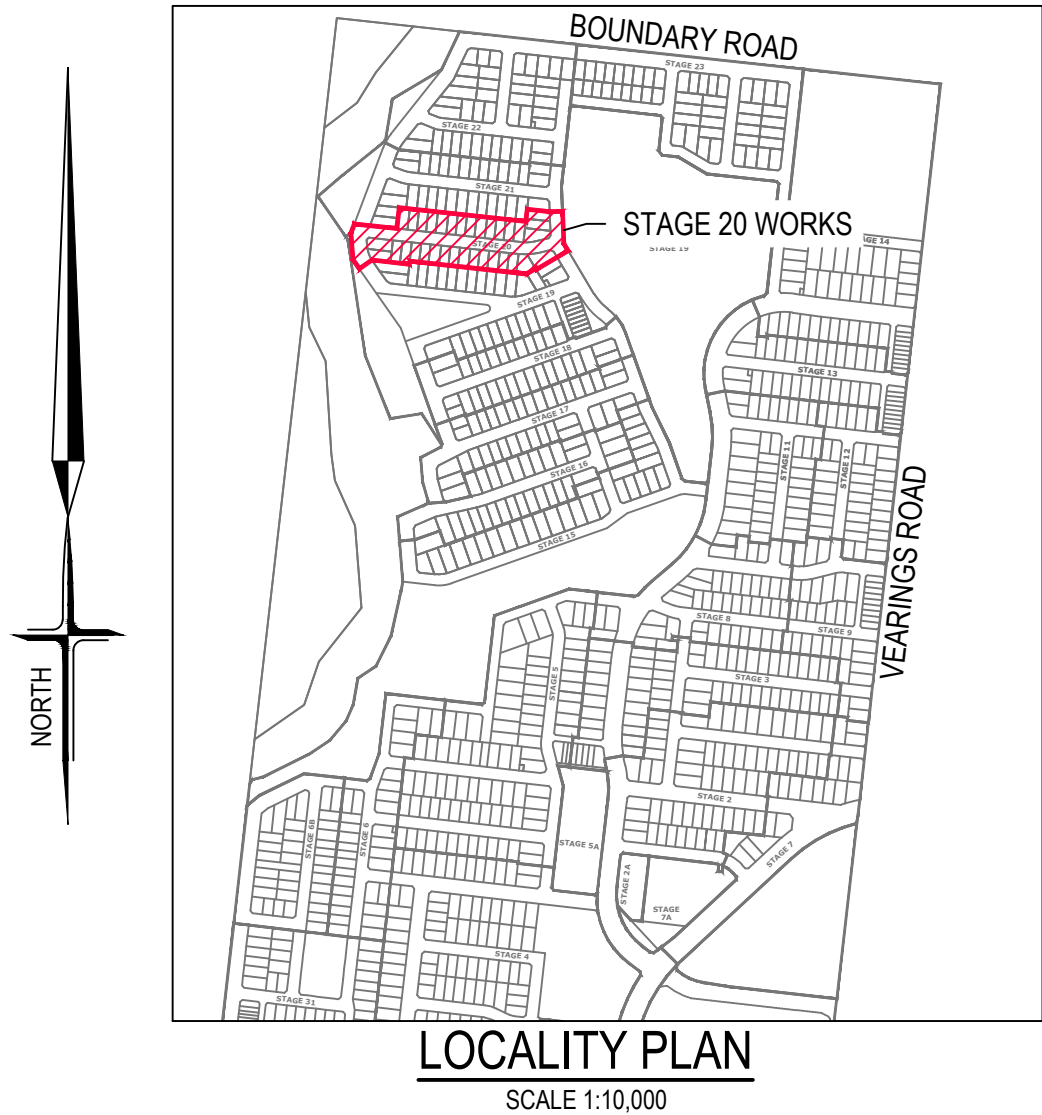
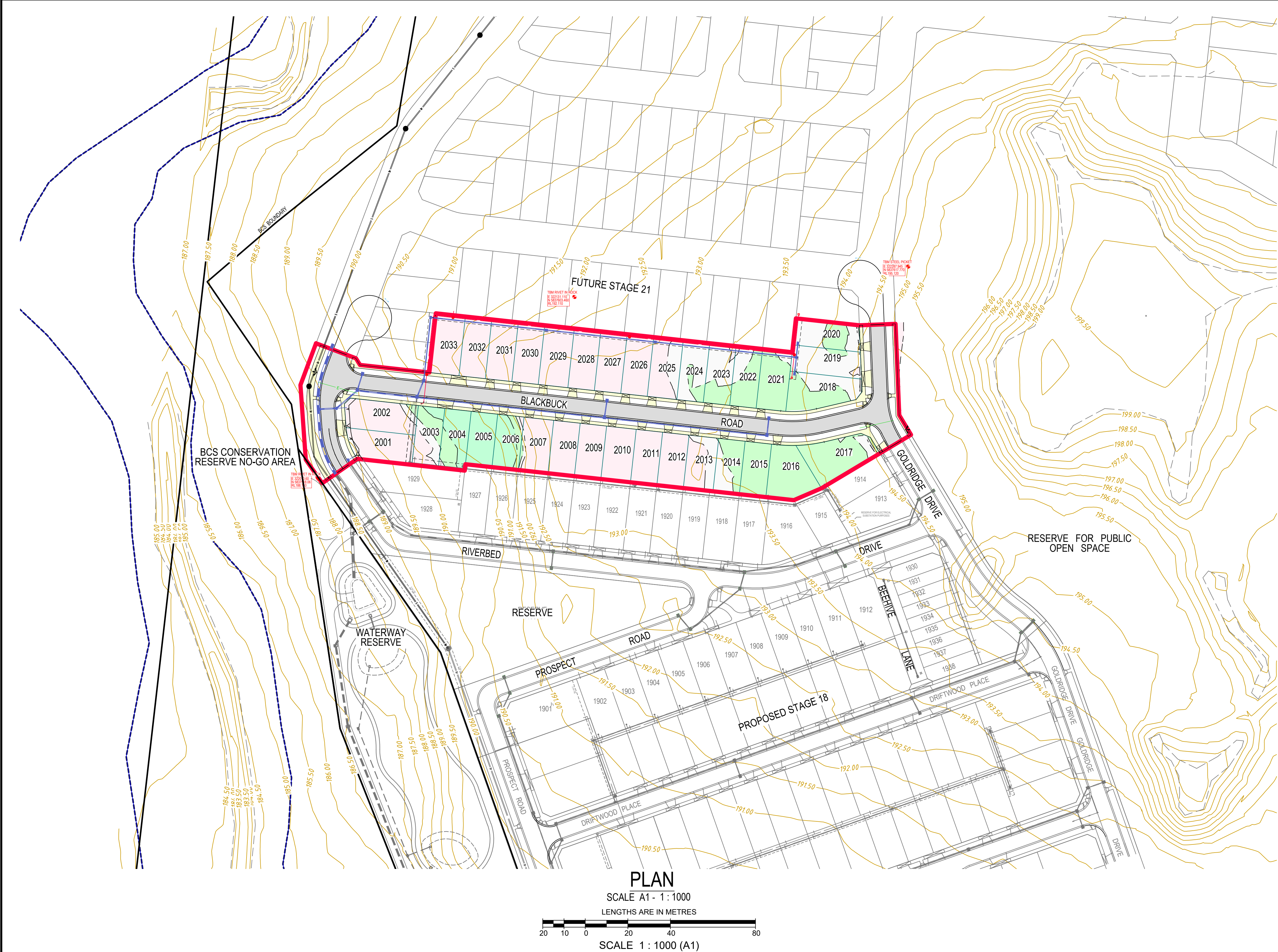




