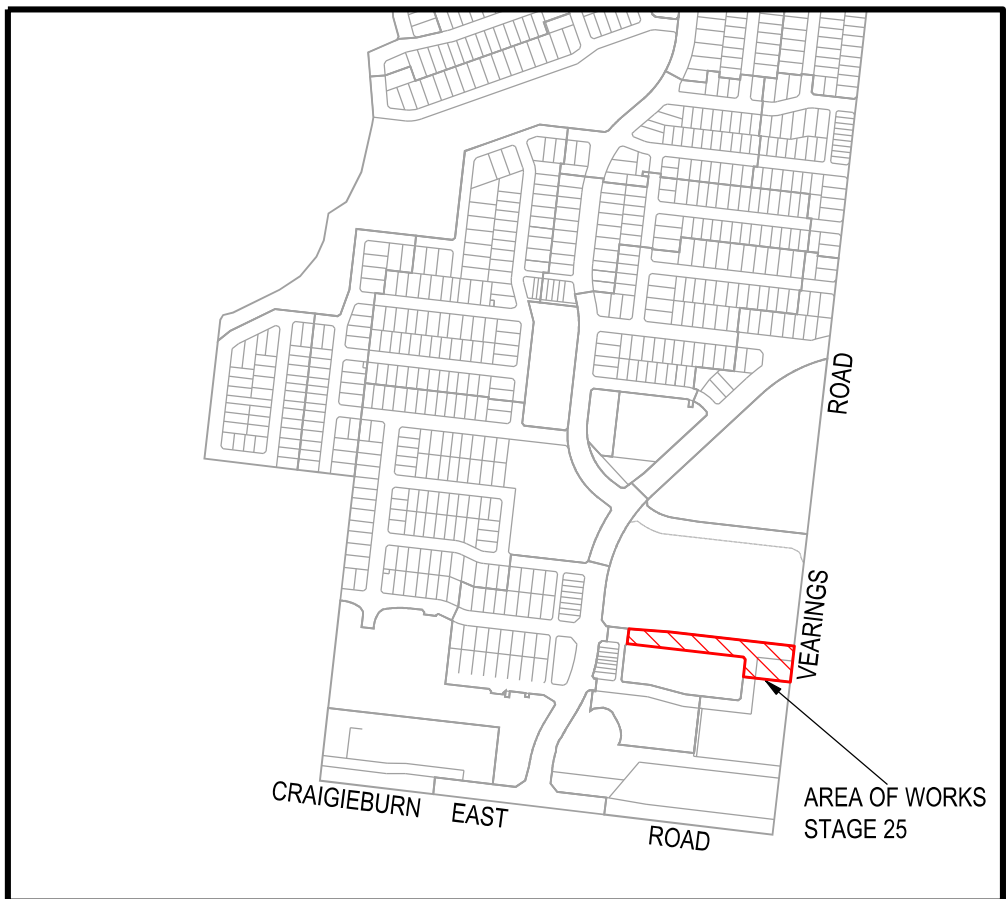
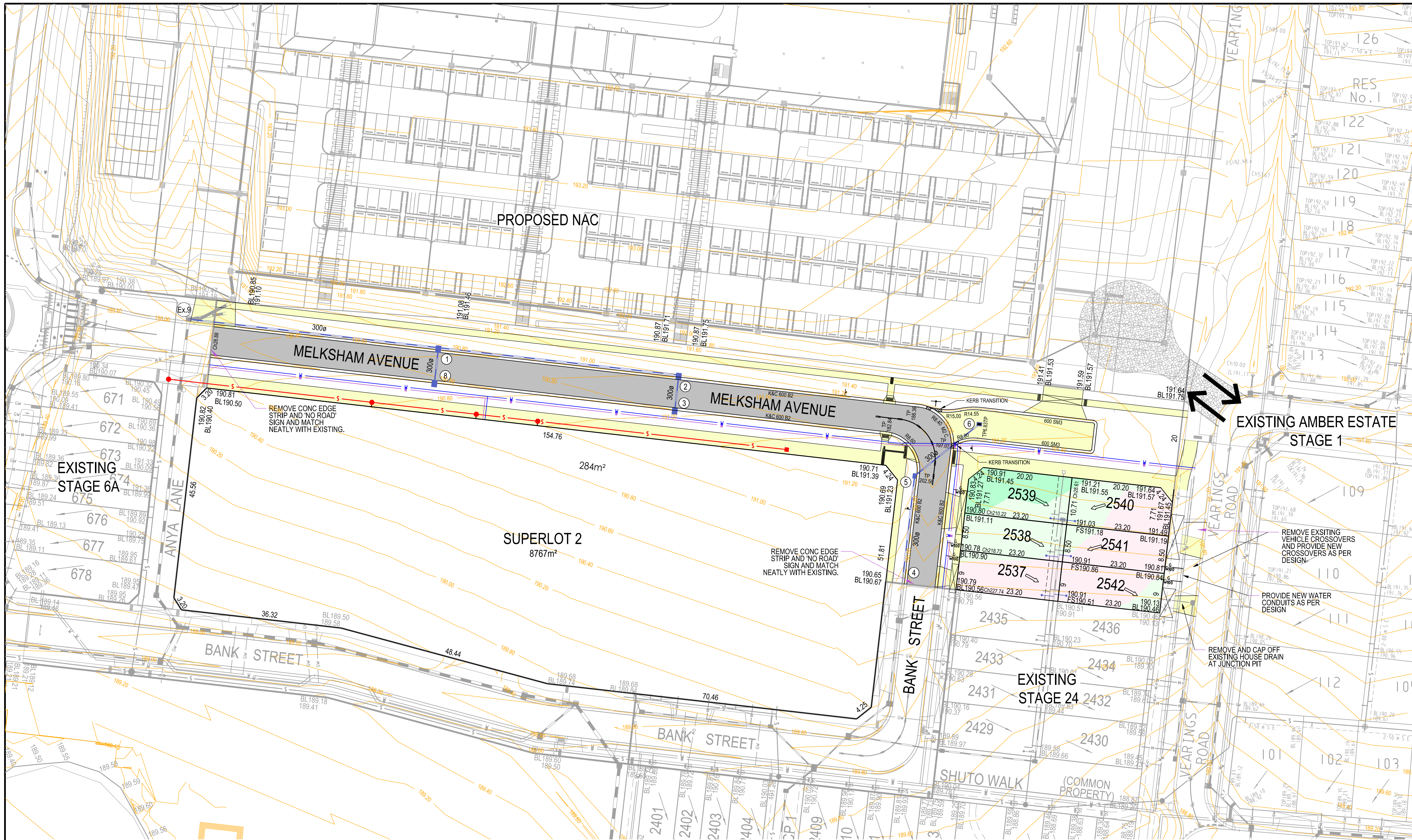
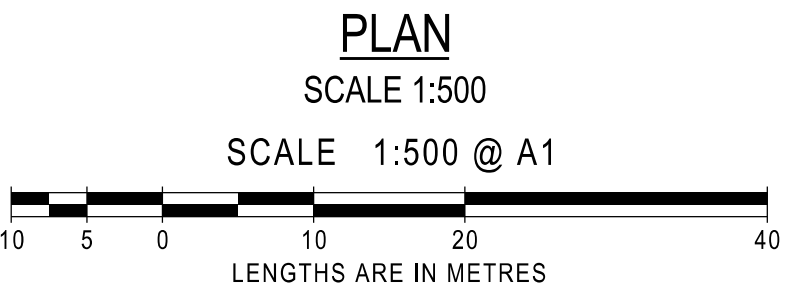




LOCALITY PLAN  
SCALE 1:20000

| SHEET INDEX |     |                                                              |
|-------------|-----|--------------------------------------------------------------|
| SHT No.     | VER | DESCRIPTION                                                  |
| 1           | C   | DETAIL PLAN, LOCALITY PLAN, SERVICES SCHEDULE & SHEET INDEX  |
| 2           | A   | GENERAL NOTES & TYPICAL ROAD CROSS SECTIONS                  |
| 3           | B   | INTERSECTION DETAIL                                          |
| 4           | A   | MELKSHAM AVENUE - LONGITUDINAL SECTION No.1                  |
| 5           | A   | MELKSHAM AVENUE - CROSS SECTION No.1                         |
| 6           | A   | MELKSHAM AVENUE - CROSS SECTION No.2                         |
| 7           | A   | MELKSHAM AVENUE - LONGITUDINAL SECTION No.2 & CROSS SECTIONS |
| 8           | A   | DRAINAGE LONGITUDINAL SECTION & PIT SCHEDULE                 |
| 9           | A   | SIGNAGE & LINEMARKING PLAN                                   |
| 10          | A   | PAVEMENT DETAILS                                             |
| 11          | A   | CONCRETE JOINTING PLAN                                       |



**WARNING**  
BEWARE OF UNDERGROUND SERVICES  
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

**VICTORIAN PROFESSIONAL ENGINEERS**  
REGISTRATION ACT 2019  
REGISTERED ENGINEER: ROBERT GOULD-WILLIAMS  
REGISTRATION NUMBER: PE0007500

- ATTENTION TO CONTRACTOR**
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE DIGITAL PLAN, PROVIDED FOR SETOUT PURPOSES, MATCHES THE TBM COORDINATES SHOWN.
  - Contractor to ensure that the site is pegged and or set out checked by the licenced surveyor responsible for certifying the Plan of Subdivision prior to underground infrastructure being installed.
  - Where concrete works about a sewer access chamber surround or similar structure, an expansion joint of approved material shall be provided between the two faces.

**AS CONSTRUCTED**

| SYMBOL LEGEND                                              |                  | Ex/Natural/FS Level                                 | +28.57   | +N507.57  | +FS29.57  |
|------------------------------------------------------------|------------------|-----------------------------------------------------|----------|-----------|-----------|
| Drains                                                     | Prop             | FS @ Building Line                                  | +BL28.57 | +TOP28.57 | +TOE27.57 |
| Sewer < 3000                                               | S                | Top/Toe Batter Level                                | +TW28.57 | +BL28.57  | +FS29.57  |
| Sewer ≥ 3000                                               | S                | Top/Bottom RW Level                                 | +FL28.57 | +BL28.57  | +FS29.57  |
| Water (DW)                                                 | W                | 1% AEP Flood Level                                  | +FL28.57 | +BL28.57  | +FS29.57  |
| Water (NDW)                                                | W                | Direction of Lot Fall                               |          |           |           |
| House Drain                                                | H                | Fill Proposed (<0.3m/≥0.3m)                         |          |           |           |
| Property Inlet                                             | P                | Cut Proposed                                        |          |           |           |
| Street Sign                                                | Sign             | Asphalt Surface Prop                                |          |           |           |
| PSM                                                        | PSM              | Concrete Surface Prop (Paths/Driveways/Slabs)       |          |           |           |
| Rock Ret Wall                                              | Rock Ret Wall    | Tree To Be Removed                                  |          |           |           |
| Sleeper Ret Wall                                           | Sleeper Ret Wall | Tree To Be Retained with Tree Protection Zone (TPZ) |          |           |           |
| Conduits 50mm                                              | GW               |                                                     |          |           |           |
| Conduits 100mm                                             | W                |                                                     |          |           |           |
| Street Tree without/with Passive Irrigation (Refer Detail) | W                |                                                     |          |           |           |
| Ex Drains                                                  | Ex W             |                                                     |          |           |           |
| Ex Water DW/NDW                                            | Ex W             |                                                     |          |           |           |
| Ex Sewer/Gas                                               | Ex S             |                                                     |          |           |           |
| Ex Elect/Comm                                              | Ex E             |                                                     |          |           |           |

SERVICES OFFSETS AND LOCATIONS

| Location        | Gas   | Water | Communications | Electricity | BOK         | Road Width | Joint Trenching | Street Classification |
|-----------------|-------|-------|----------------|-------------|-------------|------------|-----------------|-----------------------|
| BANK STREET     | 2.10E | NDW   | DW             | Cables      | Pits        | Cables     | Poles           | 4.20W/4.20E           |
| MELKSHAM AVENUE | 4.30S | 4.80S | 5.30S          | 3.80N       | 1.80N/3.80S | 4.25N      | 1.00 BOK        | 5.85S/6.55N           |
| MELKSHAM AVENUE | 4.30S | 4.80S | 5.30S          | 3.80N       | 3.80N/3.80S | 4.25N      | 1.00 BOK        | 6.95S/7.45N           |

NOTE: a) At the court bowl where water and gas mains pass, the watermain offset is to be increased by 0.5 metres.  
b) \* Indicates offsets from back of kerb where services do not run parallel to title boundary.  
c) \* Indicates Telecommunication pits placed within concrete footpath.

AMENDMENTS

| VER | DATE     | REMARKS                                                                                | CHECKED     | RGW      |
|-----|----------|----------------------------------------------------------------------------------------|-------------|----------|
| C   | 14/03/25 | CONCRETE JOINTING PLAN ADDED                                                           | MELWAY REF. | 388-C-10 |
| B   | 18/12/24 | WATER TAPINGS AND VEHICLE CROSSOVERS UPDATED & PROVIDE NEW PROPERTY INLET FOR LOT 2542 | SURVEY      | BPD      |
| A   | 09/07/24 | ISSUE FOR CONSTRUCTION                                                                 | DESIGN      | RF       |

breese pitt dixon pty. ltd.

