



Department of Transport and Planning

Electronic Instrument Statement

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Status	Registered	Dealing Number	AA011545
Date and Time Lodged	14/05/2026 01:36:46 PM		

Lodger Details

Lodger Code	17512A
Name	ROBERTSON HYETTS
Address	
Lodger Box	
Phone	
Email	
Reference	2600541 Stage 14B Tr

APPLICATION TO REQUEST ACTION BY THE REGISTRAR

Jurisdiction	VICTORIA
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Estate and/or Interest

Land Title Reference

Instrument and/or legislation

ACTION - RETAIN MCP
Transfer of Land Act - section 91A

Applicant(s)

Name	MT RIDLEY PROJECTS PTY LTD
Address	
Floor Type	LEVEL
Floor Number	4
Street Number	6
Street Name	RIVERSIDE
Street Type	QUAY
Locality	SOUTHBANK
State	VIC
Postcode	3006

Additional Details



Department of Transport and Planning

Electronic Instrument Statement

Refer Image Instrument

The applicant requests the action by the Registrar.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	MT RIDLEY PROJECTS PTY LTD
Signer Name	JANELLE BROWN
Signer Organisation	FIFTY-FIRST R H NOMINEES PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	14 MAY 2026

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

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Memorandum of common provisions
Restrictive covenants in a plan

Section 91A Transfer of Land Act 1958

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Lodged by	
Name:	Robertson Hyetts
Phone:	0354346666
Address:	386 Hargreaves Street, Bendigo VIC 3550
Reference:	2600541
Customer code:	17512A

This memorandum contains provisions which are intended for inclusion in plans under the Subdivision Act 1988 to be subsequently lodged for registration.

Operative words including words to bind the burdened land and words of annexation must not be included.

Provisions to apply to the plan:

Burdened land: As set out in the plan.

Benefited land: As set out in the plan.

Covenants:

35402012

V3

1. The provisions are to be numbered consecutively from number 1.
2. Further pages may be added but each page should be consecutively numbered.
3. To be used for the inclusion of provisions in instruments and plans.

91ATLA

Page 1 of 7

THE BACK OF THIS FORM MUST NOT BE USED

Land Use Victoria contact details: see www.delwp.vic.gov.au/property>Contact us

Memorandum of common provisions

Section 91A Transfer of Land Act 1958

Preliminary

All Provisions not addressed in this Memorandum of Common Provisions (MCP) are as required in the current Building Regulations.

Lot easements are not shown on the diagram in the MCP, refer to relevant Plan of Subdivision.

Building Envelopes

Any building must be sited within the Building Envelopes defined in section 2.4 Diagrams showing Building Envelopes and accord with the associated setback profiles and written notes contained therein, unless the written consent of the Responsible Authority and the Design Assessment Panel is obtained.

1. Text of restrictions

The matters which are restricted by the building envelopes are:

1.1 General Notations

The front and side setbacks are measured to the outermost walls of the buildings.

Garages must be setback a minimum of 5.0m from the front street boundary unless otherwise noted.

Walls less than 1.0m from the boundary must be within 150mm of the boundary.

The setback to the side street boundary for a corner lot is 2m unless noted otherwise.

Where the minimum front setback is 3.0m or more, Porches, balconies, eaves, gutters, verandahs, and architectural features can encroach into the front setback by up to 1.5m at heights of up to 4.5m for a single storey home and heights of up to 9m for a two-storey home.

Where the minimum front setback is less than 3.0m, Porches, balconies, eaves, gutters, verandahs, and architectural features can encroach into the front setback by up to 1.0m at heights of up to 4.5m for a single storey home and heights of up to 9m for a two-storey home.

1.2 Additional Notations for Lots Marked with ★

With the exception of garages with access from a laneway, garages must be located or setback behind the front façade of the home.

Garages may be setback either 5.0m or more or 3.9m or less behind the front street boundary.

Garages setback between 5.0m and 3.9m behind the front street boundary are not permitted.

Minimum open space required is 25 square metres with a 3 metre minimum width.

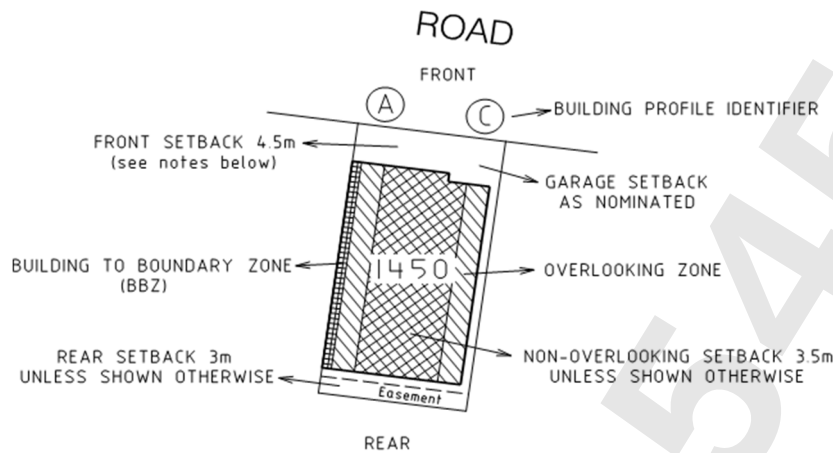
Maximum building site coverage of 70% is permitted.

Memorandum of common provisions
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2. Building Envelope Diagrams

2.1 Interpretation of Building Envelope.

Diagram illustrating the interpretation of the building envelope.