| SHEET INDEX |          |                                            |
|-------------|----------|--------------------------------------------|
| SHEET #     | REVISION | DESCRIPTION                                |
| 1           | B        | OVERALL PLAN                               |
| 2           | B        | DETAIL PLAN - SHEET 1                      |
| 3           | A        | NOTES, PAVEMENT DETAILS & TYPICAL SECTIONS |
| 4           | A        | INTERSECTION DETAILS - SHEET 1             |
| 5           | A        | GOLDRIDGE DRIVE LONGITUDINAL SECTION       |
| 6           | A        | GOLDRIDGE DRIVE CROSS SECTIONS             |
| 7           | A        | BLACKBUCK ROAD LONGITUDINAL SECTION        |
| 8           | A        | BLACKBUCK ROAD CROSS SECTIONS              |
| 9           | A        | RIVERBED DRIVE LONGITUDINAL SECTION        |
| 10          | A        | RIVERBED DRIVE CROSS SECTIONS              |
| 11          | A        | DRAINAGE LONGITUDINAL SECTIONS - SHEET 1   |
| 12          | A        | DRAINAGE LONGITUDINAL SECTIONS - SHEET 2   |
| 13          | A        | DRAINAGE PIT SCHEDULE                      |
| 14          | A        | SIGNAGE & LINEMARKING PLAN                 |

ATTENTION TO CONTRACTOR

1. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE DIGITAL PLAN, PROVIDED FOR SETOUT PURPOSES, MATCHES THE TBM COORDINATES SHOWN.

2. Contractor to ensure that the site is pegged and or set out checked by the licenced surveyor responsible for certifying the Plan of Subdivision prior to underground infrastructure being installed.