land surveyors civil engineers

RATHDOWNE ESTATE  
STAGE 25

DETAIL PLAN, LOCALITY PLAN & SERVICES SCHEDULE

MUNICIPALITY  
WHITTLESEA

REFERENCE  
9365 E/25

1/19 cato street  
hawthorn east, 3123  
telephone 8823 2300  
fax no. 8823 2310

SCALE AS SHOWN

DATUM AHD

DATE JAN '24

SHEET 1 OF 11

C

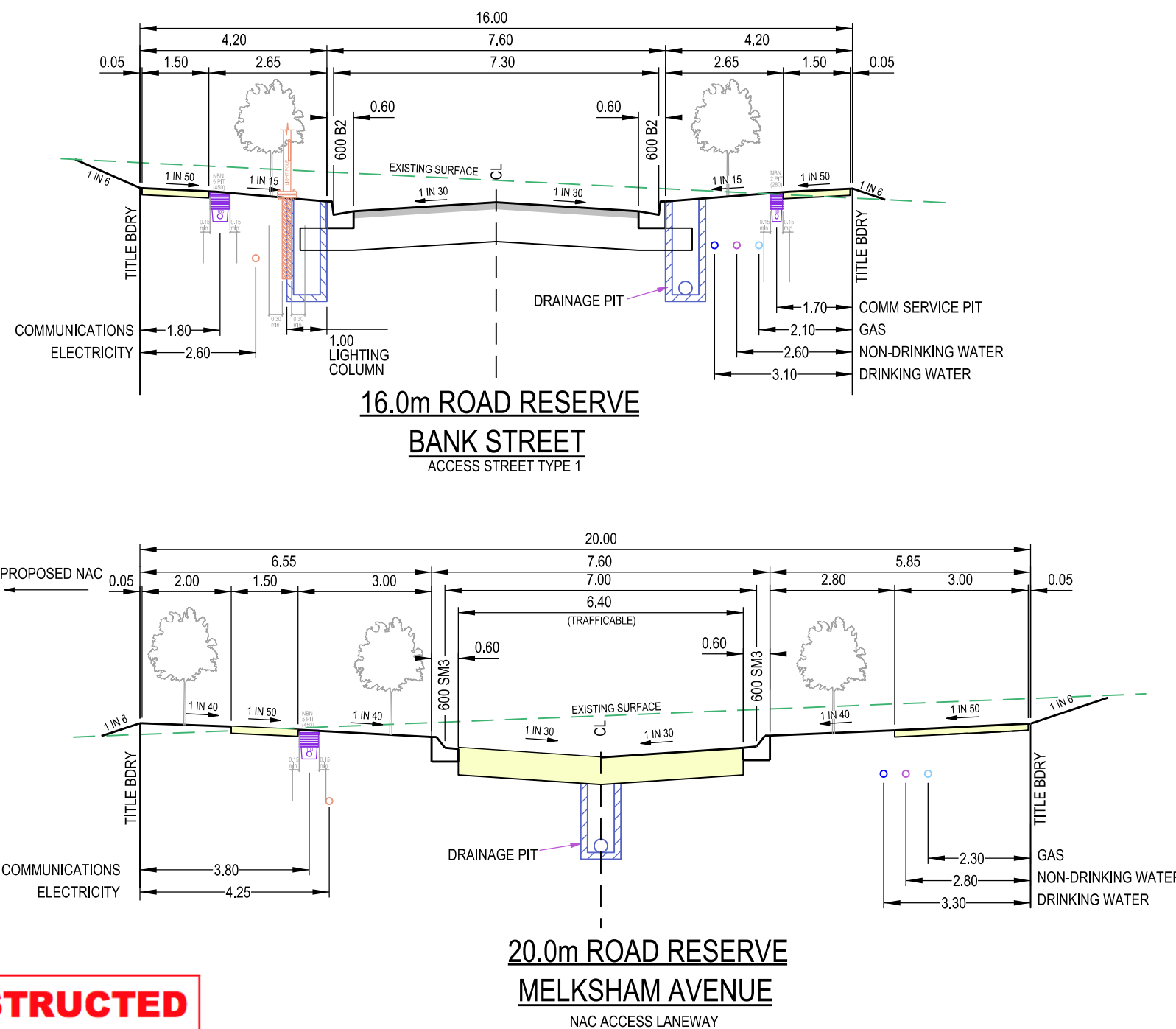
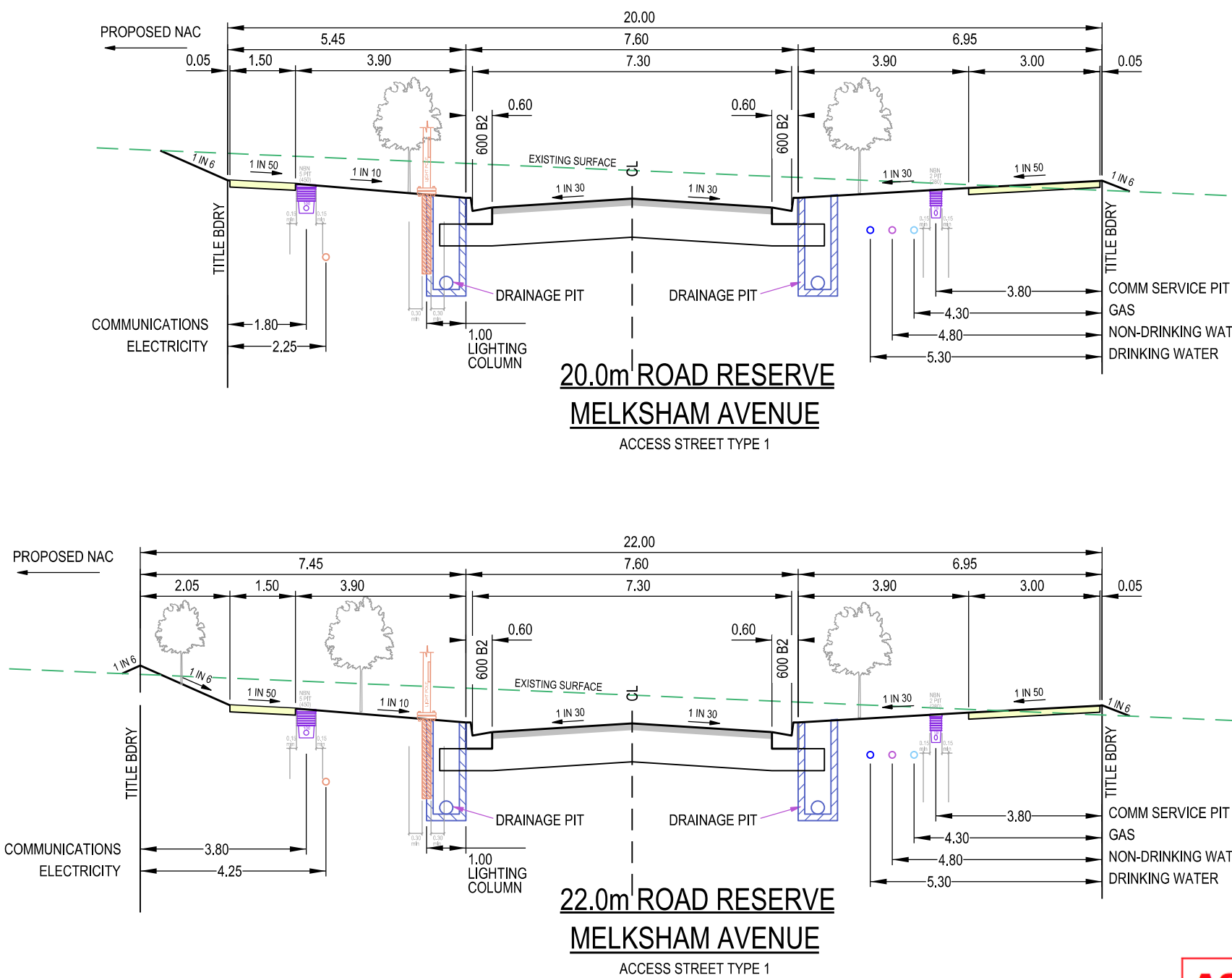
NOTES

1. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH PLANS AND CURRENT CITY OF WHITTLESEA SPECIFICATIONS AND STANDARD DRAWINGS APPROVED BY COUNCIL AND TO THE SATISFACTION OF THE ENGINEER.
2. COUNCIL TO BE NOTIFIED 2 CLEAR DAYS PRIOR TO COMMENCEMENT OF WORKS.
3. DRAINAGE AND PITS TO BE SETOUT FROM OFFSETS SHOWN RATHER THAN FROM CENTRELINE PIPE CHAINAGES. REFER EDCM601-608 FOR FURTHER DETAILS.
4. ALL PIPES TO BE CLASS 2 UNLESS OTHERWISE SPECIFIED AND SHALL BE RRJ UP TO AND INCLUDING 750mm DIAMETER. PIPES ABOVE THIS SIZE MUST BE FLUSH JOINTED WITH EXTERNAL SEALING BANDS. ALL DRAINS THAT CROSS UNDER ROAD PAVEMENTS ARE TO BE CLASS 4 R.C.P.
5. JOINTING FOR CURVED PIPE ALIGNMENT SHALL CONFORM TO MANUFACTURERS SPECIFICATIONS (RRJS FOR MINOR DEFLECTIONS OR COMPLETE R.C. BANDAGES)
6. PROPERTY INLETS ARE TO BE PLACED 1.0m FROM THE LOW CORNER OF LOT UNLESS OTHERWISE SHOWN.
7. LOTS DENOTED THUS 416H ARE TO BE PROVIDED WITH A 100mm HOUSE DRAIN PLACED 5.5m FROM THE LOW CORNER OF THE LOT UNLESS OTHERWISE SHOWN. HOUSE DRAINS TO BE CONNECTED TO STREET DRAINAGE WITH 27A & CAP. CLEAR OF ANY PAVING. IF CONNECTION IS WITHIN PAVING A PIT MUST BE USED.
8. APPROVED GRANULAR BACKFILL TO BE PROVIDED WHERE PIPE TRENCHES ENCROACH UNDER ROADWAY DUE TO DEEP EXCAVATIONS IN ROCK.
9. SHALLOW CUT OFF DRAINS ARE TO BE PROVIDED ON SUBDIVISION BOUNDARY WHERE NECESSARY.
10. PRIOR TO COMMENCEMENT OF WORKS ON SITE, THE CONTRACTOR MUST ENSURE THAT ALL MATTERS RELATING TO THE OCCUPATIONAL HEALTH AND SAFETY ACT 2004, INCLUDING ALL RELEVANT REGULATIONS, HAVE BEEN ADDRESSED. IN PARTICULAR, THE REQUIRED NOTIFICATIONS MUST BE CONVEYED TO THE VICTORIAN WORKCOVER AUTHORITY - HEALTH & SAFETY DIVISION WITH RESPECT TO TRENCHING OPERATIONS. DETAILS OF THE CONTRACTORS OCCUPATIONAL HEALTH & SAFETY PROCEDURES MUST BE LODGED WITH THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF WORKS.
11. AGRICULTURAL PIPE DRAINS TO PLACED BEHIND ALL KERB AND CHANNEL AND BUFFER PITCHERS AND WHERE DIRECTED BY THE ENGINEER (REFER TO STD DRG EDCM202).
12. ALL DRAINAGE TRENCHES UNDER ROAD PAVEMENTS, KERB & CHANNEL, PARKING BAYS, DRIVEWAYS, FOOTPATHS AND BEHIND KERB & CHANNEL SHALL BE BACKFILLED WITH CRUSHED ROCK
13. BATTERS SHALL BE 1 IN 6 FOR CUT & FILL UNLESS OTHERWISE SHOWN. BATTERS EXCEEDING 1 IN 6 MUST BE STABILISED AS PER COUNCIL REQUIREMENTS.
14. ALL NATIVE TREES AND SHRUBS TO BE RETAINED UNLESS ROAD CONSTRUCTION NECESSITATES THEIR REMOVAL OR REMOVAL IS DIRECTED BY THE ENGINEER.
15. LOTS TO BE GRADED AND LEFT CLEAN TO THE SATISFACTION OF THE ENGINEER.
16. ON COMPLETION THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF RUBBISH AND SPOIL FROM SITE.
17. WHERE WORKS ARE IN THE VICINITY OF EXISTING SERVICES, THESE SERVICES ARE TO BE LOCATED AND THE VARIOUS AUTHORITIES NOTIFIED PRIOR TO COMMENCEMENT OF WORKS.
18. ALL MATERIAL SURROUNDING SERVICE AUTHORITY PITS LOCATED IN FOOTPATHS MUST BE ADEQUATELY COMPACTED IN 150mm LAYERS AND TESTED TO THE SATISFACTION OF THE CITY OF WHITTLESEA. PRIOR TO THE CONSTRUCTION OF FOOTPATH BAYS ADJACENT TO THESE PITS.
19. THE WATER CONDUIT OFFSET FROM THE LOT BOUNDARY IS GIVEN ON THE WATER RETICULATION PLAN. THE CONTRACTOR MUST CONSTRUCT CONDUITS TO ACCORD WITH THE GIVEN OFFSET AND ENSURE THAT THE CONCRETER MARKS THE KERB AND FOOTPATH EXACTLY ABOVE THE CONDUIT.
20. ALL GAS AND WATER CONDUITS FOR RESIDENTIAL LOTS TO BE PVC CLASS 12, 50mm DIAMETER.
21. TELSTRANBN Co TO BE NOTIFIED 7 DAYS PRIOR TO CONCRETE BEING PLACED.
22. CONDUITS ARE TO BE EXTENDED 450mm BEHIND FACE OF KERB AND TO BE REFERENCED ON FACE OF KERB.
23. ALL STREET SIGNS TO BE CONSTRUCTED AND ERECTED TO CURRENT CITY OF WHITTLESEA STANDARDS. STREET NAME PLATES TO BE IN ACCORDANCE WITH STANDARD DRAWING SD825, INCLUDING 'NO THROUGH ROAD' NOMINATION WHERE APPLICABLE.
24. TRAFFIC CONTROL SIGNS, MARKINGS & DELINEATORS TO BE INSTALLED IN ACCORDANCE WITH AS1742.2. ALL LINE MARKING IS TO BE LONG LIFE ROAD MARKING, WITH LONGITUDINAL LINES IN THERMOPLASTIC & TRANSVERSE MARKINGS IN COLD APPLIED.
25. ALL DRIVEWAYS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH EDCM501 & 502 AND ARE TO BE OFFSET 0.75m FROM SIDE BOUNDARY OR EASEMENT UNLESS OTHERWISE SHOWN.
26. ALL DRIVEWAY RAMPS INTO PROPERTIES ARE TO BE CUT IN AT A MAXIMUM GRADE OF 1 IN 6.
27. ALL PEDESTRIAN CROSSINGS ARE TO BE CONSTRUCTED GENERALLY IN ACCORDANCE WITH EDCM403. ALL PRAM CROSSING SPLAYS MUST BE 600mm WIDE AND NO GREATER.
28. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND TOPSOIL REPLACED TO OBTAIN FINAL FILL LEVELS AS SHOWN ON PLANS. FILLING TO BE CLEAN CLAY COMPACTED TO A DRY DENSITY NOT LESS THAN THE MAXIMUM DRY DENSITY VALUE DETERMINED BY THE STANDARD COMPACTION TEST IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1289.5.2.1-2003. CONTROL TESTING TO COMPLY WITH AS3798-2007 APPENDIX B, LEVEL 1.
29. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL IMPORTED FILL MATERIAL, INCLUDING TOPSOIL, SATISFIES THE DESCRIPTION FOR CLEAN FILL MATERIAL IN EPA BULLETIN PUBLICATION No. 448 (SEPT '95) AND SUBSEQUENT REVISIONS. THE CONTRACTOR SHALL PROVIDE VERIFICATION INCLUDING TEST CERTIFICATES TO THE SUPERVISING ENGINEER.

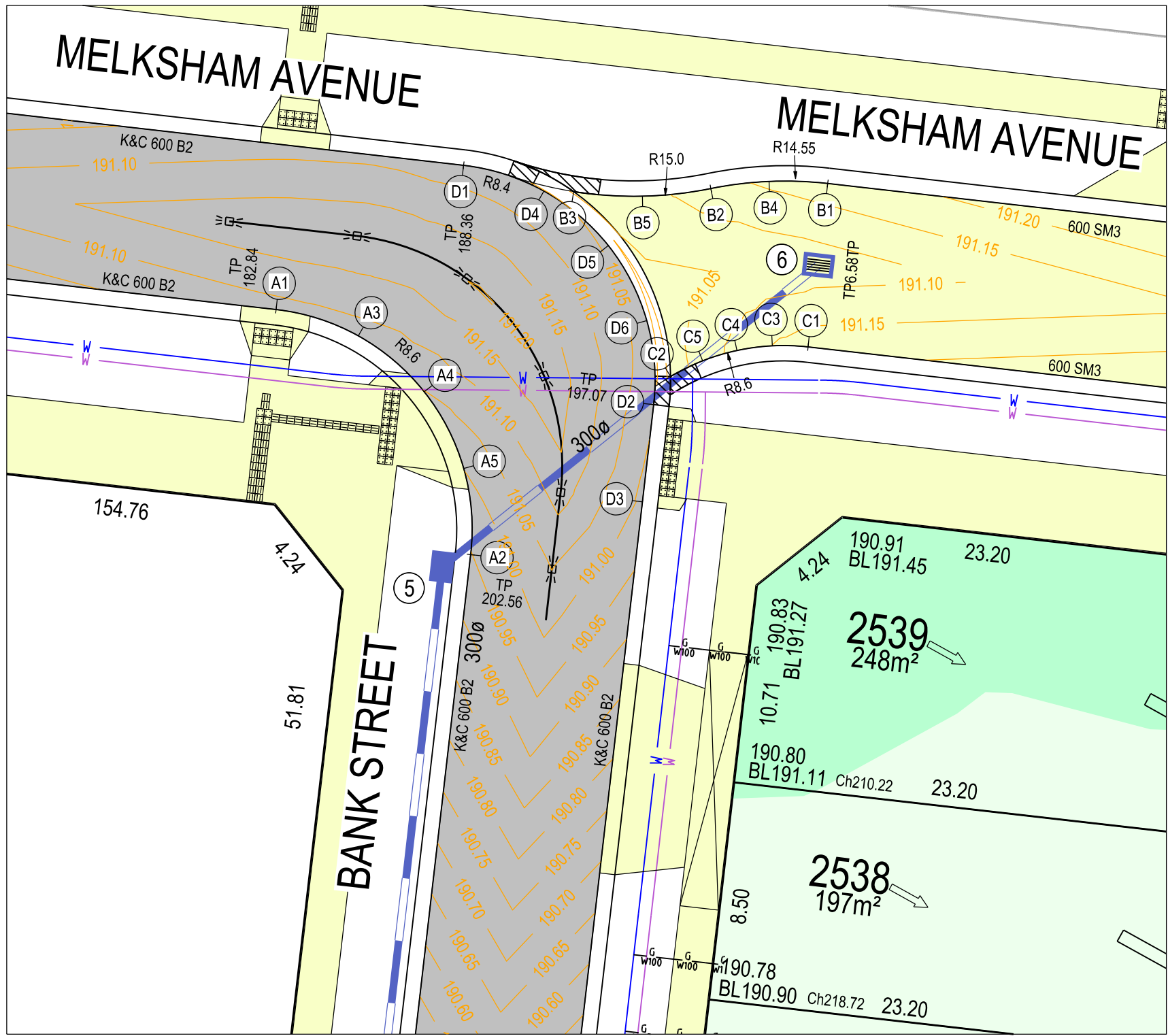
30. FILL REQUIRED UNDER ROADWAY KERB AND CHANNEL AND FOOTPATH TO BE UNDERTAKEN AS PER COUNCIL'S CONSTRUCTION SPECIFICATION FOR ROAD & DRAINAGE WORKS 20.6 (TYPE A MATERIAL AS PER VICROADS STANDARD SPECIFICATION 204) AND COMPACTED TO 98% AASHO IN 150mm LAYERS.
31. PAVEMENT DEPTH MAY NOT BE ALTERED WITHOUT WRITTEN APPROVAL FROM CITY OF WHITTLESEA DEVELOPMENT ENGINEERING UNIT PRIOR TO THE COMMENCEMENT OF WORKS. ADDITIONAL COSTS WILL NOT BE CONSIDERED POST TENDER.
32. THE CONTRACTOR IS TO ORGANISE AND PAY FOR TESTING OF PAVEMENT BASE COURSE MATERIAL AND FINAL LAYER OF CRUSHED ROCK. A COPY OF RESULTS IS TO BE FORWARDED TO THE DIRECTOR OF ENGINEERING OR HIS REPRESENTATIVE. THE RESULTS MUST MEET THE REQUIREMENTS OF THE CITY OF WHITTLESEA SPECIFICATION BEFORE ANY FURTHER WORKS ARE REQUIRED.
33. THE CONTRACTOR MUST COMPLETE A LEVEL CHECK BETWEEN ALL TBMS TO VERIFY LEVEL VALUES BEFORE COMMENCEMENT OF WORKS. ALL TBM's AND CONTROL POINTS ARE TO BE MAINTAINED AND PROTECTED AT ALL TIMES DURING CONSTRUCTION. SHOULD ANY MARKS BE DISTURBED, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE DEVELOPER'S CONSULTANT TO ARRANGE RE-INSTATEMENT AT THE CONTRACTORS EXPENSE.
34. PRIOR TO COMMENCEMENT OF WORKS, THE CONTRACTOR MUST SUBMIT A SMP TO THE DEVELOPER'S CONSULTANT FOR APPROVAL. THE CONTRACTOR MUST COMPLY WITH THE RECOMMENDATIONS OF THE ENVIRONMENT PROTECTION AUTHORITY PUBLICATION No.275 "CONSTRUCTION TECHNIQUES FOR SEDIMENT POLLUTION CONTROL" AND MW SITE ENVIRONMENTAL MANAGEMENT POLICY 3.8.2. APPROPRIATE SILTATION CONTROL IS TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD OF THE WORKS. THE SMP SHALL BE APPROVED BY CITY OF WHITTLESEA DEVELOPMENT ENGINEERING UNIT PRIOR TO THE COMMENCEMENT OF WORKS.
35. ALL FOOTPATHS IN ROADS TO BE OFFSET 50mm FROM PROPERTY BOUNDARY. FOOTPATHS CONSTRUCTED ABOVE EXISTING LEVEL TO BE CONSTRUCTED ON APPROVED FILL (TO AS-3798) OF F.C.R. INTO NATURAL GROUND.
36. PRIOR TO COMMENCEMENT OF WORKS TREE PROTECTION ZONES (TPZ) ARE TO BE INSTALLED AS SPECIFIED IN THE ANNOTATED DETAILS FORMING PART OF THE PLANNING PERMIT TO TREES NOTED 'TO BE RETAINED'. THIS INCLUDES THE FOLLOWING
  - RING LOCK WIRE MESH MINIMUM 1.20m HIGH (STD DRG SDL2.02)
  - MAIN POSTS 100mm TREATED PINE (TP), MINIMUM 1.80m HIGH
  - INTERMEDIATE POSTS STEEL STAR PICKETS (SP), MINIMUM 1.80m HIGH
  - THE CORNER POSTS ARE TO BE TP WITH TP STAYS
  - EVERY THIRD POST TO BE TP
  - SP TO BE PLACED INTERMEDIATELY BETWEEN THE TP AT MAX 3.0m INTERVALS
  - THE RING LOCK MESH TO ENCIRCLE THE STRUCTURE AND BE FIRMLY SECURED AT EACH POST
  - POSTS MUST BE SUNK INTO THE GROUND BY 450mm (THERE IS TO BE NO CONCRETE TO SECURE POSTS AS THIS WILL AFFECT pH LEVELS)
  - HIGH VISIBILITY HAZARD MARKER TAPE SECURELY FIXED TO TOP OF WIRE MESH FENCE WITH WIRE TIES
  - THE TREE PROTECTION ZONE IS TO BE CLEARLY SIGN POSTED IN ACCORDANCE WITH CONDITION 20 OF THE PLANNING PERMIT (STD DRG SDL2.03)

