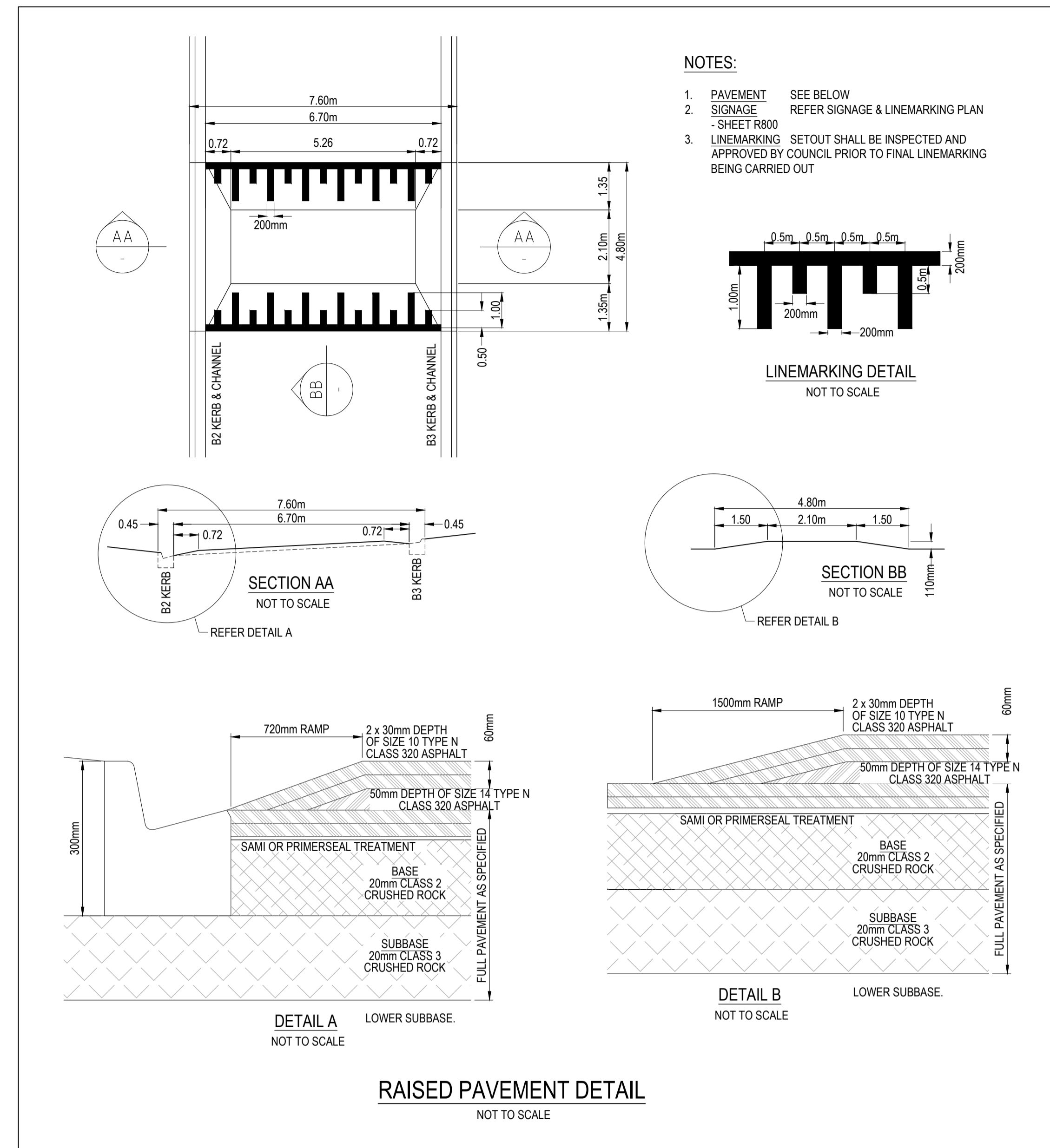


SIGN SCHEDULE

SIGN	REF
D4-5	
T2-4A	

NOTE:
PRIOR TO FIXING TEMPORARY TURNING AND TIMBER BOLLARDS THE SIZE AND DIMENSION TO BE CONFIRMED ON SITE TO THE SATISFACTION OF COUNCIL.