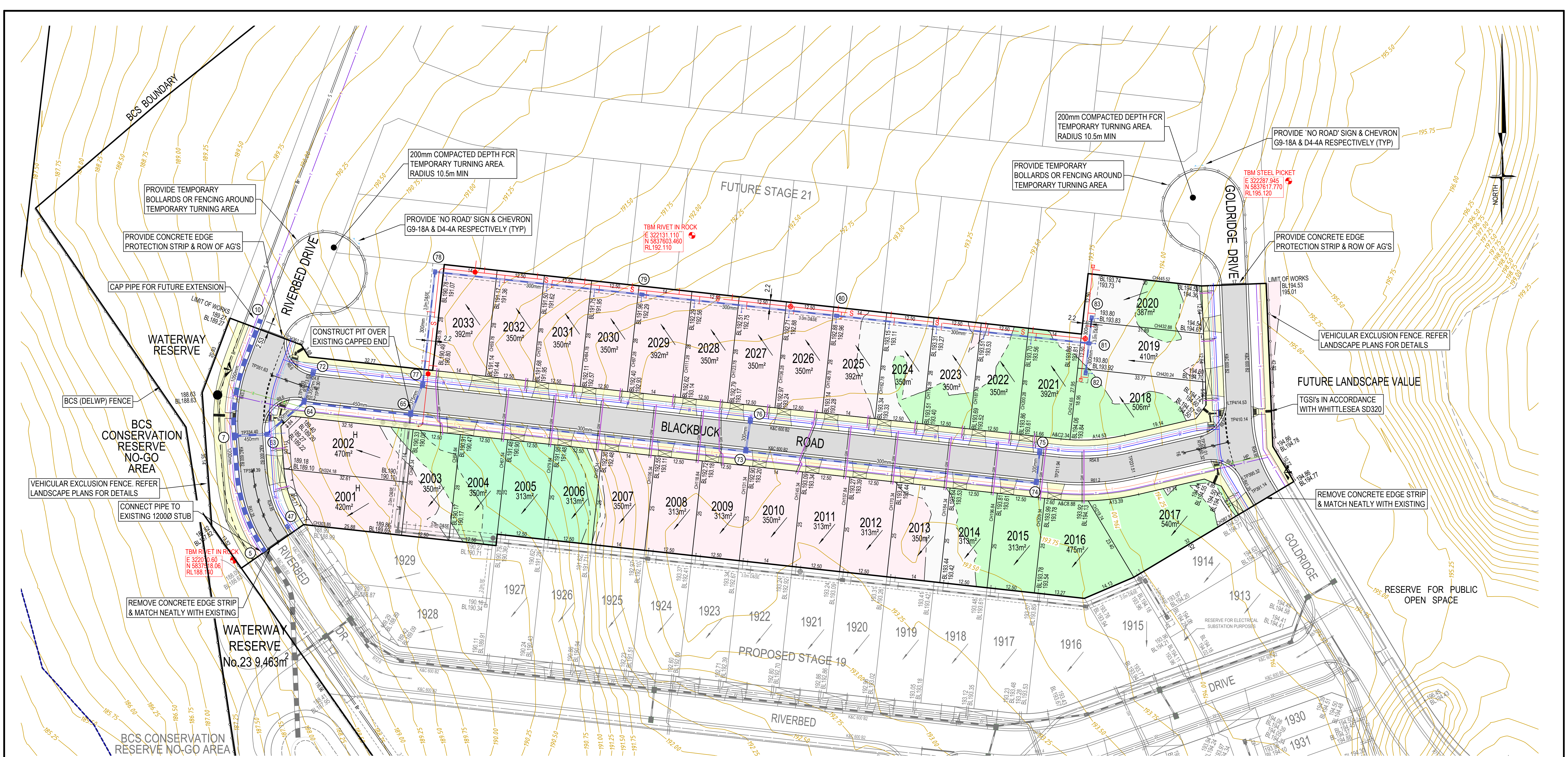
3. Where concrete works abut a sewer access chamber surround or similar structure, an expansion joint of approved material shall be provided between the two faces.

| Location        | Gas    | Water  |        | Communications |        | Electricity |          | BOK              | Road Width | Joint Trenching | Street Classification |
|-----------------|--------|--------|--------|----------------|--------|-------------|----------|------------------|------------|-----------------|-----------------------|
|                 |        | NDW    | DW     | Cables         | Pits   | Cables      | Poles    |                  |            |                 |                       |
|                 |        | 2.10 E | 3.10 E | 5.80 W         | 1.80 E | 6.60 W      | 1.00 BOK |                  |            |                 |                       |
| RIVERBED DRIVE  | 2.10 E | 2.60 E | 3.10 E | 5.80 W         | 1.80 E | 6.60 W      | 1.00 BOK | 4.35 E<br>8.05 W | 20.00      | G&W, FTTH&E     | STREET LEVEL 1        |
| GOLDRIDGE DRIVE | 2.10 W | 2.60 W | 3.10 W | 1.80 E         | 1.70 W | 2.60 E      | 1.00 BOK | 4.70 E<br>4.70 W | 17.00      | G&W, FTTH&E     | STREET LEVEL 1        |
| BLACKBUCK ROAD  | 2.10 N | 3.10 N | 2.60 N | 1.80 S         | 1.70 N | 2.60 S      | 1.00 BOK | 4.20 N<br>4.20 S | 16.00      | G&W, FTTH&E     | STREET LEVEL 1        |

NOTE: a) At the court bowl where water and gas mains pass, the watermain offset is to be increased by 0.5 metres.  
b) \* Indicates offsets from back of kerb where services do not run parallel to title boundary.  
c) \* Indicates Communication pits placed within concrete footpath.