NO EXCAVATION SHALL BE CARRIED OUT WITHIN 5.0m OF ANY TREE UNTIL APPROVAL IS GIVEN BY THE ENGINEER.

37. PROVIDE 1.8m HIGH PALING FENCE ALONG ANY COMMON BOUNDARY BETWEEN A LOT AND MUNICIPAL RESERVE. FENCING TO BE ERECTED BY THE DEVELOPER (OR OWNER) AT NO COST TO COUNCIL. PALINGS TO BE ON THE RESERVE SIDE AND CONSTRUCTED IN ACCORDANCE WITH COUNCIL STANDARD DRAWING SDL3.09 & SDL3.10.
38. VEHICULAR EXCLUSION FENCING TO BE PROVIDED ALONG THE ROAD FRONTAGES OF ALL RESERVES. REFER LANDSCAPE PLANS FOR FENCE DETAILS. FENCING TO BE CONSTRUCTED AS PART OF LANDSCAPE WORKS.
39. PROVIDE TEMPORARY SAFETY BARRIER FENCE (FARM FENCE AS PER MW STD. DWG. 7251/8/203) ALONG EDGE OF OUTFALL DRAINS. SAFETY FENCE TO REMAIN UNTIL PERMANENT UNDERGROUND DRAINAGE IS INSTALLED.
40. EXISTING DAM OR WATERCOURSES TO BE EXCAVATED TO A FIRM BASE AND BACKFILLED AS SPECIFIED. DEVELOPER'S CONSULTANT TO BE NOTIFIED WHEN THE DAM OR WATERCOURSES ARE EXCAVATED TO A FIRM BASE. NO FILLING IS TO BE PLACED PRIOR TO DAMS BEING INSPECTED AND LEVELS TAKEN. BACKFILLING IS TO BE CARRIED OUT TO THE SATISFACTION OF THE COUNCIL SUPERVISING ENGINEER.
41. TACTILE GROUND SURFACE INDICATORS (TGSi) ARE TO BE INSTALLED WHERE SHOWN IN ACCORDANCE WITH COUNCIL STD DRG SD320 AND AS1428.
42. A BUILDING PERMIT MUST BE OBTAINED FOR ANY STRUCTURAL/RETAINING WALL EXCEEDING 1.0m IN HEIGHT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. A COPY OF BUILDING PERMITS AND 'CERTIFICATE OF COMPLIANCE - CONSTRUCTION' TO BE SUBMITTED TO COUNCIL PRIOR TO STATEMENT OF COMPLIANCE.
43. ALL STRUCTURAL WORKS MUST BE SUPERVISED BY A QUALIFIED STRUCTURAL ENGINEER.

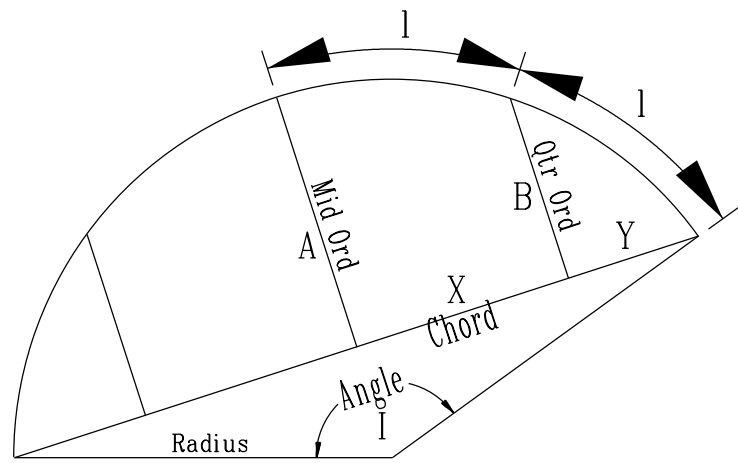
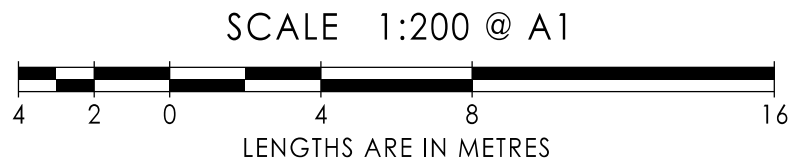


|            |          |                        |                      |                                                                                                                                                                                                                                                                        |                            |              |               |
|------------|----------|------------------------|----------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------|--------------|---------------|
| AMENDMENTS |          |                        |                      |  <div>breese pitt dixon pty. ltd.<br/>land surveyors      civil engineers</div> <div>1/19 cato street<br/>hawthorn east, 3123<br/>telephone 8823 2300<br/>fax no. 8823 2310</div> |                            |              |               |
|            |          |                        |                      |                                                                                                                                                                                                                                                                        |                            |              |               |
|            |          |                        |                      |                                                                                                                                                                                                                                                                        |                            |              |               |
|            |          |                        |                      |                                                                                                                                                                                                                                                                        |                            |              |               |
|            |          |                        |                      |                                                                                                                                                                                                                                                                        |                            |              |               |
|            |          |                        | MELWAY REF. 388-C-10 | RATHDOWNE ESTATE<br>STAGE 25                                                                                                                                                                                                                                           | MUNICIPALITY<br>WHITTLESEA |              |               |
|            |          |                        | SURVEY BPD           |                                                                                                                                                                                                                                                                        | REFERENCE                  |              |               |
|            |          |                        | DESIGN RF            |                                                                                                                                                                                                                                                                        | 9365 <sup>E</sup> /25      |              |               |
|            |          |                        | DRAWN RF             | GENERAL NOTES & TYPICAL ROAD CROSS SECTIONS                                                                                                                                                                                                                            |                            |              |               |
| A          | 09/07/24 | ISSUE FOR CONSTRUCTION |                      |                                                                                                                                                                                                                                                                        |                            |              |               |
| VER        | DATE     | REMARKS                | CHECKED RGW          | SCALE AS SHOWN                                                                                                                                                                                                                                                         | DATUM AHD                  | DATE JAN '24 | SHEET 2 OF 11 |

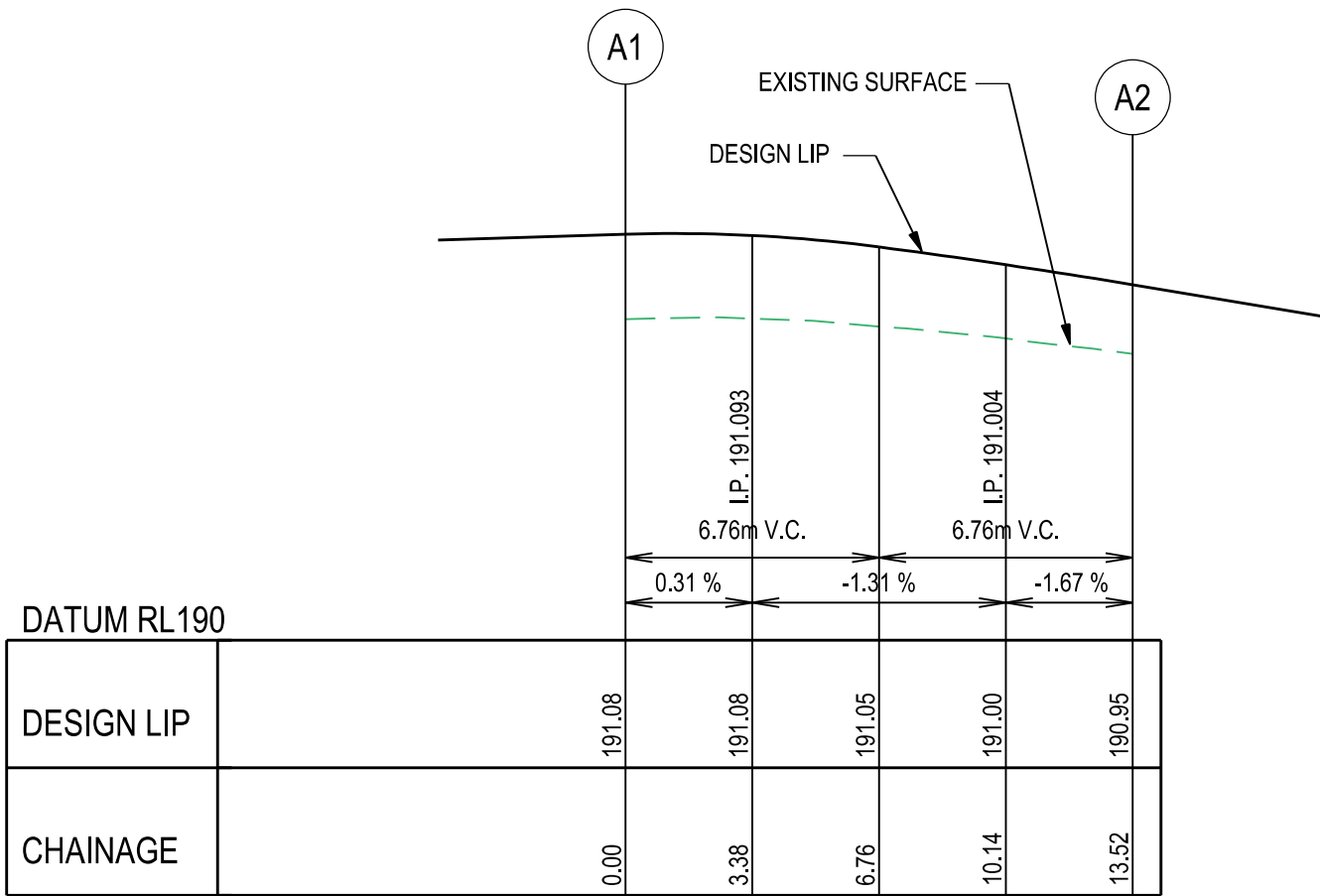


INTERSECTION DETAILS

SCALE 1:200



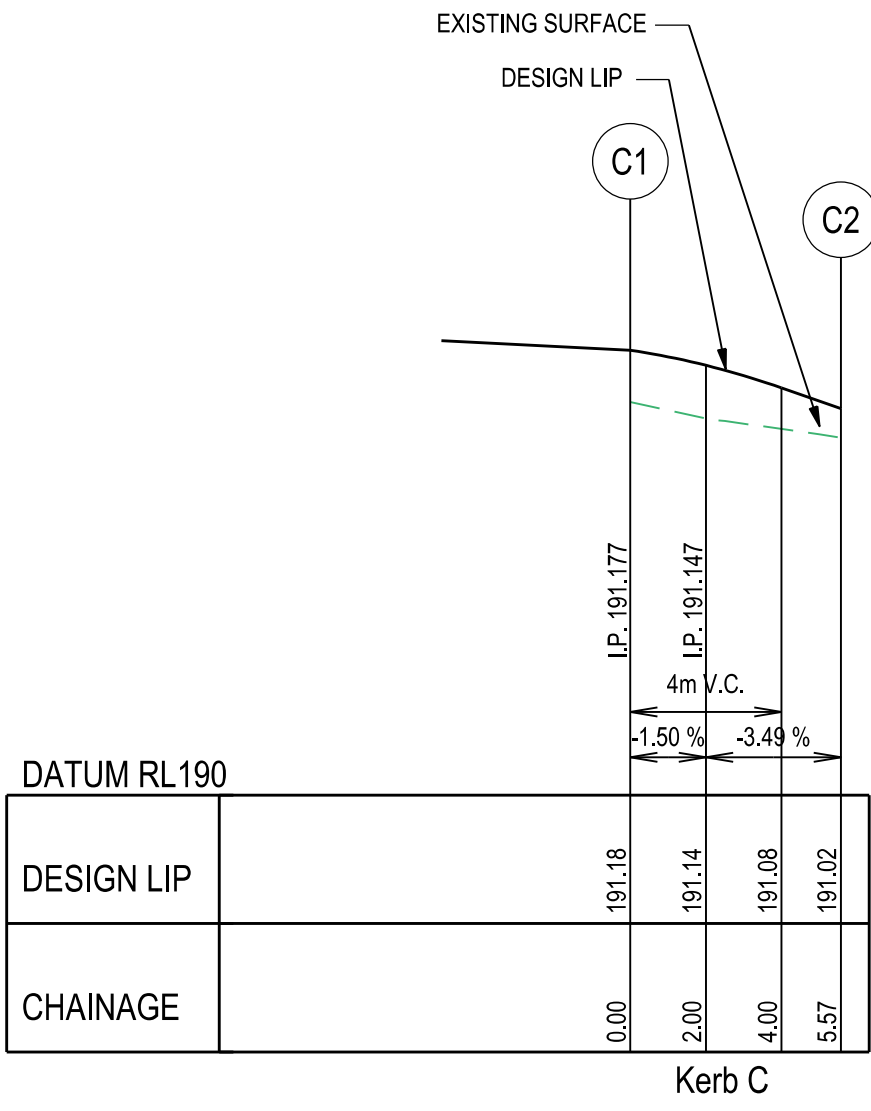
CURVE SETOUT DIAGRAM



| Kerb A   |            |             |         |         |         |       |       |       |            |
|----------|------------|-------------|---------|---------|---------|-------|-------|-------|------------|
| Point no | Easting    | Northing    | RL      |         |         |       |       |       |            |
| A 1      | 322560.117 | 5836394.528 | 191.083 |         |         |       |       |       |            |
| A 2      | 322567.887 | 5836384.998 | 190.948 |         |         |       |       |       |            |
| A 3      | 322563.315 | 5836393.503 | 191.079 |         |         |       |       |       |            |
| A 4      | 322565.878 | 5836391.332 | 191.048 |         |         |       |       |       |            |
| A 5      | 322567.413 | 5836388.345 | 191.001 |         |         |       |       |       |            |
|          |            |             |         |         |         |       |       |       |            |
| Curve no | I          | Radius      | Arc     | Mid Ord | Qtr Ord | X     | Y     | I     | Mid Ord RL |
| A 1 2    | 90.083     | 8.600       | 13.521  | 2.523   | 1.867   | 2.792 | 3.294 | 3.380 | 191.048    |