TYPICAL TEMPORARY TURN AREA DETAIL
NTS



NOTES:

1. PAVEMENT SEE BELOW
2. SIGNAGE REFER SIGNAGE & LINEMARKING PLAN - SHEET R800
3. LINEMARKING SETOUT SHALL BE INSPECTED AND APPROVED BY COUNCIL PRIOR TO FINAL LINEMARKING BEING CARRIED OUT

LINEMARKING DETAIL
NOT TO SCALE

SECTION AA
NOT TO SCALE

SECTION BB
NOT TO SCALE

DETAIL A
NOT TO SCALE

DETAIL B
NOT TO SCALE

RAISED PAVEMENT DETAIL
NOT TO SCALE

GREATER GEELONG CITY COUNCIL
PLANNING & ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan referred to in Permit No: 382-2015
Sheet 18 of 19 Approved Civil Plans
Cert 137631

Signed Date 21/02/2019
For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL

1:500 10 5 0 10 20 A1
1:1000 A3

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
0	21/02/19	CONSTRUCTION ISSUE	M.T.	M.T.	T.P.
B	06/02/19	COUNCIL COMMENTS DATED 1/2/19	M.T.	M.T.	T.P.
A	19/11/18	ISSUED FOR APPROVAL	S.D.	M.T.	T.P.

villawood
properties
Communities Designed for Living

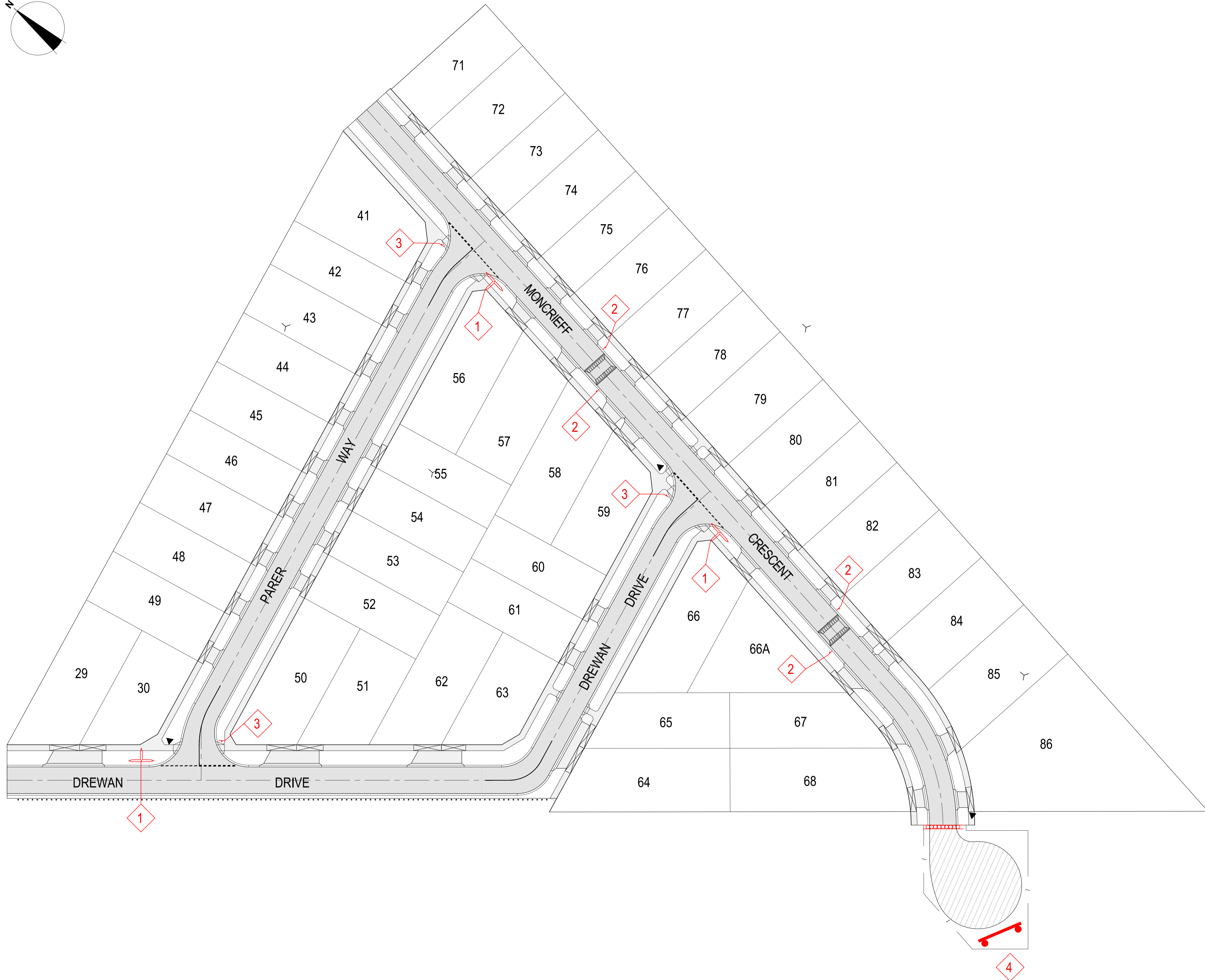
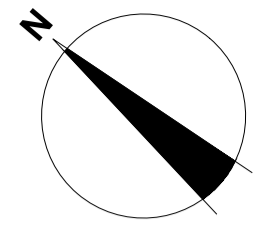
creo
CONSULTANTS
Level 7, 176 Wellington Parade
East Melbourne, VIC, Australia 3002