AS CONSTRUCTED

|            |          |                        |                          |                                                                                                                                                     |                                                                                     |             |
|------------|----------|------------------------|--------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-------------|
| AMENDMENTS |          |                        |                          |  breese pitt dixon pty. ltd.<br>land surveyors civil engineers | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |             |
|            |          |                        |                          | MELWAY REF. -                                                                                                                                       | RATHDOWNE ESTATE<br>STAGE 20<br>OVERALL PLAN                                        |             |
|            |          |                        |                          | SURVEY B.P.D.                                                                                                                                       |                                                                                     |             |
|            |          |                        |                          | DESIGN B.P.D.                                                                                                                                       |                                                                                     |             |
| B          | 21/05/25 | ISSUE FOR CONSTRUCTION |                          | DRAWN M.T.                                                                                                                                          | REFERENCE<br>9365 E/20                                                              |             |
| A          | 28/04/25 | ISSUE FOR CONSTRUCTION |                          |                                                                                                                                                     |                                                                                     |             |
| VER        | DATE     | REMARKS                | CHECKED R.GOULD-WILLIAMS | SCALE AS SHOWN                                                                                                                                      | DATUM AHD                                                                           | DATE Jul 24 |
|            |          |                        |                          | SHEET 1 OF 14                                                                                                                                       | B                                                                                   |             |



PLAN  
SCALE A1 - 1 : 500  
LENGTHS ARE IN METRES  
SCALE 1 : 500 (A1)

| SYMBOL LEGEND                                              |                                                     |
|------------------------------------------------------------|-----------------------------------------------------|
| Drains                                                     | Prop                                                |
| Sewer < 3000                                               | S                                                   |
| Sewer ≥ 3000                                               | S                                                   |
| Water (DW)                                                 | W                                                   |
| Water (NDW)                                                | W                                                   |
| House Drain                                                | H                                                   |
| Property Inlet                                             | I                                                   |
| Street Sign                                                | Sign                                                |
| PSM                                                        | PSM                                                 |
| Rock Ret Wall                                              | Rock Ret Wall                                       |
| Sleeper Ret Wall                                           | Sleeper Ret Wall                                    |
| Conduits 50mm                                              | GW                                                  |
| Conduits 100mm                                             | W100                                                |
| Street Tree without/with Passive Irrigation (Refer Detail) | Tree                                                |
| Ex Drains                                                  | Ex W                                                |
| Ex Water DW/NDW                                            | Ex W                                                |
| Ex Sewer/Gas                                               | Ex S                                                |
| Ex Elect/Comm                                              | Ex E                                                |
| Ex Natural/FS Level                                        | Ex Natural/FS Level                                 |
| FS @ Building Line                                         | FS @ Building Line                                  |
| Top/Tee of Batter                                          | Top/Tee of Batter                                   |
| Top Ret. Wall Level                                        | Top Ret. Wall Level                                 |
| 100yr Flood Level                                          | 100yr Flood Level                                   |
| Fill Proposed (<0.3m/≥0.3m)                                | Fill Proposed (<0.3m/≥0.3m)                         |
| Cut Proposed                                               | Cut Proposed                                        |
| Asphalt Surface Prop                                       | Asphalt Surface Prop                                |
| Concrete Surface Prop (Paths/Driveways/Slabs)              | Concrete Surface Prop (Paths/Driveways/Slabs)       |
| Tree To Be Removed                                         | Tree To Be Removed                                  |
| Tree To Be Retained with Tree Protection Zone (TPZ)        | Tree To Be Retained with Tree Protection Zone (TPZ) |

|            |          |                                                                |                  |                                                                            |           |
|------------|----------|----------------------------------------------------------------|------------------|----------------------------------------------------------------------------|-----------|
| AMENDMENTS |          | bpd breese pitt dixon pty. ltd. land surveyors civil engineers |                  | 1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310 |           |
|            |          | MELWAY REF.                                                    | -                | RATHDOWNE ESTATE                                                           |           |
|            |          | SURVEY                                                         | B.P.D.           | STAGE 20                                                                   |           |
|            |          | DESIGN                                                         | B.P.D.           | DETAIL PLAN                                                                |           |
|            |          | DRAWN                                                          | M.T.             | MUNICIPALITY WHITTLESEA                                                    |           |
|            |          | CHECKED                                                        | R.GOULD-WILLIAMS | REFERENCE 9365 E/20                                                        |           |
| VER        | DATE     | REMARKS                                                        | CHECKED          | SCALE AS SHOWN                                                             | DATUM AHD |
| B          | 21/05/25 | ISSUE FOR CONSTRUCTION                                         |                  | DATE                                                                       | Jul 24    |
| A          | 28/04/25 | ISSUE FOR CONSTRUCTION                                         |                  | SHEET                                                                      | 2 OF 14   |