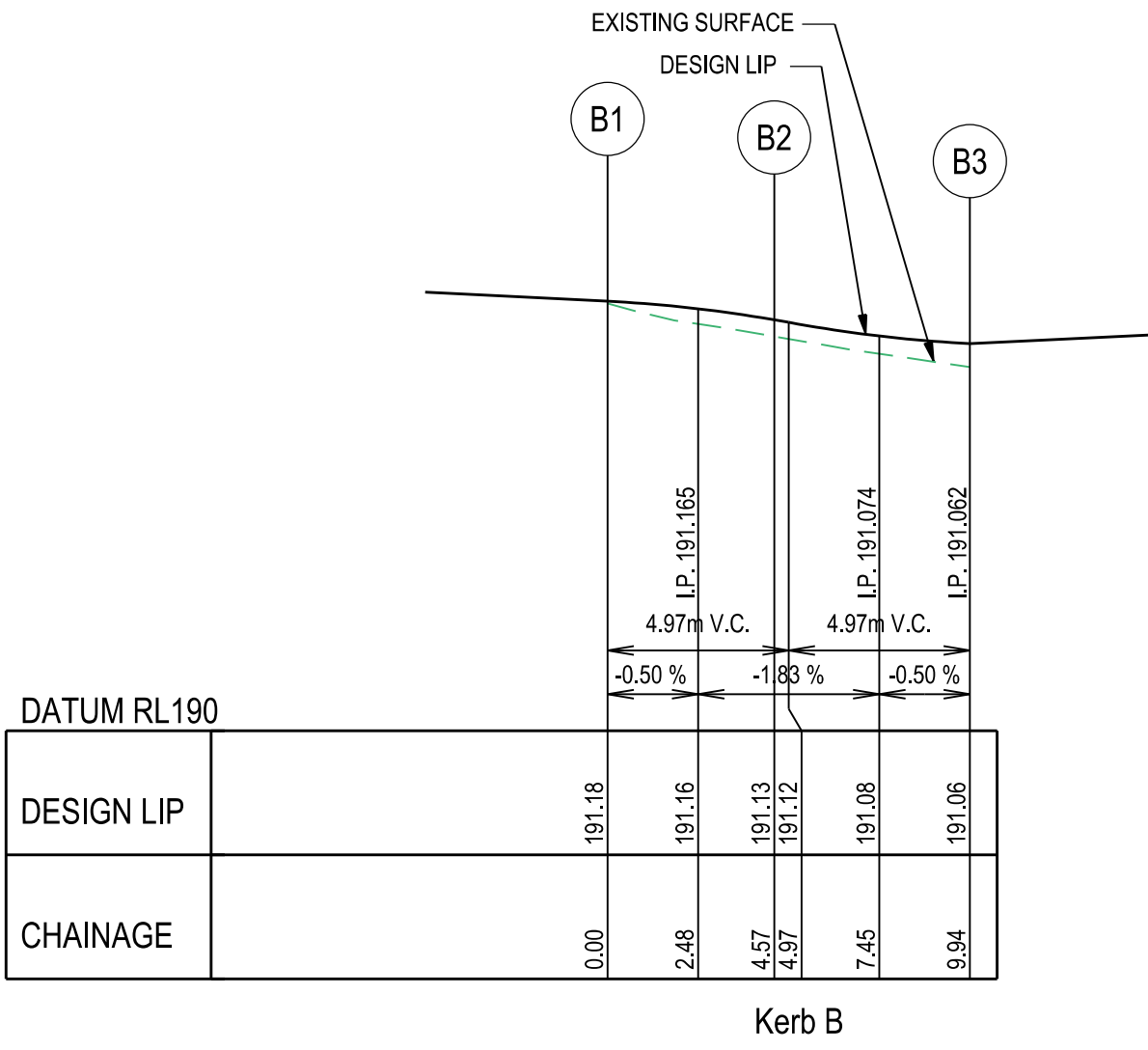
ALL SETOUT DETAILS  
ARE PROVIDED  
AT LIP OF KERB

LIP OF KERB PROFILES  
SCALE: HORIZONTAL 1:200  
VERTICAL 1:20

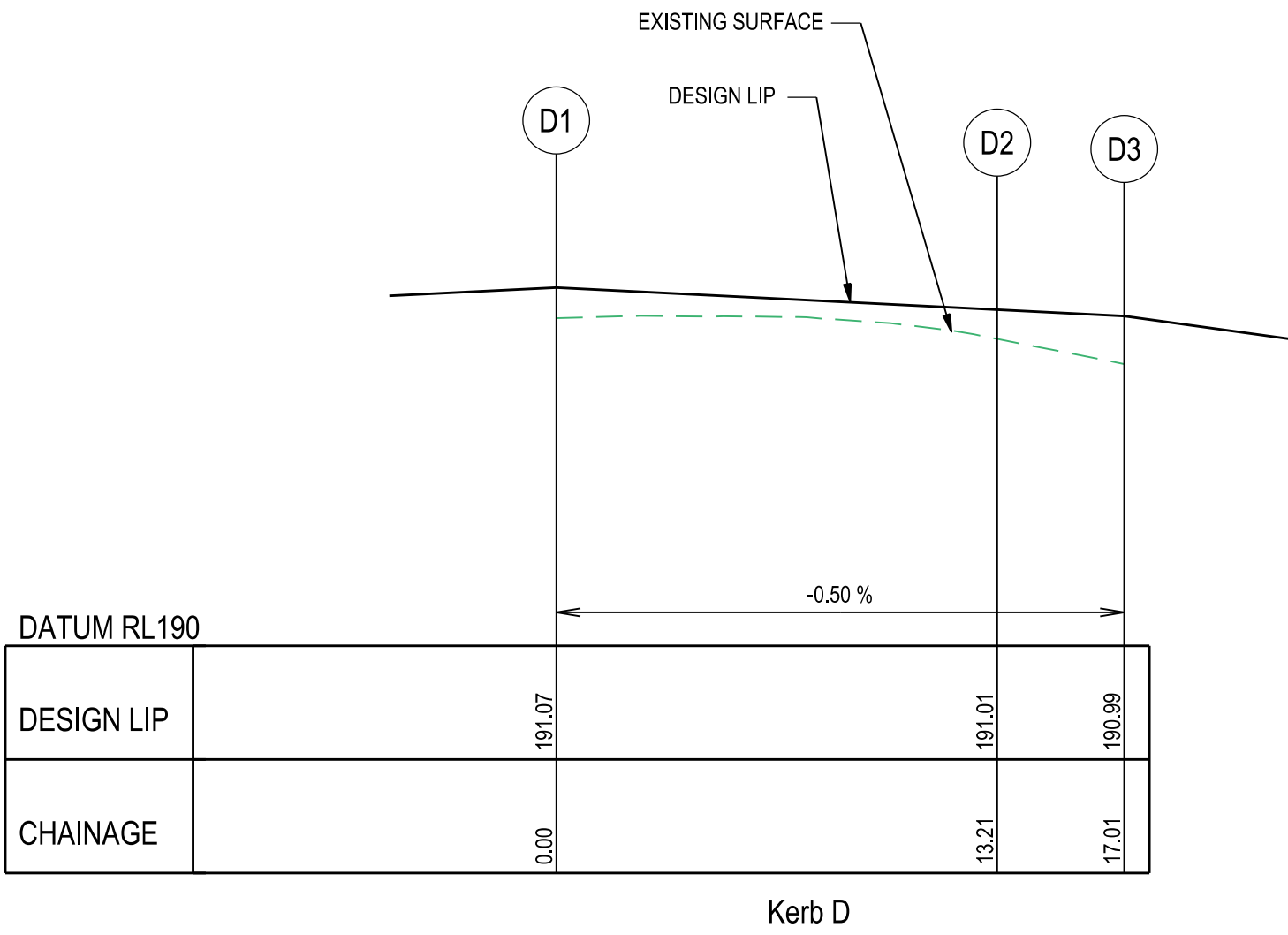


| Kerb C |          |            |             |         |         |         |       |       |       |            |
|--------|----------|------------|-------------|---------|---------|---------|-------|-------|-------|------------|
|        | Point no | Easting    | Northing    | RL      |         |         |       |       |       |            |
| C      | 1        | 322580.810 | 5836393.077 | 191.177 |         |         |       |       |       |            |
| C      | 2        | 322575.460 | 5836391.921 | 191.022 |         |         |       |       |       |            |
| C      | 3        | 322579.419 | 5836393.119 | 191.151 |         |         |       |       |       |            |
| C      | 4        | 322578.040 | 5836392.396 | 191.116 |         |         |       |       |       |            |
| C      | 5        | 322576.709 | 5836392.533 | 191.071 |         |         |       |       |       |            |
|        |          |            |             |         |         |         |       |       |       |            |
|        | Curve no | I          | Radius      | Arc     | Mid Ord | Qtr Ord | X     | Y     | I     | Mid Ord RL |
| C      | 1 2      | -37.113    | -8.600      | 5.571   | 0.447   | 0.335   | 1.350 | 1.387 | 1.393 | 191.116    |

AS CONSTRUCTED



| Kerb B   |         |            |             |         |         |       |       |       |            |
|----------|---------|------------|-------------|---------|---------|-------|-------|-------|------------|
| Point no |         | Easting    | Northing    | RL      |         |       |       |       |            |
| B        | 1       | 322581.574 | 5836399.432 | 191.177 |         |       |       |       |            |
| B        | 2       | 322577.027 | 5836399.233 | 191.127 |         |       |       |       |            |
| B        | 3       | 322571.691 | 5836399.117 | 191.062 |         |       |       |       |            |
| B        | 4       | 322573.292 | 5836399.511 | 191.159 |         |       |       |       |            |
| B        | 5       | 322574.364 | 5836398.936 | 191.085 |         |       |       |       |            |
|          |         |            |             |         |         |       |       |       |            |
| Curve no | I       | Radius     | Arc         | Mid Ord | Qtr Ord | X     | Y     | I     | Mid Ord RL |
| B 1 2    | -17.995 | -14.550    | 4.570       | 0.179   | 0.134   | 1.134 | 1.141 | 1.142 | 191.159    |
| B 2 3    | 20.496  | 15.000     | 5.366       | 0.239   | 0.179   | 1.329 | 1.340 | 1.341 | 191.085    |



| Kerb D   |        |            |             |         |         |       |       |       |            |
|----------|--------|------------|-------------|---------|---------|-------|-------|-------|------------|
| Point no |        | Easting    | Northing    | RL      |         |       |       |       |            |
| D        | 1      | 322567.411 | 5836400.139 | 191.073 |         |       |       |       |            |
| D        | 2      | 322574.805 | 5836390.830 | 191.007 |         |       |       |       |            |
| D        | 3      | 322574.369 | 5836387.050 | 190.988 |         |       |       |       |            |
| D        | 4      | 322570.535 | 5836399.138 | 191.056 |         |       |       |       |            |
| D        | 5      | 322573.038 | 5836397.017 | 191.040 |         |       |       |       |            |
| D        | 6      | 322574.538 | 5836394.100 | 191.023 |         |       |       |       |            |
|          |        |            |             |         |         |       |       |       |            |
| Curve no | I      | Radius     | Arc         | Mid Ord | Qtr Ord | X     | Y     | I     | Mid Ord RL |
| D 1 2    | 90.083 | 8.400      | 13.207      | 2.465   | 1.824   | 2.727 | 3.217 | 3.302 | 191.040    |

AMENDMENTS

|     |          |                                              |             |
|-----|----------|----------------------------------------------|-------------|
|     |          |                                              |             |
|     |          |                                              |             |
|     |          |                                              |             |
| B   | 18/12/24 | WATER TAPINGS AND VEHICLE CROSSOVERS UPDATED | DESIGN RF   |
| A   | 09/07/24 | ISSUE FOR CONSTRUCTION                       | DRAWN RF    |
| VER | DATE     | REMARKS                                      | CHECKED RGW |