WANDANA
Wandana Heights

DRAWING TITLE
WANDANA ESTATE - STAGE 5
TYPICAL DETAILS

STATUS
ISSUED FOR
CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R700	0



SIGN SCHEDULE

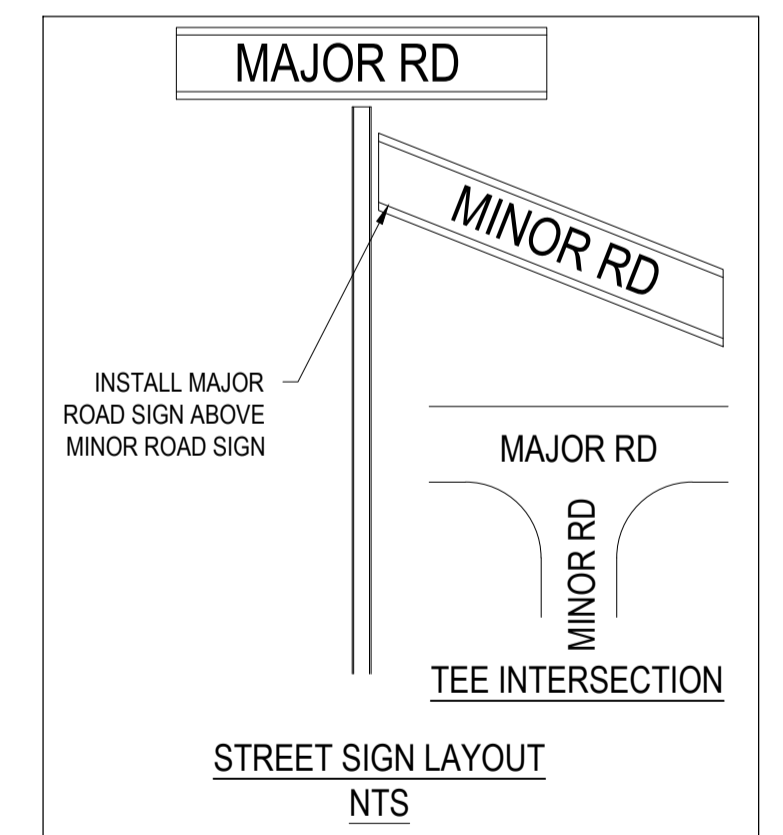
SIGN	REF	QUANTITY
	1	REFER TABLE
STREET SIGN		
	2	4No.
	3	3No.
	4	1No.

STREET SIGN SCHEDULE

DREWAN DR	2No.
MONCRIEFF CR	2No.
PARER WAY	2No.

LINEMARKING & SIGNAGE NOTES:

1. ALL LINE MARKING AND SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH AS 1742.1 AND AS 1742.2, UNLESS SPECIFICALLY SHOWN OTHERWISE.
2. LINEMARKING IS TO BE INSTALLED USING EXTRUDED LONG LIFE THERMOPLASTIC PAINT. TEMPORARY LINEMARKING USING ORDINARY PAINT IS TO BE APPLIED WHEN WEARING COURSE ASPHALT IS NOT APPLIED FOR A PERIOD OF TIME E.G. AT PRACTICAL COMPLETION.
3. ALL TEMPORARY WARNING SIGNS USED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH AS 1742-3.
4. LINEMARKING SET OUT SHALL BE INSPECTED AND APPROVED BY COUNCIL BEFORE FINAL LINEMARKING IS CARRIED OUT.

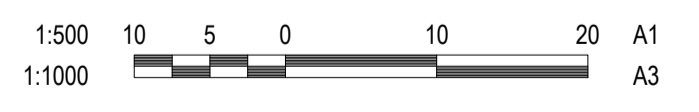


GREATER GEELONG CITY COUNCIL
 PLANNING & ENVIRONMENT ACT 1987
 GREATER GEELONG PLANNING SCHEME

Endorsed Plan referred to in Permit No: 392-2015
 Sheet 19 of 19 Approved Civil Plans
 Cert 13781

Signed Date 21/02/2019
 For and on behalf of the Greater Geelong City Council as the Responsible Authority

NOTE: THIS IS NOT A BUILDING APPROVAL



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villawood properties
 Communities Designed for Living

creo CONSULTANTS
 Level 7, 176 Wellington Parade
 East Melbourne, VIC, Australia 3002

WANDANA
 Wandana Heights

DRAWING TITLE
WANDANA ESTATE - STAGE 5 SIGNAGE & LINEMARKING

STATUS
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	S. DAVIES	M. TROUNCE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
A. WALE	T. PALIOS	NOVEMBER 2018
PROJECT No.	DRAWING No.	REVISION
180363.5	R800	0