NOTES:

1. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH PLANS AND CURRENT CITY OF WHITTLESEA SPECIFICATIONS AND STANDARD DRAWINGS APPROVED BY COUNCIL AND TO THE SATISFACTION OF THE ENGINEER.
2. COUNCIL TO BE NOTIFIED 2 CLEAR DAYS PRIOR TO COMMENCEMENT OF WORKS.
3. DRAINAGE AND PITS TO BE SETOUT FROM OFFSETS SHOWN RATHER THAN FROM CENTRELINE PIPE CHAINAGES. REFER EDM01-608 FOR FURTHER DETAILS.
4. ALL PIPES TO BE CLASS 2 UNLESS OTHERWISE SPECIFIED AND SHALL BE RRJ UP TO AND INCLUDING 75mm DIAMETER. PIPES ABOVE THIS SIZE MUST BE FLUSH JOINTED WITH EXTERNAL SEALING BANDS. ALL DRAINS THAT CROSS UNDER ROAD PAVEMENTS ARE TO BE CLASS 4 R.C.P.
5. JOINTING FOR CURVED PIPE ALIGNMENT SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS (RRJ'S FOR MINOR DEFLECTIONS OR COMPLETE R.C. BANDAGES)
6. PROPERTY INLETS ARE TO BE PLACED 1.0m FROM THE LOW CORNER OF LOT UNLESS OTHERWISE SHOWN.
7. LOTS DENOTED THUS 416H ARE TO BE PROVIDED WITH A 100mm HOUSE DRAIN PLACED 5.5m FROM THE LOW CORNER OF THE LOT UNLESS OTHERWISE SHOWN. HOUSE DRAINS TO BE CONNECTED TO STREET DRAINAGE WITH 27A & CAP, CLEAR OF ANY PAVING. IF CONNECTION IS WITHIN PAVING A PIT MUST BE USED.
8. APPROVED GRANULAR BACKFILL TO BE PROVIDED WHERE PIPE TRENCHES ENCROACH UNDER ROADWAY DUE TO DEEP EXCAVATIONS IN ROCK.
9. SHALLOW CUT OFF DRAINS ARE TO BE PROVIDED ON SUBDIVISION BOUNDARY WHERE NECESSARY.
10. PRIOR TO COMMENCEMENT OF WORKS ON SITE, THE CONTRACTOR MUST ENSURE THAT ALL MATTERS RELATING TO THE OCCUPATIONAL HEALTH AND SAFETY ACT 2004, INCLUDING ALL RELEVANT REGULATIONS, HAVE BEEN ADDRESSED. IN PARTICULAR, THE REQUIRED NOTIFICATIONS MUST BE CONVEYED TO THE VICTORIAN WORKCOVER AUTHORITY - HEALTH & SAFETY DIVISION WITH RESPECT TO TRENCHING OPERATIONS. DETAILS OF THE CONTRACTORS OCCUPATIONAL HEALTH & SAFETY PROCEDURES MUST BE LODGED WITH THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF WORKS.
11. AGRICULTURAL PIPE DRAINS TO BE PLACED BEHIND ALL KERB AND CHANNEL AND BUFFER PITCHERS AND WHERE DIRECTED BY THE ENGINEER (REFER TO STD DRG EDM202).
12. ALL DRAINAGE TRENCHES UNDER ROAD PAVEMENTS, KERB & CHANNEL, PARKING BAYS, DRIVEWAYS, FOOTPATHS AND BEHIND KERB & CHANNEL SHALL BE BACKFILLED WITH CRUSHED ROCK
13. BATTERS SHALL BE 1 IN 6 FOR CUT & FILL UNLESS OTHERWISE SHOWN. BATTERS EXCEEDING 1 IN 6 MUST BE STABILISED AS PER COUNCIL REQUIREMENTS.
14. ALL NATIVE TREES AND SHRUBS TO BE RETAINED UNLESS ROAD CONSTRUCTION NECESSITATES THEIR REMOVAL OR REMOVAL IS DIRECTED BY THE ENGINEER.
15. LOTS TO BE GRADED AND LEFT CLEAN TO THE SATISFACTION OF THE ENGINEER.
16. ON COMPLETION THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF RUBBISH AND SPOIL FROM SITE.
17. WHERE WORKS ARE IN THE VICINITY OF EXISTING SERVICES, THESE SERVICES ARE TO BE LOCATED AND THE VARIOUS AUTHORITIES NOTIFIED PRIOR TO COMMENCEMENT OF WORKS.
18. ALL MATERIAL SURROUNDING SERVICE AUTHORITY PITS LOCATED IN FOOTPATHS MUST BE ADEQUATELY COMPACTED IN 150mm LAYERS AND TESTED TO THE SATISFACTION OF THE CITY OF WHITTLESEA PRIOR TO THE CONSTRUCTION OF FOOTPATH BAYS ADJACENT TO THESE PITS.