breese pitt dixon pty. ltd.  
land surveyors civil engineers

MELWAY REF. 388-C-10

SURVEY BPD

DESIGN RF

DRAWN RF

CHECKED RGW

RATHDOWNE ESTATE  
STAGE 25  
INTERSECTION DETAIL

SCALE AS SHOWN DATUM AHD

DATE JAN '24

MUNICIPALITY WHITTLESEA

REFERENCE 9365 E/25

SHEET 3 OF 11

1/19 cato street  
hawthorn east, 3123  
telephone 8823 2300  
fax no. 8823 2310

PHOTO: 14030265

J:\HB365\Eng\Stage 25\E25\_R03\_INT.dgn



LONGITUDINAL SECTION

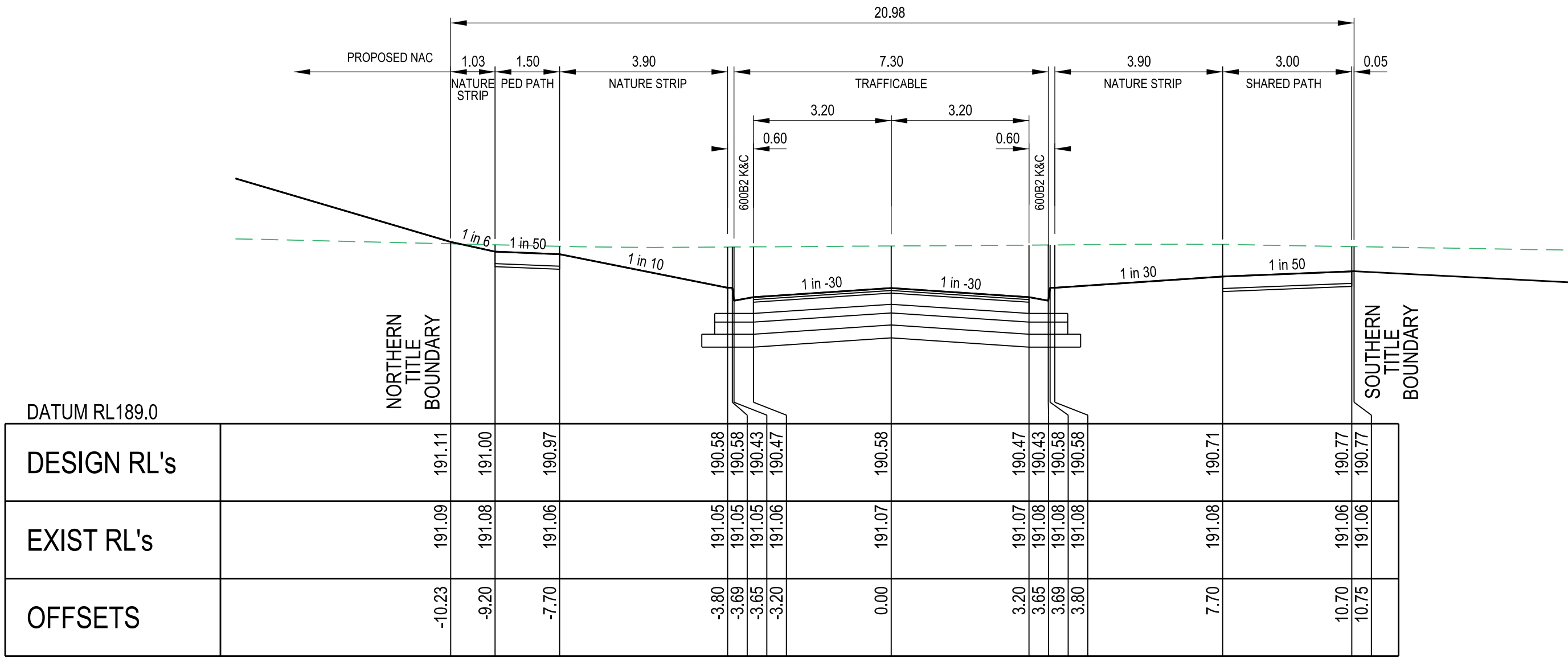
SCALE H 1:500 V 1:50 @ A1

HORIZ 10 5 0 10 20 40

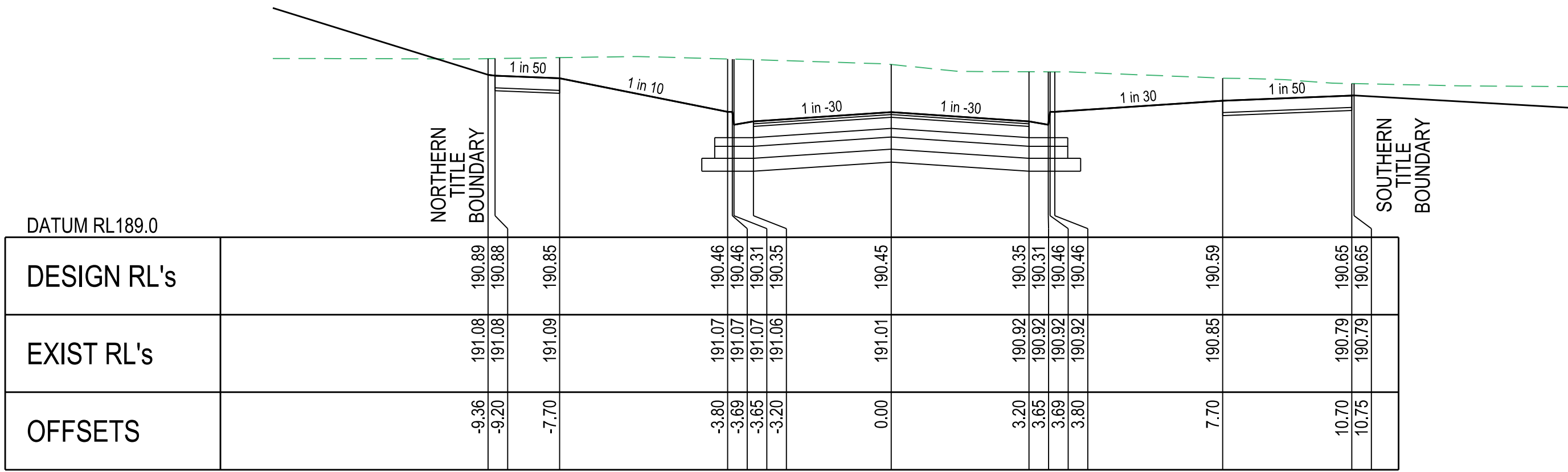
VERT 1 0.5 0 1 2 4

LENGTHS ARE IN METRES

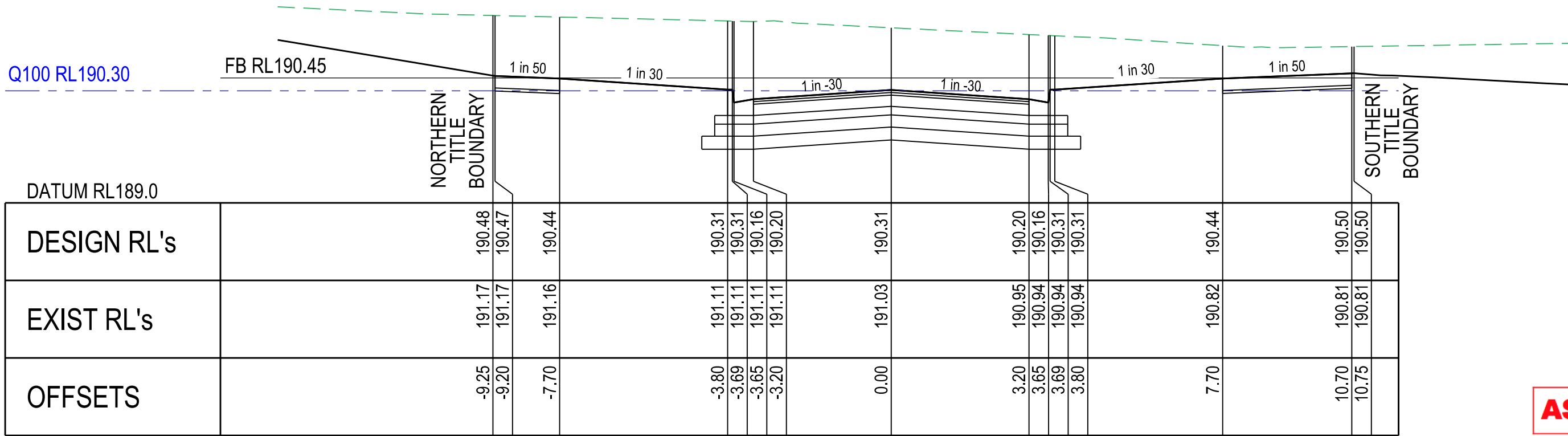
|            |          |                        |                                                                                                                                                                 |                                                                                                     |           |              |                                   |
|------------|----------|------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------|-----------|--------------|-----------------------------------|
| AMENDMENTS |          |                        |  <b>breese pitt dixon pty. ltd.</b><br>land surveyors      civil engineers | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310                 |           |              |                                   |
|            |          |                        |                                                                                                                                                                 |                                                                                                     |           |              |                                   |
|            |          |                        |                                                                                                                                                                 |                                                                                                     |           |              |                                   |
|            |          |                        |                                                                                                                                                                 |                                                                                                     |           |              |                                   |
|            |          |                        |                                                                                                                                                                 |                                                                                                     |           |              |                                   |
|            |          |                        |                                                                                                                                                                 |                                                                                                     |           |              |                                   |
|            |          |                        | MELWAY REF. 388-C-10                                                                                                                                            | <b>RATHDOWNE ESTATE</b><br><b>STAGE 25</b><br>MELKSHAM AVENUE - BANK STREET<br>LONGITUDINAL SECTION |           |              | MUNICIPALITY<br><b>WHITTLESEA</b> |
|            |          |                        | SURVEY BPD                                                                                                                                                      |                                                                                                     |           |              |                                   |
|            |          |                        | DESIGN RF                                                                                                                                                       |                                                                                                     |           |              |                                   |
| A          | 09/07/24 | ISSUE FOR CONSTRUCTION | DRAWN RF                                                                                                                                                        |                                                                                                     |           |              | REFERENCE<br><b>9365 E/25</b>     |
| VER        | DATE     | REMARKS                | CHECKED RGW                                                                                                                                                     | SCALE AS SHOWN                                                                                      | DATUM AHD | DATE JAN '24 | SHEET 4 OF 11                     |



CH 60.00



CH 40.00



CH 28.88

LEGEND

- EXISTING SURFACE
- DESIGN SURFACE
- TYPE A SELECTED MATERIAL FILL LEVEL 1 SUPERVISION REQUIRED

MELKSHAM AVENUE - BANK STREET  
CROSS SECTIONS

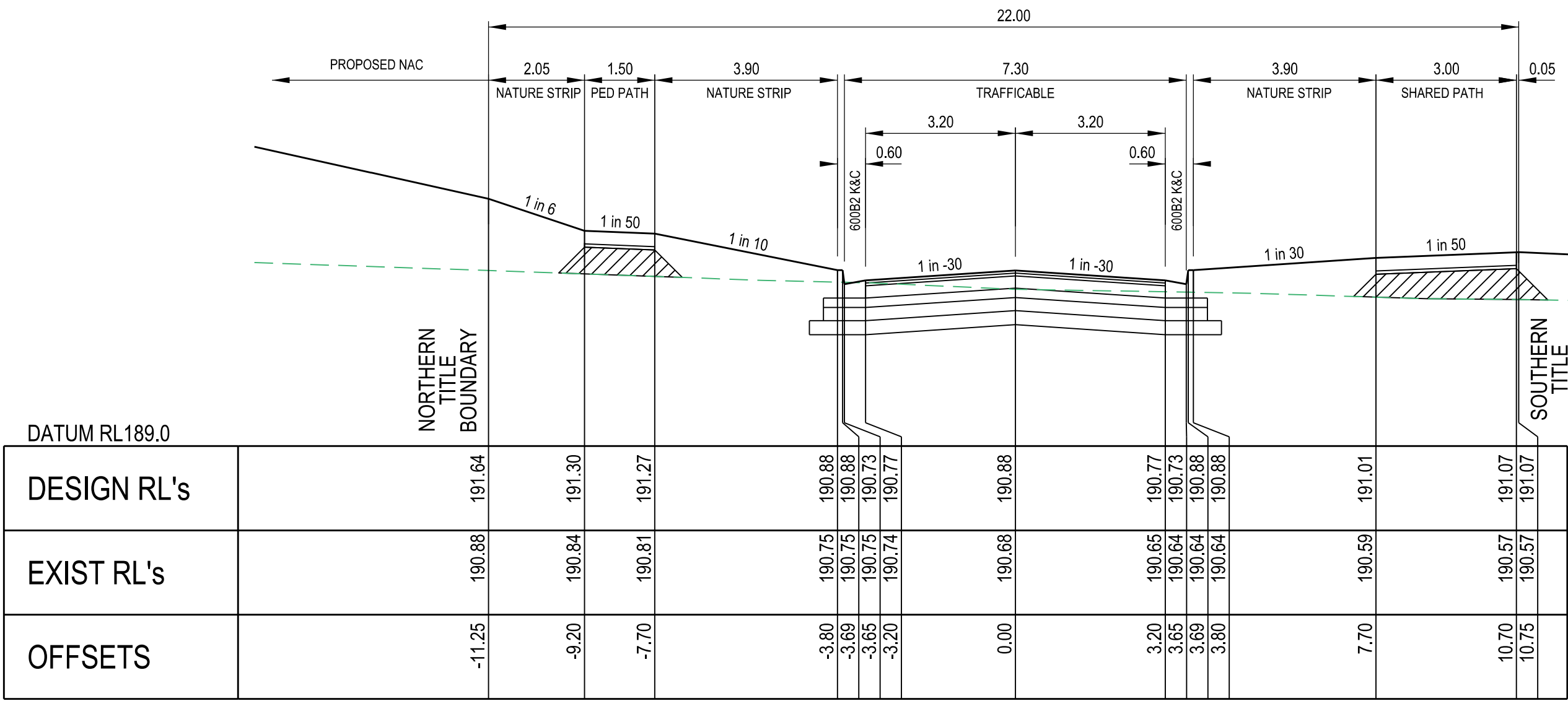
SCALE HORIZONTAL 1:100  
VERTICAL 1:50

SCALE H 1:100 V 1:50 @ A1

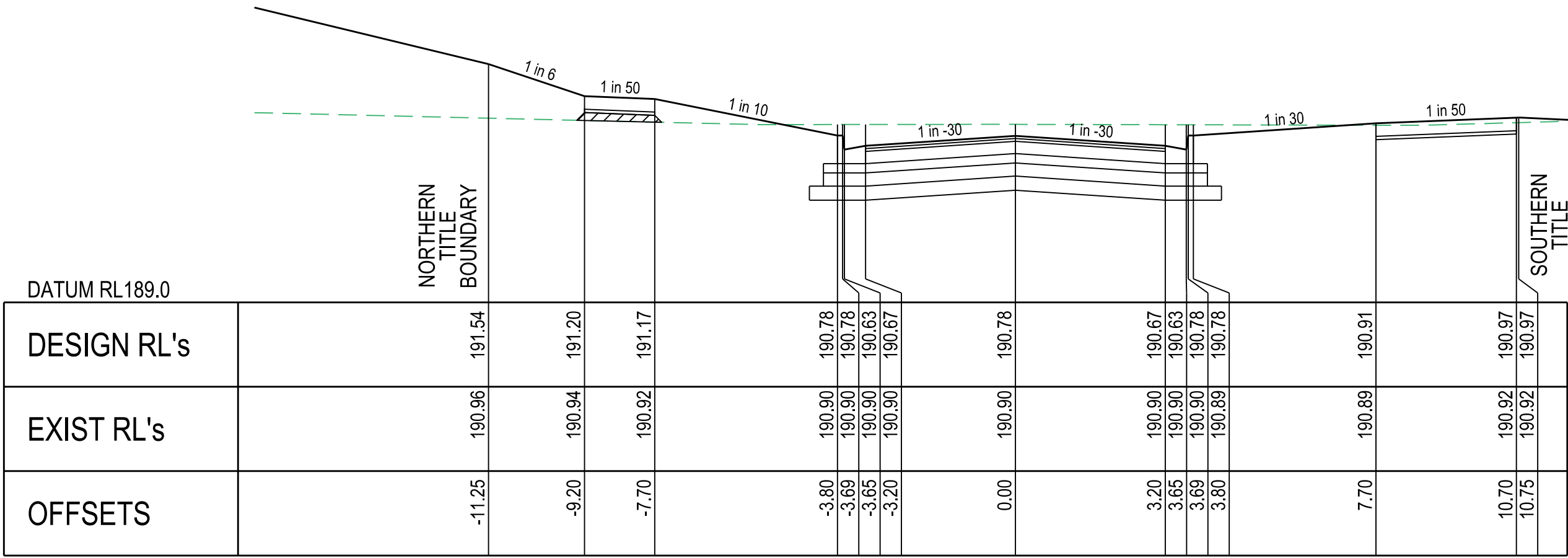
HORIZ 2 1 0 2 4 8  
VERT 1 0.5 0 1 2 4

LENGTHS ARE IN METRES

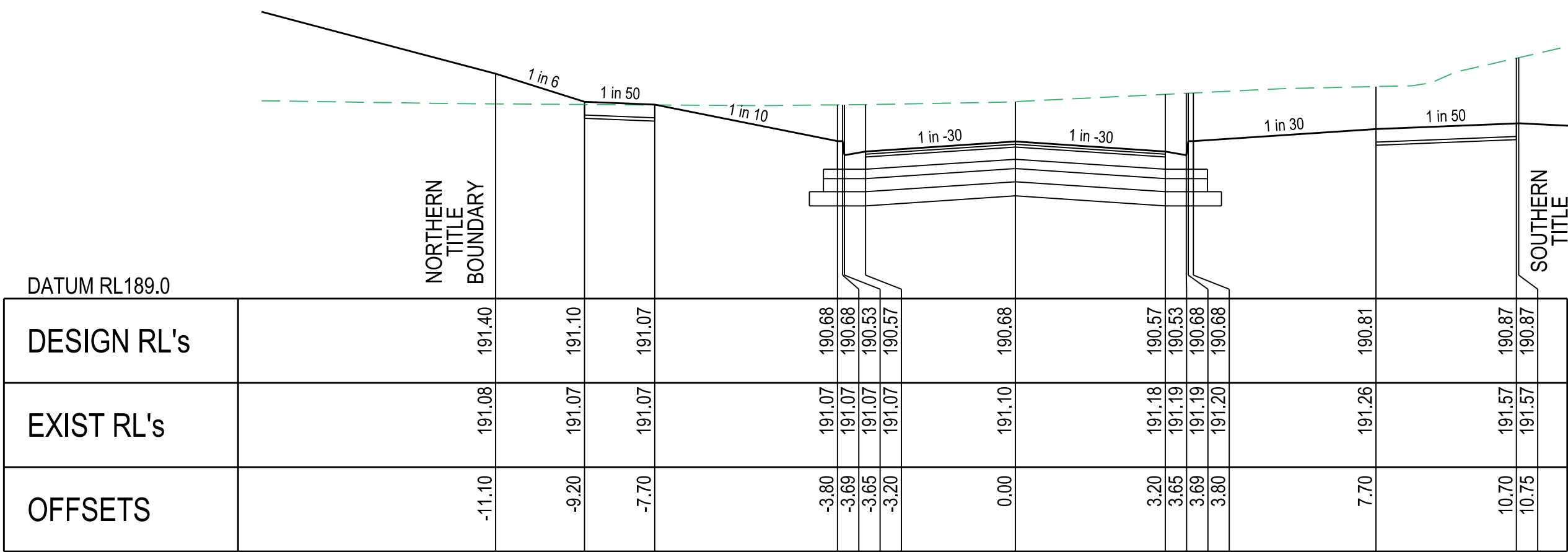
AS CONSTRUCTED



CH 120.00



CH 100.00



CH 80.00

AMENDMENTS

| VER                                                           | DATE     | REMARKS                | CHECKED | RGW | SCALE       | AS SHOWN | DATUM                                                                                | AHD | DATE | JAN '24      | SHEET                                                                               | 5 OF 11 |
|---------------------------------------------------------------|----------|------------------------|---------|-----|-------------|----------|--------------------------------------------------------------------------------------|-----|------|--------------|-------------------------------------------------------------------------------------|---------|
| A                                                             | 09/07/24 | ISSUE FOR CONSTRUCTION | DRAWN   | RF  | MELWAY REF. | 388-C-10 | RATHDOWNE ESTATE<br>STAGE 25<br>MELKSHAM AVENUE - BANK STREET<br>CROSS SECTIONS No.1 |     |      | MUNICIPALITY | WHITTLESEA                                                                          |         |
| breese pitt dixon pty. ltd.<br>land surveyors civil engineers |          |                        |         |     |             |          |                                                                                      |     |      |              | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |         |