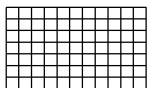
- Refer to Profiles for details of overlooking zones.

2.2 Explanation of symbols and terms in profile diagrams.

The following symbols have been used in the templates:

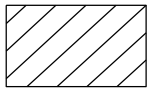
Refer "Diagrams and Plans" in this document for further definitions.

Single Storey Building Envelope hatch types

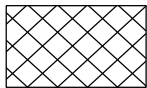


Building to Boundary Zone

Double Storey Building Envelope hatch types



Overlooking Zone - Habitable room windows or raised open spaces are a source of overlooking.



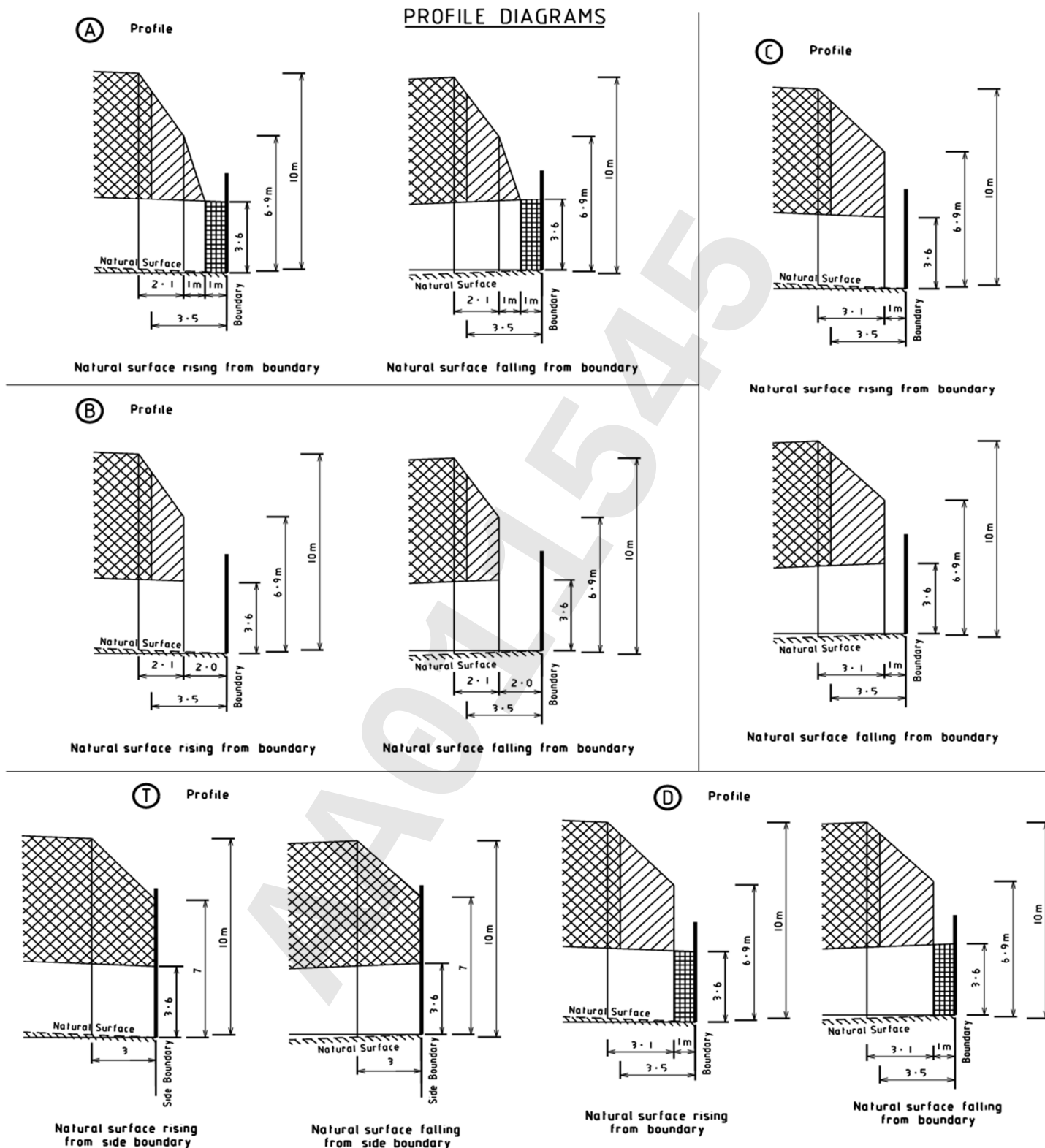
Non Overlooking Zone - Habitable room windows or raised open spaces are not a source of overlooking

The registered proprietor or proprietors of the lot are required to build in accordance with the approved building envelopes shown hereon and in the "Profile Diagrams" in this document.

Memorandum of common provisions

Section 91A Transfer of Land Act 1958

2.3 Profiles referenced in building envelope diagrams



Memorandum of common provisions

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2.4 Diagrams showing Building Envelopes

Notations

- The building envelopes below are shown enclosed by continuous thick lines.
- Building Envelopes shown below are not necessarily drawn to scale. Refer to plan of subdivision for title dimensions.
- Where a profile when applied covers an easement, the portion of the profile within the easement cannot be considered for approval / built upon. This may vary only in the circumstances where building on the easement receives prior written consent by the Hume City Council.
- Easements are not shown on this diagram, refer to Plan of Subdivision for easement locations.

Diagrams – See over page

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Diagram



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Section 91A Transfer of Land Act 1958

Expiry: 31 December 2035

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