19. THE WATER CONDUIT OFFSET FROM THE LOT BOUNDARY IS GIVEN ON THE WATER RETICULATION PLAN. THE CONTRACTOR MUST CONSTRUCT CONDUITS TO ACCORD WITH THE GIVEN OFFSET AND ENSURE THAT THE CONCRETE MARKS THE KERB AND FOOTPATH EXACTLY ABOVE THE CONDUIT.
20. ALL GAS AND WATER CONDUITS FOR RESIDENTIAL LOTS TO BE PVC CLASS 12, 50mm DIAMETER & 100mm DIAMETER RESPECTIVELY.
21. TELSTRA/NBN Co to BE NOTIFIED 7 DAYS PRIOR TO CONCRETE BEING PLACED.
22. CONDUITS ARE TO BE EXTENDED 450mm BEHIND FACE OF KERB AND TO BE REFERENCED ON FACE OF KERB.
23. ALL STREET SIGNS TO BE CONSTRUCTED AND ERECTED TO CURRENT CITY OF WHITTLESEA STANDARDS. STREET NAME PLATES TO BE IN ACCORDANCE WITH STANDARD DRAWING SD025, INCLUDING "NO THROUGH ROAD" NOMINATION WHERE APPLICABLE.
24. TRAFFIC CONTROL SIGNS, MARKINGS & DELINEATORS TO BE INSTALLED IN ACCORDANCE WITH AS1742.2. ALL LINE MARKING IS TO BE LONG LIFE ROAD MARKING, WITH LONGITUDINAL LINES IN THERMOPLASTIC & TRANSVERSE MARKINGS IN COLD APPLIED.
25. ALL DRIVEWAYS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH EDM501 & 502 AND ARE TO BE OFFSET 0.75m FROM SIDE BOUNDARY OR EASEMENT UNLESS OTHERWISE SHOWN.
26. ALL DRIVEWAY RAMPS INTO PROPERTIES ARE TO BE CUT IN AT A MAXIMUM GRADE OF 1 IN 6.
27. ALL PEDESTRIAN CROSSINGS ARE TO BE CONSTRUCTED GENERALLY IN ACCORDANCE WITH EDM403. ALL PRAM CROSSING SPLAYS MUST BE 600mm WIDE AND NO GREATER.
28. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND TOPSOIL REPLACED TO OBTAIN FINAL FILL LEVELS AS SHOWN ON PLANS. FILLING TO BE CLEAN CLAY COMPACTED TO A DRY DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY VALUE DETERMINED BY THE STANDARD COMPACTION TEST IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1289.5.2.1-2003. CONTROL TESTING TO COMPLY WITH AS3798-2007 APPENDIX B, LEVEL 1.
29. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL IMPORTED FILL MATERIAL, INCLUDING TOPSOIL, SATISFIES THE DESCRIPTION FOR CLEAN FILL MATERIAL IN EPA BULLETIN PUBLICATION No. 448 (SEPT '95) AND SUBSEQUENT REVISIONS. THE CONTRACTOR SHALL PROVIDE VERIFICATION INCLUDING TEST CERTIFICATES TO THE SUPERVISING ENGINEER.
30. FILL REQUIRED UNDER ROADWAY KERB AND CHANNEL AND FOOTPATH TO BE UNDERTAKEN AS PER COUNCIL'S CONSTRUCTION SPECIFICATION FOR ROAD & DRAINAGE WORKS 20.6 (TYPE A MATERIAL AS PER VICROADS STANDARD SPECIFICATION 204) AND COMPACTED TO 98% AASHO IN 150mm LAYERS.
31. PAVEMENT DEPTH MAY NOT BE ALTERED WITHOUT WRITTEN APPROVAL FROM CITY OF WHITTLESEA DEVELOPMENT ENGINEERING UNIT PRIOR TO THE COMMENCEMENT OF WORKS. ADDITIONAL COSTS WILL NOT BE CONSIDERED POST TENDER.
32. THE CONTRACTOR IS TO ORGANISE AND PAY FOR TESTING OF PAVEMENT BASE COURSE MATERIAL AND FINAL LAYER OF CRUSHED ROCK. A COPY OF RESULTS IS TO BE FORWARDED TO THE DIRECTOR OF ENGINEERING OR HIS REPRESENTATIVE. THE RESULTS MUST MEET THE REQUIREMENTS OF THE CITY OF WHITTLESEA SPECIFICATION BEFORE ANY FURTHER WORKS ARE REQUIRED.
33. THE CONTRACTOR MUST COMPLETE A LEVEL CHECK BETWEEN ALL TBM'S TO VERIFY LEVEL VALUES BEFORE COMMENCEMENT OF WORKS. ALL TBM's AND CONTROL POINTS ARE TO BE MAINTAINED AND PROTECTED AT ALL TIMES DURING CONSTRUCTION. SHOULD ANY MARKS BE DISTURBED, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE DEVELOPER'S CONSULTANT TO ARRANGE RE-INSTALLMENT AT THE CONTRACTORS EXPENSE.