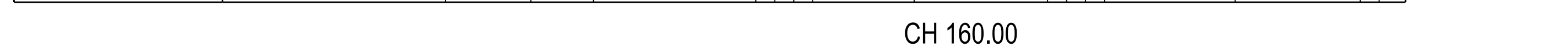
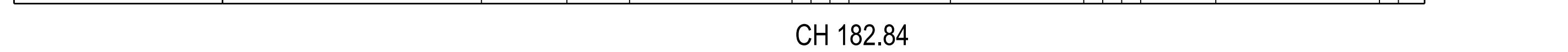
9365 E/25

Scale: AS SHOWN

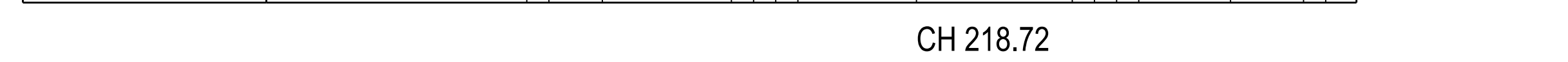
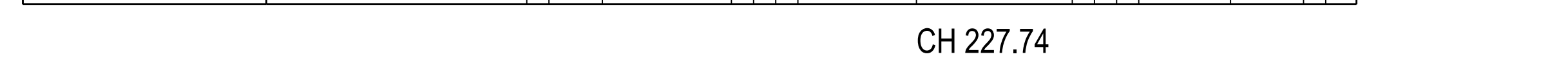
Datum: AHD

Date: JAN '24

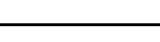
Sheet: 5 OF 11



**AS CONSTRUCTED**

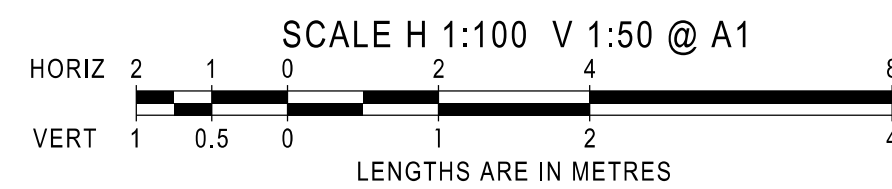


**LEGEND**

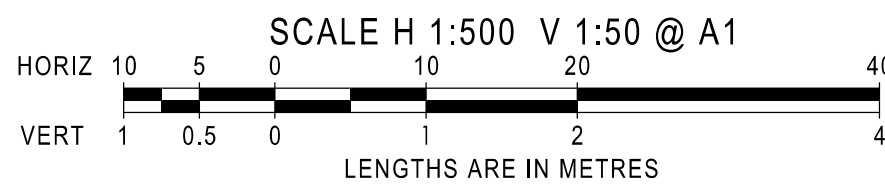
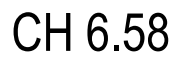
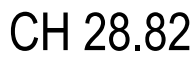
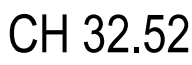
|                                                                                     |                                                               |
|-------------------------------------------------------------------------------------|---------------------------------------------------------------|
|  | EXISTING SURFACE                                              |
|  | DESIGN SURFACE                                                |
|  | TYPE A SELECTED MATERIAL FILL<br>LEVEL 1 SUPERVISION REQUIRED |

## MELKSHAM AVENUE - BANK STREET CROSS SECTIONS

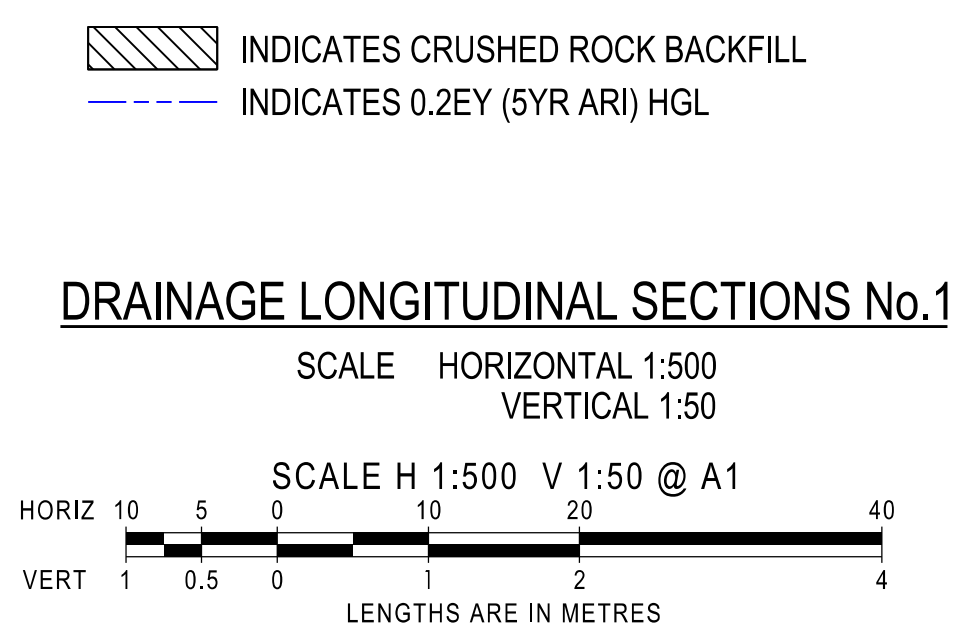
SCALE HORIZONTAL 1:100  
VERTICAL 1:50



|            |          |                        |                      |                                                                                                                                                                 |                                                                                     |              |                                    |
|------------|----------|------------------------|----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|--------------|------------------------------------|
| AMENDMENTS |          |                        |                      |  <b>breese pitt dixon pty. ltd.</b><br>land surveyors      civil engineers | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |              |                                    |
|            |          |                        |                      |                                                                                                                                                                 |                                                                                     |              |                                    |
|            |          |                        |                      |                                                                                                                                                                 |                                                                                     |              |                                    |
|            |          |                        |                      |                                                                                                                                                                 |                                                                                     |              |                                    |
|            |          |                        |                      |                                                                                                                                                                 |                                                                                     |              |                                    |
|            |          |                        | MELWAY REF. 388-C-10 | <b>RATHDOWNE ESTATE</b><br><b>STAGE 25</b><br>MELKSHAM AVENUE - BANK STREET<br>CROSS SECTIONS No.2                                                              |                                                                                     |              | MUNICIPALITY<br><b>WHITTELESEA</b> |
|            |          |                        | SURVEY BPD           |                                                                                                                                                                 |                                                                                     |              | REFERENCE                          |
|            |          |                        | DESIGN RF            |                                                                                                                                                                 |                                                                                     |              | 9365 <sup>E</sup> /25              |
| A          | 09/07/24 | ISSUE FOR CONSTRUCTION | DRAWN RF             |                                                                                                                                                                 |                                                                                     |              |                                    |
| VER        | DATE     | REMARKS                | CHECKED RGW          | SCALE AS SHOWN                                                                                                                                                  | DATUM AHD                                                                           | DATE JAN '24 | SHEET 6 OF 11                      |

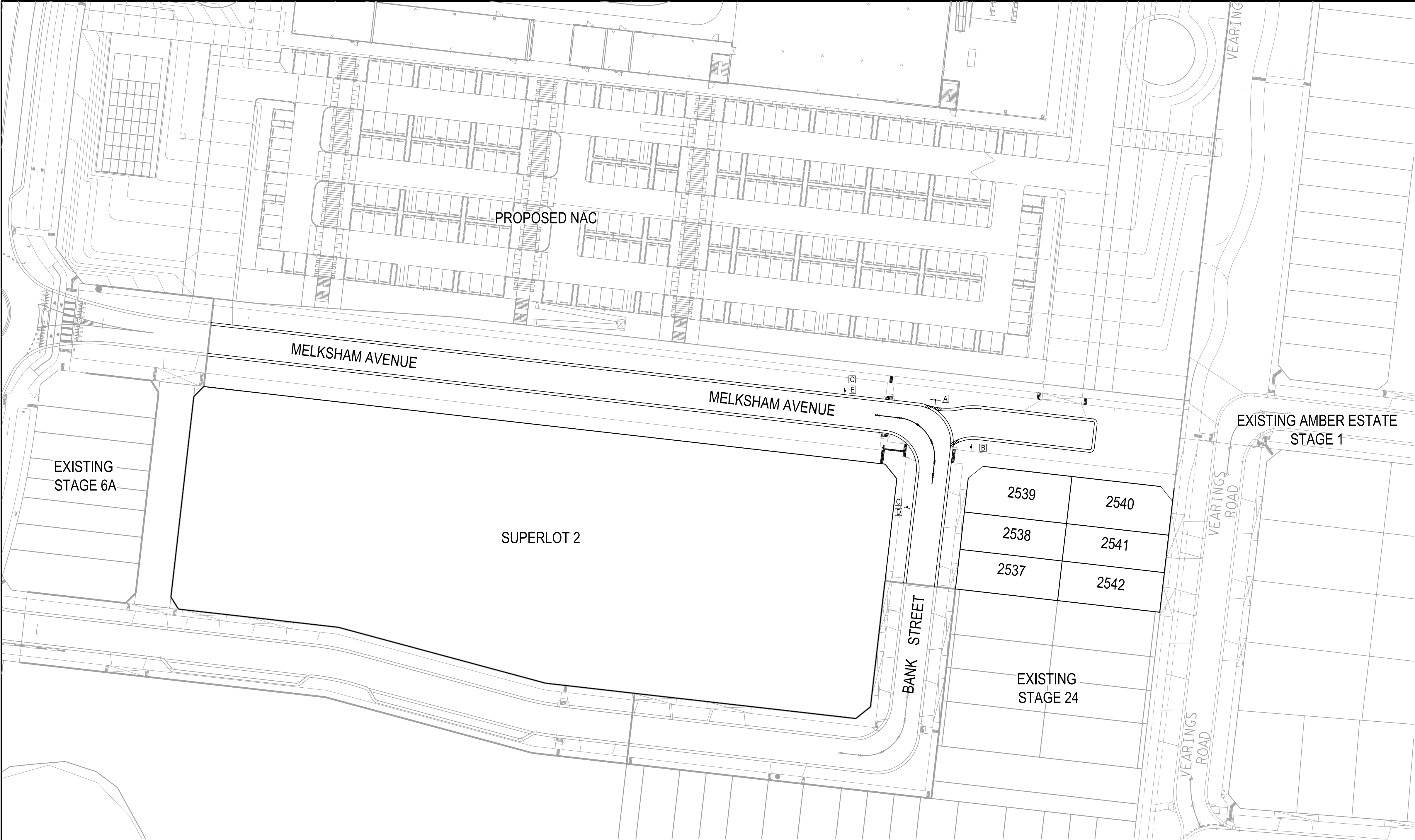


|            |          |                        |                                                                                       |                                                                                    |                                                                                               |          |       |                                                                                     |                       |         |       |   |       |  |
|------------|----------|------------------------|---------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------|----------|-------|-------------------------------------------------------------------------------------|-----------------------|---------|-------|---|-------|--|
| AMENDMENTS |          |                        |  | breese pitt dixon pty. ltd.<br>land surveyors                      civil engineers |                                                                                               |          |       | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |                       |         |       |   |       |  |
|            |          |                        |                                                                                       |                                                                                    |                                                                                               |          |       |                                                                                     |                       |         |       |   |       |  |
|            |          |                        |                                                                                       |                                                                                    |                                                                                               |          |       |                                                                                     |                       |         |       |   |       |  |
|            |          |                        |                                                                                       |                                                                                    |                                                                                               |          |       |                                                                                     |                       |         |       |   |       |  |
|            |          |                        |                                                                                       |                                                                                    |                                                                                               |          |       |                                                                                     |                       |         |       |   |       |  |
|            |          |                        | MELWAY REF.                                                                           | 388-C-10                                                                           | RATHDOWNE ESTATE<br>STAGE 25<br>MELKSHAM AVENUE No.2 LONGITUDINAL<br>SECTION & CROSS SECTIONS |          |       |                                                                                     | MUNICIPALITY          |         |       |   |       |  |
|            |          |                        | SURVEY                                                                                | BPD                                                                                |                                                                                               |          |       |                                                                                     | WHITTLESEA            |         |       |   |       |  |
|            |          |                        | DESIGN                                                                                | RF                                                                                 |                                                                                               |          |       |                                                                                     | REFERENCE             |         |       |   |       |  |
|            |          |                        | DRAWN                                                                                 | RF                                                                                 |                                                                                               |          |       |                                                                                     | 9365 <sup>E</sup> /25 |         |       |   |       |  |
| A          | 09/07/24 | ISSUE FOR CONSTRUCTION |                                                                                       |                                                                                    |                                                                                               |          |       |                                                                                     |                       |         |       |   |       |  |
| VER        | DATE     | REMARKS                | CHECKED                                                                               | RGW                                                                                | SCALE                                                                                         | AS SHOWN | DATUM | AHD                                                                                 | DATE                  | JAN '24 | SHEET | 7 | OF 11 |  |



|            |          |                        |                                                                                                                                                                                                                                                                        |     |       |          |                                    |     |          |         |       |         |  |
|------------|----------|------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|-------|----------|------------------------------------|-----|----------|---------|-------|---------|--|
| AMENDMENTS |          |                        |  <div>breese pitt dixon pty. ltd.<br/>land surveyors      civil engineers</div> <div>1/19 cato street<br/>hawthorn east, 3123<br/>telephone 8823 2300<br/>fax no. 8823 2310</div> |     |       |          |                                    |     |          |         |       |         |  |
|            |          |                        |                                                                                                                                                                                                                                                                        |     |       |          |                                    |     |          |         |       |         |  |
|            |          |                        |                                                                                                                                                                                                                                                                        |     |       |          |                                    |     |          |         |       |         |  |
|            |          |                        |                                                                                                                                                                                                                                                                        |     |       |          |                                    |     |          |         |       |         |  |
|            |          |                        |                                                                                                                                                                                                                                                                        |     |       |          |                                    |     |          |         |       |         |  |
|            |          | MELWAY REF. 388-C-10   | RATHDOWNE ESTATE<br>STAGE 25<br>DRAINAGE LONGITUDINAL SECTION<br>& PIT SCHEDULE                                                                                                                                                                                        |     |       |          | MUNICIPALITY<br>WHITTFLESEA        |     |          |         |       |         |  |
|            |          | SURVEY BPD             |                                                                                                                                                                                                                                                                        |     |       |          | REFERENCE<br>9365 <sup>E</sup> /25 |     |          |         |       |         |  |
|            |          | DESIGN RF              |                                                                                                                                                                                                                                                                        |     |       |          |                                    |     |          |         |       |         |  |
| A          | 09/07/24 | ISSUE FOR CONSTRUCTION |                                                                                                                                                                                                                                                                        |     |       |          |                                    |     | DRAWN RF |         |       |         |  |
| VER        | DATE     | REMARKS                | CHECKED                                                                                                                                                                                                                                                                | RGW | SCALE | AS SHOWN | DATUM                              | AHD | DATE     | JAN '24 | SHEET | 8 OF 11 |  |

### AS CONSTRUCTED



**SIGNAGE LEGEND**

A

STREET SIGNS (2 No) AT CENTRE OF ROUNDABOUT

B

GIVE WAY SIGN (R1-2A) - CLASS 1

C

TRAFFIC (WARNING) "20 km/hr" (W8-2A)  
ALUMINIUM REFLECTIVE CLASS 1 - 600mm x 400mm

D

SIDE ROAD JUNCTION ON CURVE LEFT (W2-9L)

E

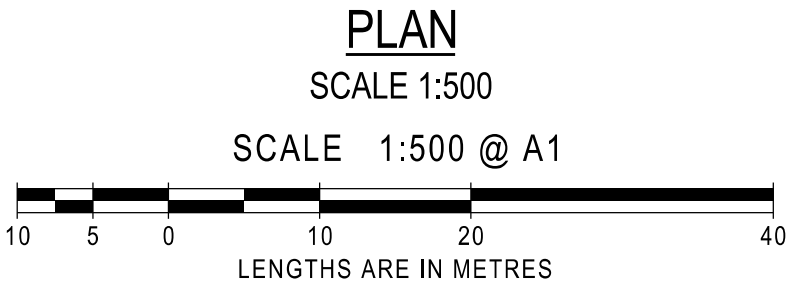
SIDE ROAD JUNCTION ON CURVE RIGHT (W2-9R)

PERMANENT SURVEY MARK

NOTES

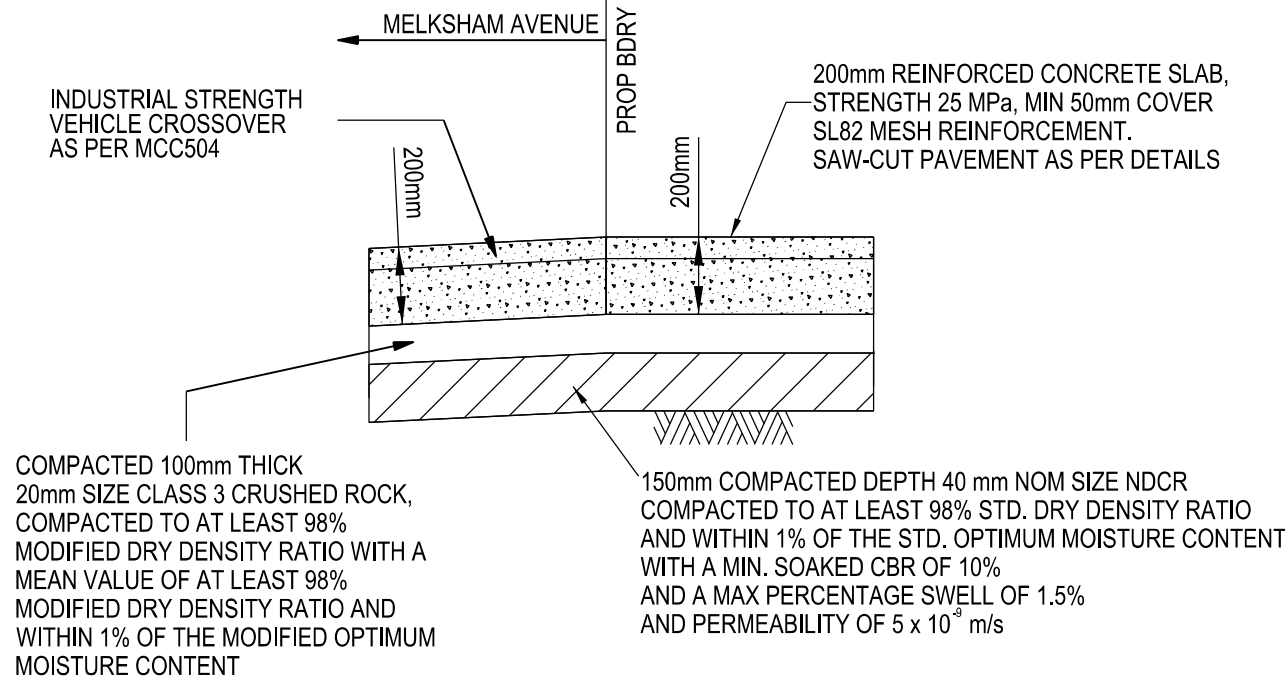
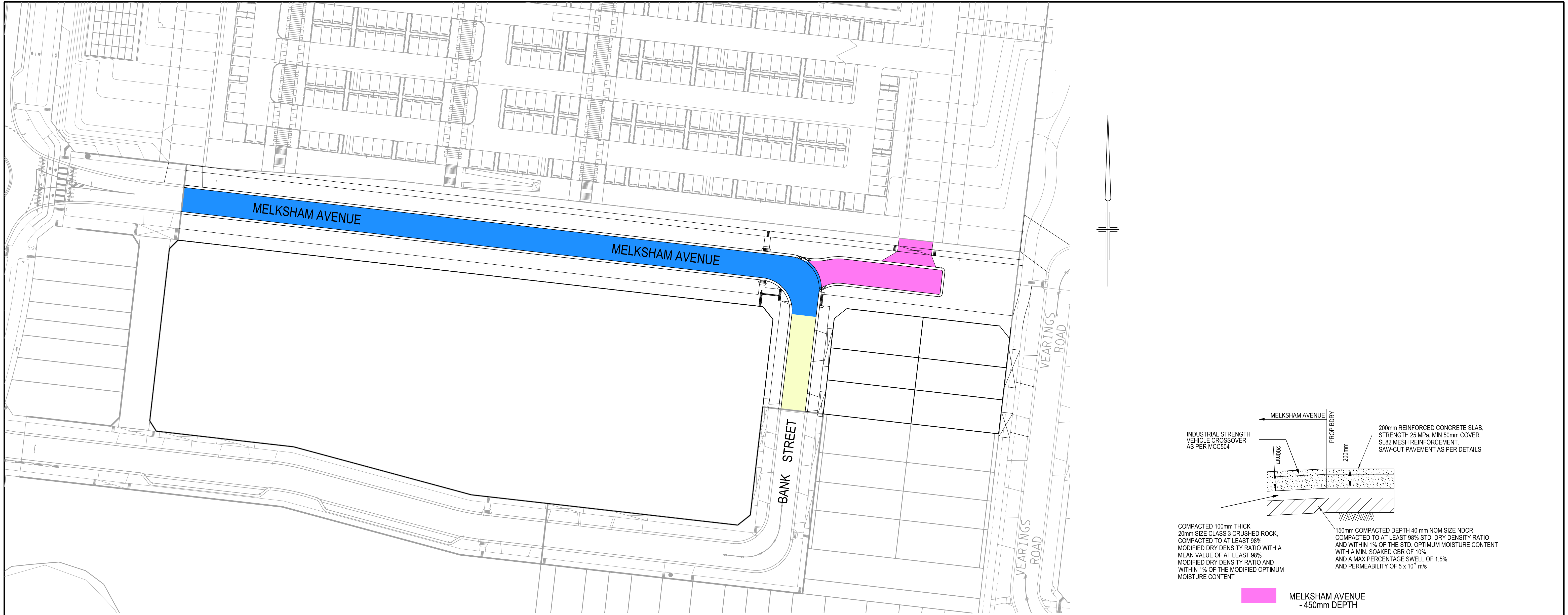
A) HAZARD / DIRECTIONAL TGS'S SHOWN THUS / AND FOOTPATH RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WHITTLESEA SD320.

B) INDICATES UNIDIRECTIONAL & BIDIRECTIONAL RRPMS PLACED AT 3.00m CTS



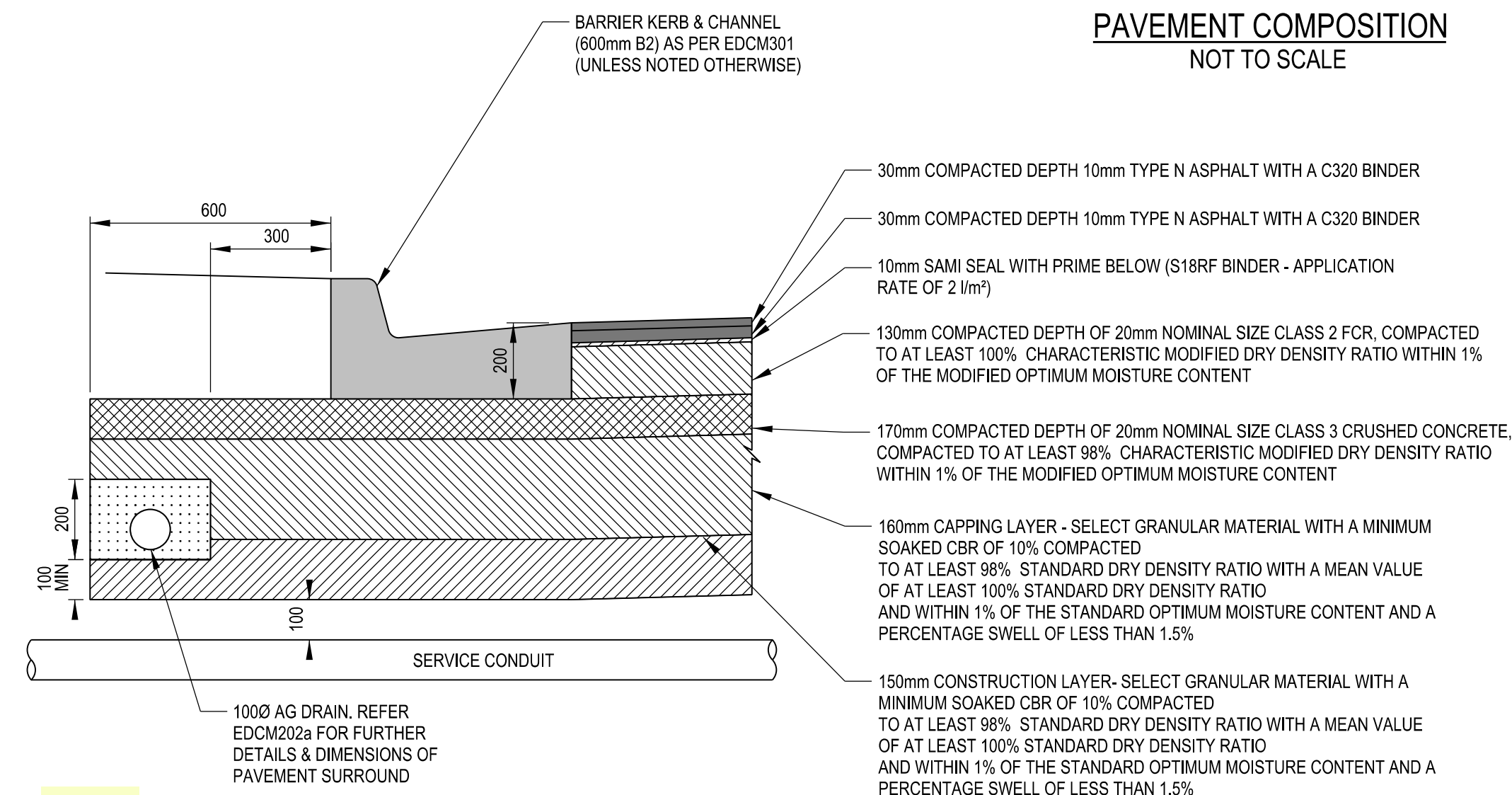
AS CONSTRUCTED

|            |          |                        |  |             |                                                               |                                                            |                                                                                     |                       |
|------------|----------|------------------------|--|-------------|---------------------------------------------------------------|------------------------------------------------------------|-------------------------------------------------------------------------------------|-----------------------|
| AMENDMENTS |          |                        |  |             | breese pitt dixon pty. ltd.<br>land surveyors civil engineers |                                                            | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |                       |
|            |          |                        |  |             |                                                               |                                                            |                                                                                     |                       |
|            |          |                        |  |             |                                                               |                                                            |                                                                                     |                       |
|            |          |                        |  |             |                                                               |                                                            |                                                                                     |                       |
|            |          |                        |  | MELWAY REF. | 388-C-10                                                      | RATHDOWNE ESTATE<br>STAGE 25<br>SIGNAGE & LINEMARKING PLAN |                                                                                     | MUNICIPALITY          |
|            |          |                        |  | SURVEY      | BPD                                                           |                                                            |                                                                                     | WHITTLESEA            |
|            |          |                        |  | DESIGN      | RF                                                            |                                                            |                                                                                     | REFERENCE             |
| A          | 09/07/24 | ISSUE FOR CONSTRUCTION |  | DRAWN       | RF                                                            | 9365 <sup>E</sup> /25                                      |                                                                                     | 9365 <sup>E</sup> /25 |
| VER        | DATE     | REMARKS                |  | CHECKED     | RGW                                                           |                                                            |                                                                                     | SHEET 9 OF 11         |
|            |          |                        |  | SCALE       | AS SHOWN                                                      | DATUM                                                      | AHD                                                                                 | DATE                  |
|            |          |                        |  |             |                                                               |                                                            |                                                                                     | JAN '24               |
|            |          |                        |  |             |                                                               |                                                            |                                                                                     | A                     |



MELKSHAM AVENUE  
- 450mm DEPTH

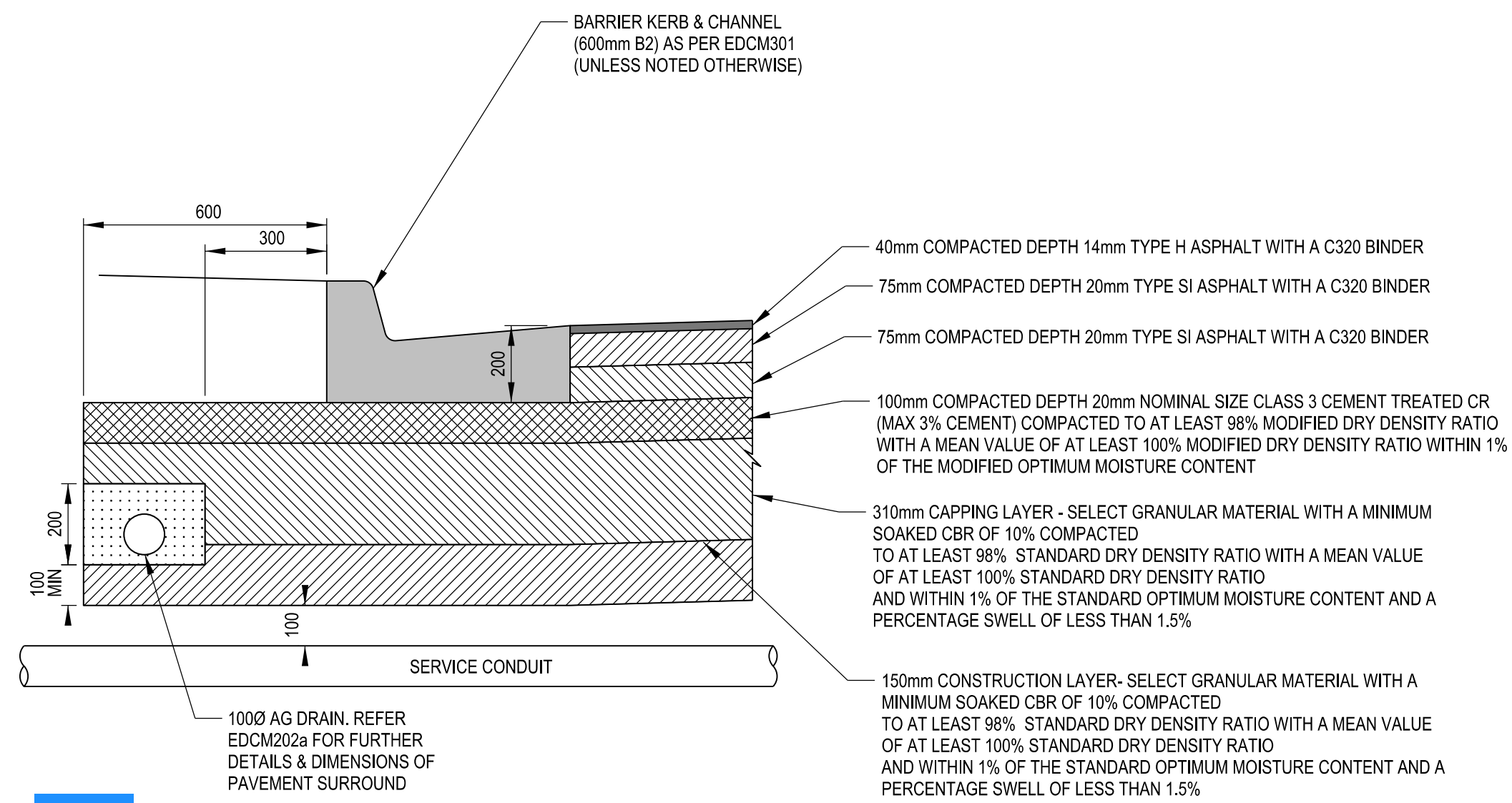
#### PAVEMENT COMPOSITION NOT TO SCALE



BANK STREET - 680mm DEPTH

#### PAVEMENT COMPOSITION

REFER EDCM202a FOR ADDITIONAL DETAILS  
(Dimensions in Millimetres)  
N.T.S.