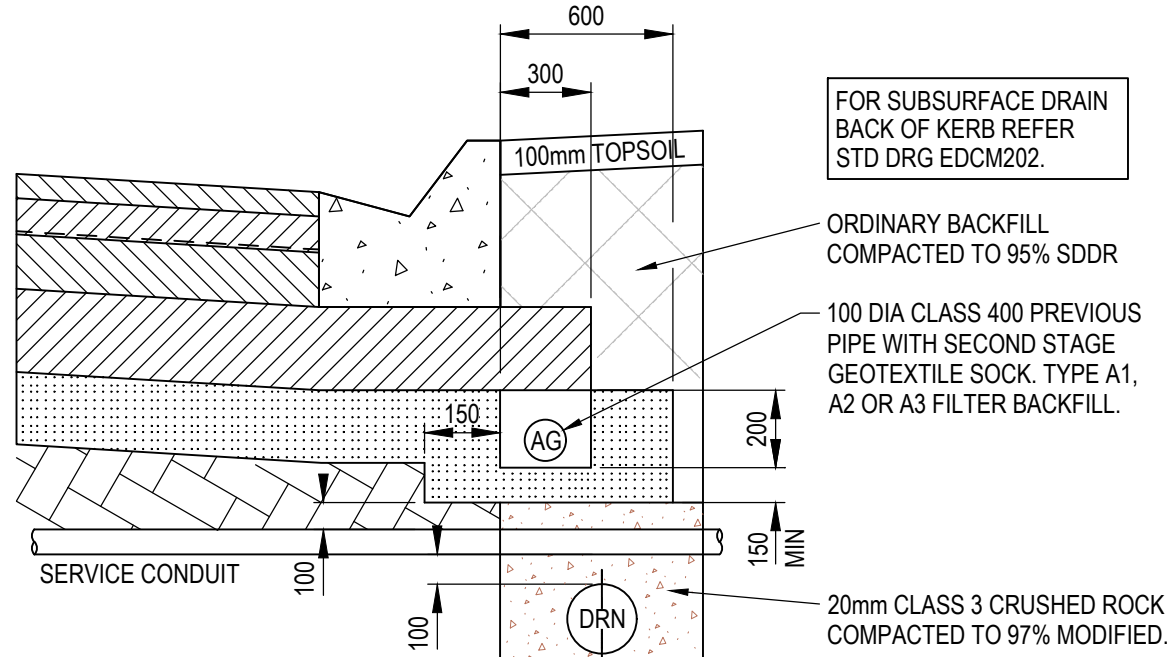
34. PRIOR TO COMMENCEMENT OF WORKS, THE CONTRACTOR MUST SUBMIT A SMP TO THE DEVELOPER'S CONSULTANT FOR APPROVAL. THE CONTRACTOR MUST COMPLY WITH THE RECOMMENDATIONS OF THE ENVIRONMENT PROTECTION AUTHORITY PUBLICATION No.275 "CONSTRUCTION TECHNIQUES FOR SEDIMENT POLLUTION CONTROL" AND MW SITE ENVIRONMENTAL MANAGEMENT POLICY 3.8.2. APPROPRIATE SILTATION CONTROL IS TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD OF THE WORKS. THE SMP SHALL BE APPROVED BY CITY OF WHITTLESEA DEVELOPMENT ENGINEERING UNIT PRIOR TO THE COMMENCEMENT OF WORKS.
35. ALL FOOTPATHS IN ROADS TO BE OFFSET 50mm FROM PROPERTY BOUNDARY. FOOTPATHS CONSTRUCTED ABOVE EXISTING LEVEL TO BE CONSTRUCTED ON APPROVED FILL (TO AS-3798) OF F.C.R. INTO NATURAL GROUND.
36. PRIOR TO COMMENCEMENT OF WORKS TREE PROTECTION ZONES (TPZ) ARE TO BE INSTALLED AS SPECIFIED IN THE ANNOTATED DETAILS FORMING PART OF THE PLANNING PERMIT TO TREES NOTED "TO BE RETAINED". THIS INCLUDES THE FOLLOWING
  - RING LOCK WIRE MESH MINIMUM 1.20m HIGH (STD DRG SDL2.02)
  - MAIN POSTS 100mm TREATED PINE (TP), MINIMUM 1.80m HIGH
  - INTERMEDIATE POSTS STEEL STAR PICKETS (SP), MINIMUM 1.80m HIGH
  - THE CORNER POSTS ARE TO BE TP WITH TP STAYS
  - EVERY THIRD POST TO BE TP
  - SP TO BE PLACED INTERMEDIATELY BETWEEN THE TP AT MAX 3.0m INTERVALS
  - THE RING LOCK MESH TO ENCIRCLE THE STRUCTURE AND BE FIRMLY SECURED AT EACH POST
  - POSTS MUST BE SUNK INTO THE GROUND BY 450mm (THERE IS TO BE NO CONCRETE TO SECURE POSTS AS THIS WILL AFFECT pH LEVELS)
  - HIGH VISIBILITY HAZARD MARKER TAPE SECURELY FIXED TO TOP OF WIRE MESH FENCE WITH WIRE TIES
  - THE TREE PROTECTION ZONE IS TO BE CLEARLY SIGN POSTED IN ACCORDANCE WITH CONDITION 20 OF THE PLANNING PERMIT (STD DRG SDL2.03)