MELKSHAM AVENUE - 750mm DEPTH

#### PAVEMENT COMPOSITION

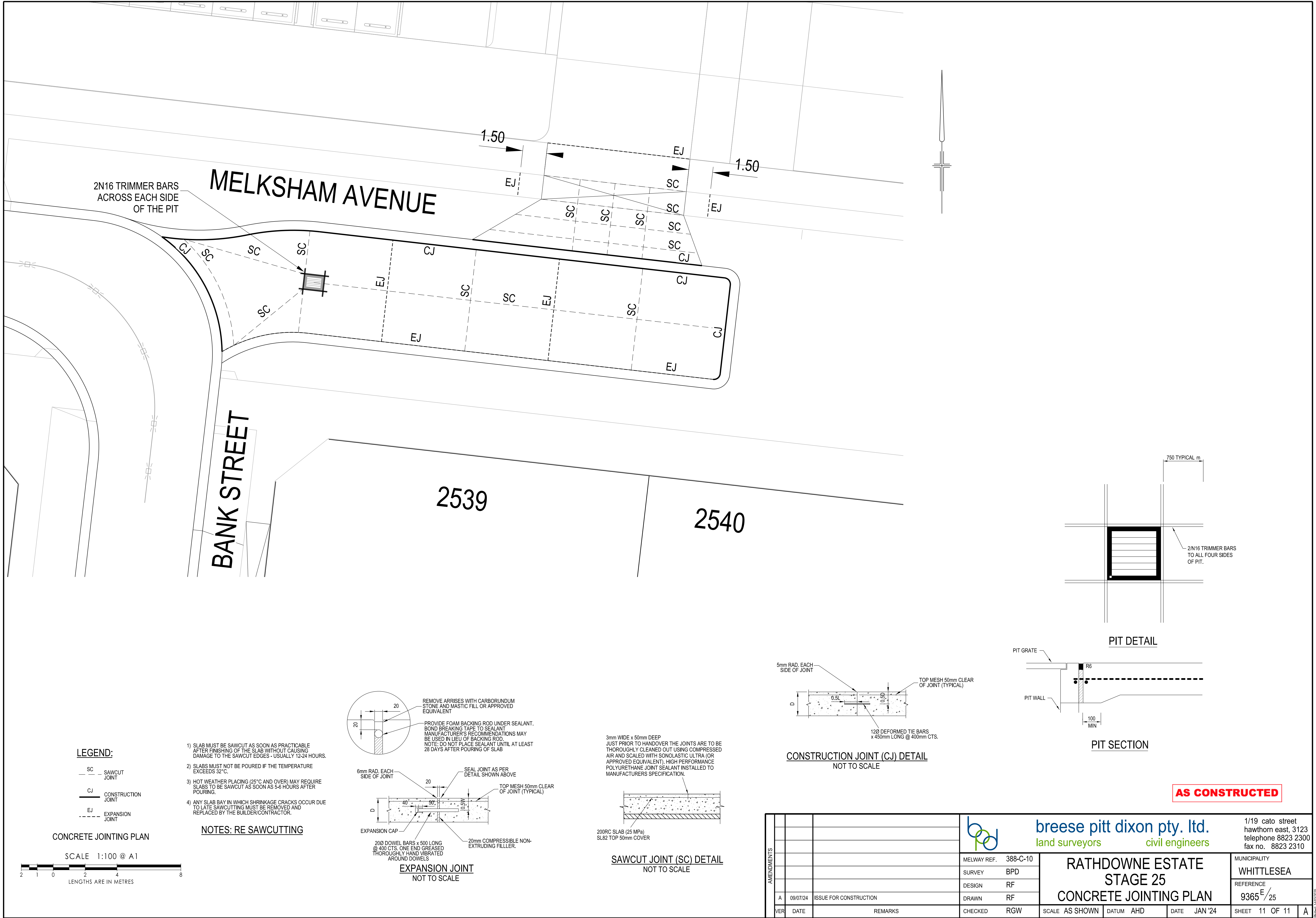
REFER EDCM202a FOR ADDITIONAL DETAILS  
(Dimensions in Millimetres)  
N.T.S.

#### LEGEND

- TYPE 1 < 2000 VPD
- TYPE 5 < 7000 VPD

AS CONSTRUCTED

|            |          |                        |         |                                                                                       |                                                               |                                                  |       |     |      |                                                                                     |                            |    |    |    |   |
|------------|----------|------------------------|---------|---------------------------------------------------------------------------------------|---------------------------------------------------------------|--------------------------------------------------|-------|-----|------|-------------------------------------------------------------------------------------|----------------------------|----|----|----|---|
| AMENDMENTS |          |                        |         |  | breese pitt dixon pty. ltd.<br>land surveyors civil engineers |                                                  |       |     |      | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |                            |    |    |    |   |
|            |          |                        |         |                                                                                       |                                                               |                                                  |       |     |      |                                                                                     |                            |    |    |    |   |
|            |          |                        |         |                                                                                       |                                                               |                                                  |       |     |      |                                                                                     |                            |    |    |    |   |
|            |          |                        |         |                                                                                       |                                                               |                                                  |       |     |      |                                                                                     |                            |    |    |    |   |
|            |          |                        |         |                                                                                       |                                                               |                                                  |       |     |      |                                                                                     |                            |    |    |    |   |
|            |          |                        |         | MELWAY REF.                                                                           | 388-C-10                                                      | RATHDOWNE ESTATE<br>STAGE 25<br>PAVEMENT DETAILS |       |     |      |                                                                                     | MUNICIPALITY<br>WHITTLESEA |    |    |    |   |
|            |          |                        | SURVEY  | BPD                                                                                   |                                                               |                                                  |       |     |      |                                                                                     |                            |    |    |    |   |
|            |          |                        | DESIGN  | RF                                                                                    | REFERENCE<br>9365 <sup>E</sup> /25                            |                                                  |       |     |      |                                                                                     |                            |    |    |    |   |
| A          | 09/07/24 | ISSUE FOR CONSTRUCTION | DRAWN   | RF                                                                                    |                                                               |                                                  |       |     |      |                                                                                     |                            |    |    |    |   |
| VER        | DATE     | REMARKS                | CHECKED | RGW                                                                                   | SCALE                                                         | AS SHOWN                                         | DATUM | AHD | DATE | JAN '24                                                                             | SHEET                      | 10 | OF | 11 | A |



2N16 TRIMMER BARS  
ACROSS EACH SIDE  
OF THE PIT

MELKSHAM AVENUE

BANK STREET

2539

2540

LEGEND:

- SC SAWCUT JOINT
- CJ CONSTRUCTION JOINT
- EJ EXPANSION JOINT

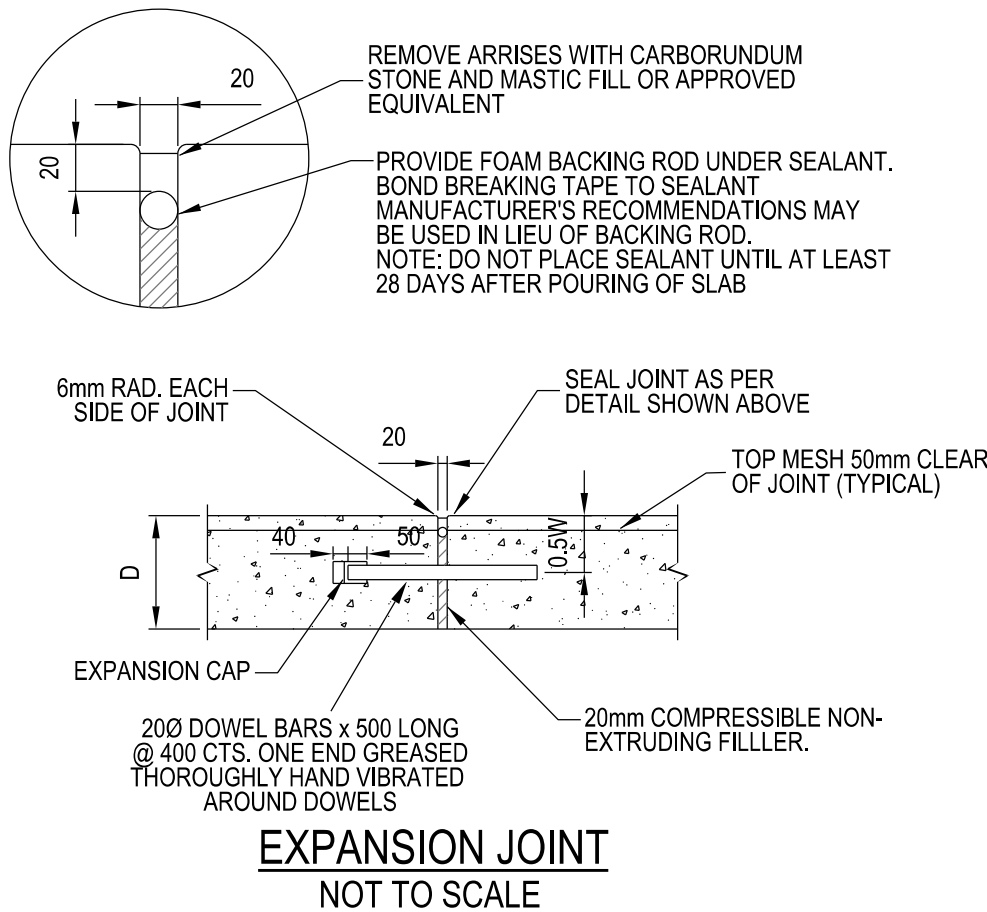
CONCRETE JOINTING PLAN

SCALE 1:100 @ A1

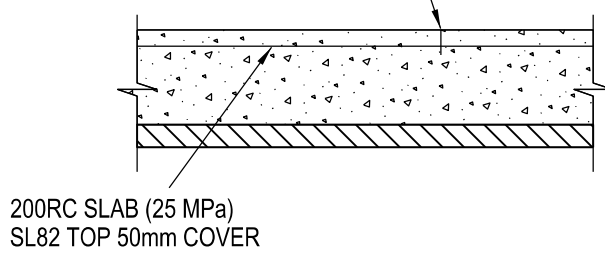


- 1) SLAB MUST BE SAWCUT AS SOON AS PRACTICABLE AFTER FINISHING OF THE SLAB WITHOUT CAUSING DAMAGE TO THE SAWCUT EDGES - USUALLY 12-24 HOURS.
- 2) SLABS MUST NOT BE POURED IF THE TEMPERATURE EXCEEDS 32°C.
- 3) HOT WEATHER PLACING (25°C AND OVER) MAY REQUIRE SLABS TO BE SAWCUT AS SOON AS 5-6 HOURS AFTER POURING.
- 4) ANY SLAB BAY IN WHICH SHRINKAGE CRACKS OCCUR DUE TO LATE SAWCUTTING MUST BE REMOVED AND REPLACED BY THE BUILDER/CONTRACTOR.

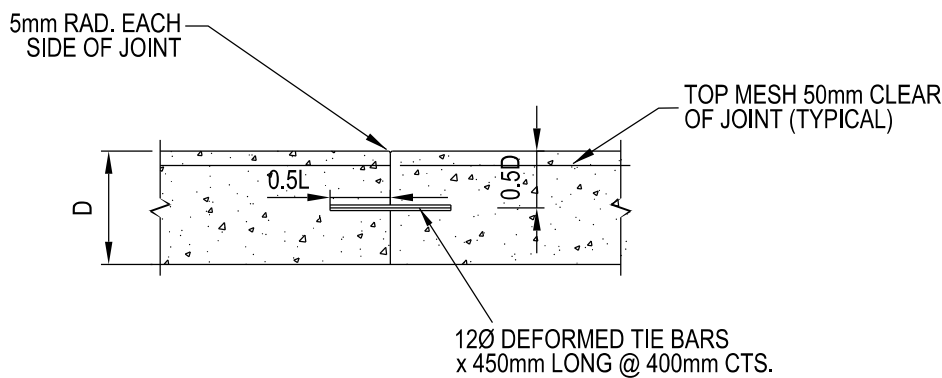
NOTES: RE SAWCUTTING



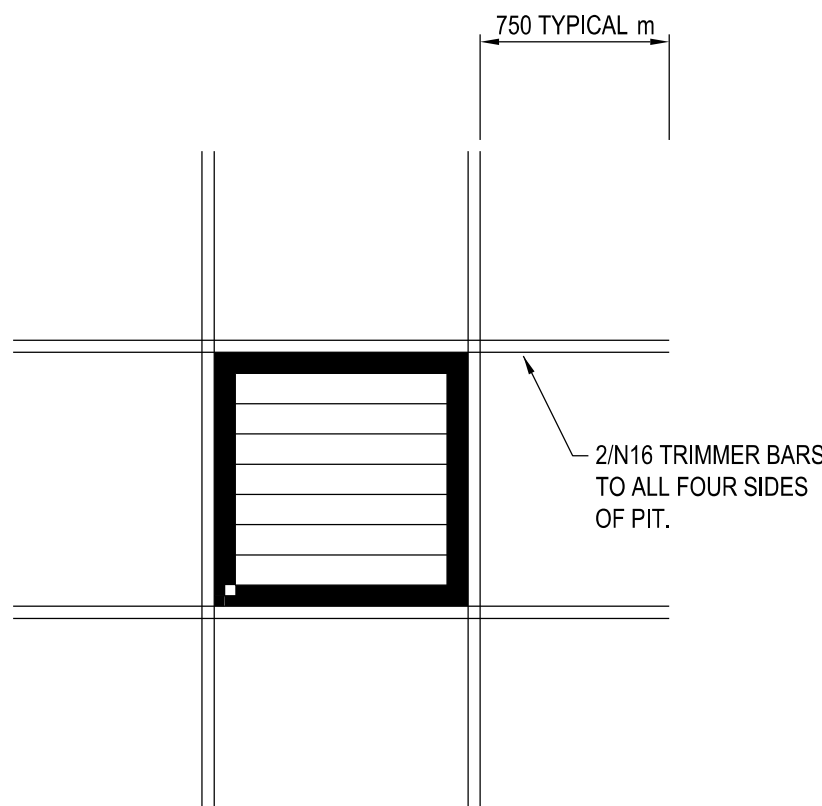
3mm WIDE x 50mm DEEP  
JUST PRIOR TO HANDOVER THE JOINTS ARE TO BE THOROUGHLY CLEANED OUT USING COMPRESSED AIR AND SCALED WITH SONOLASTIC ULTRA (OR APPROVED EQUIVALENT). HIGH PERFORMANCE POLYURETHANE JOINT SEALANT INSTALLED TO MANUFACTURERS SPECIFICATION.



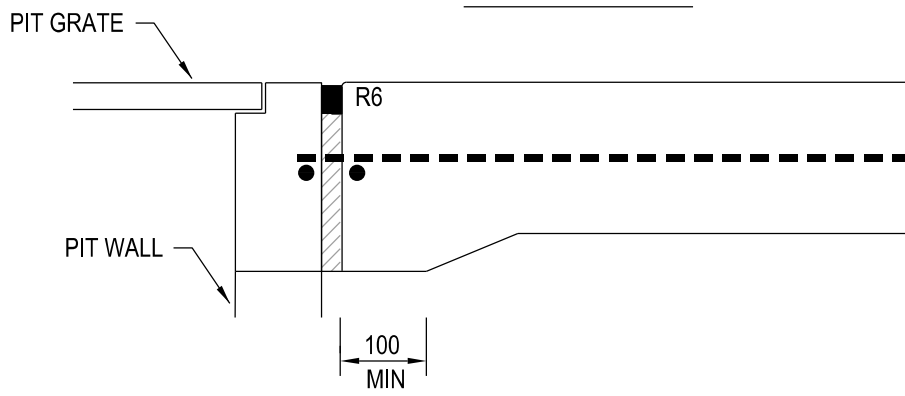
SAWCUT JOINT (SC) DETAIL  
NOT TO SCALE



CONSTRUCTION JOINT (CJ) DETAIL  
NOT TO SCALE



PIT DETAIL



PIT SECTION

AS CONSTRUCTED

|            |          |                        |  |                                                                                       |                                                               |  |                                                        |          |                                                                                     |       |                                   |  |      |         |  |       |          |  |   |
|------------|----------|------------------------|--|---------------------------------------------------------------------------------------|---------------------------------------------------------------|--|--------------------------------------------------------|----------|-------------------------------------------------------------------------------------|-------|-----------------------------------|--|------|---------|--|-------|----------|--|---|
| AMENDMENTS |          |                        |  |  | breese pitt dixon pty. ltd.<br>land surveyors civil engineers |  |                                                        |          | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |       |                                   |  |      |         |  |       |          |  |   |
|            |          |                        |  |                                                                                       |                                                               |  |                                                        |          |                                                                                     |       |                                   |  |      |         |  |       |          |  |   |
|            |          |                        |  |                                                                                       |                                                               |  |                                                        |          |                                                                                     |       |                                   |  |      |         |  |       |          |  |   |
|            |          |                        |  |                                                                                       |                                                               |  |                                                        |          |                                                                                     |       |                                   |  |      |         |  |       |          |  |   |
|            |          |                        |  |                                                                                       |                                                               |  |                                                        |          |                                                                                     |       |                                   |  |      |         |  |       |          |  |   |
|            |          |                        |  | MELWAY REF.                                                                           | 388-C-10                                                      |  | RATHDOWNE ESTATE<br>STAGE 25<br>CONCRETE JOINTING PLAN |          |                                                                                     |       | MUNICIPALITY                      |  |      |         |  |       |          |  |   |
|            |          |                        |  | SURVEY                                                                                | BPD                                                           |  |                                                        |          |                                                                                     |       | WHITTLESEA                        |  |      |         |  |       |          |  |   |
|            |          |                        |  | DESIGN                                                                                | RF                                                            |  |                                                        |          |                                                                                     |       | REFERENCE                         |  |      |         |  |       |          |  |   |
|            |          |                        |  | DRAWN                                                                                 | RF                                                            |  |                                                        |          |                                                                                     |       | 9365 <sup>E</sup> / <sub>25</sub> |  |      |         |  |       |          |  |   |
| A          | 09/07/24 | ISSUE FOR CONSTRUCTION |  | DRAWN                                                                                 | RF                                                            |  |                                                        |          |                                                                                     |       |                                   |  |      |         |  |       |          |  |   |
| VER        | DATE     | REMARKS                |  | CHECKED                                                                               | RGW                                                           |  | SCALE                                                  | AS SHOWN |                                                                                     | DATUM | AHD                               |  | DATE | JAN '24 |  | SHEET | 11 OF 11 |  | A |