NO EXCAVATION SHALL BE CARRIED OUT WITHIN 5.0m OF ANY TREE UNTIL APPROVAL IS GIVEN BY THE ENGINEER.

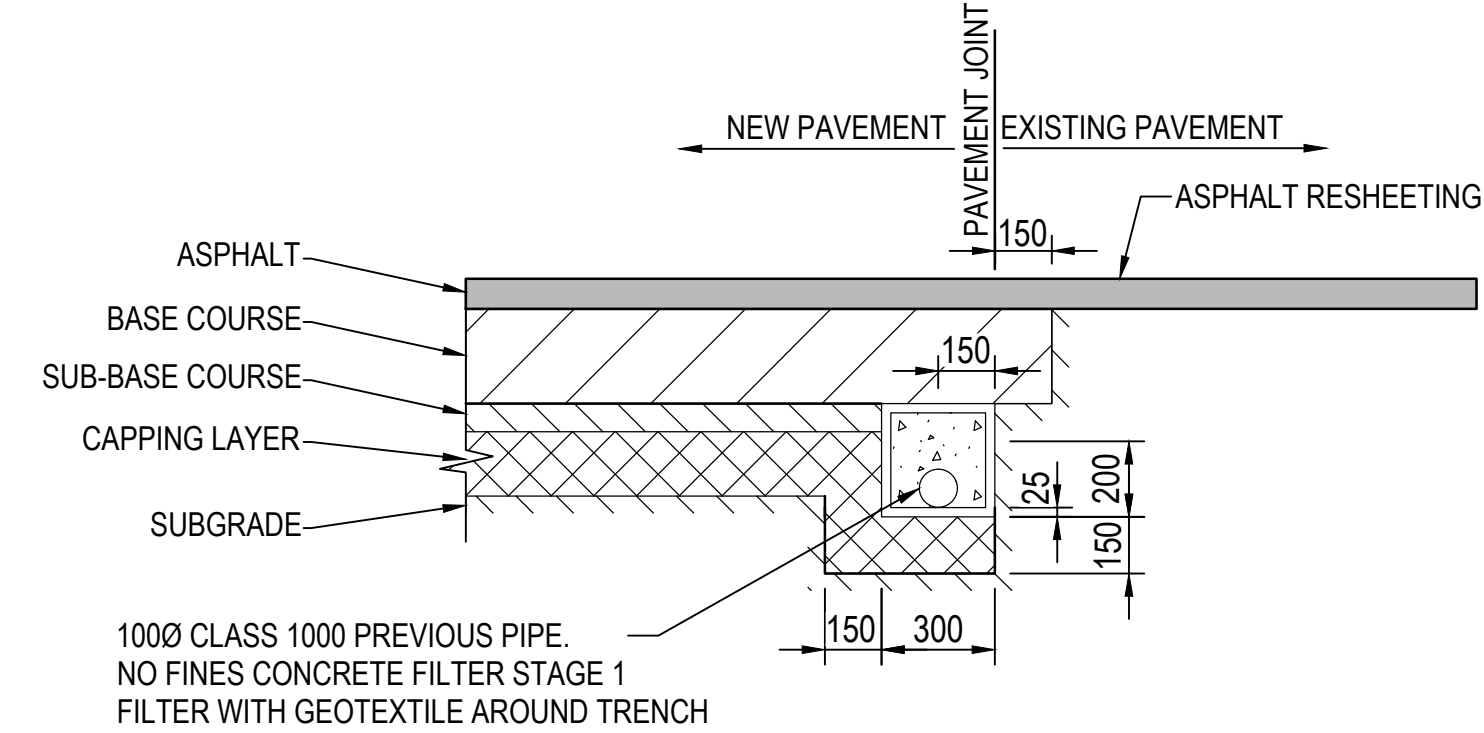
37. PROVIDE 1.8m HIGH PALING FENCE ALONG ANY COMMON BOUNDARY BETWEEN A LOT AND MUNICIPAL RESERVE. FENCING TO BE ERECTED BY THE DEVELOPER (OR OWNER) AT NO COST TO COUNCIL. PALINGS TO BE ON THE RESERVE SIDE AND CONSTRUCTED IN ACCORDANCE WITH COUNCIL STANDARD DRAWING SDL 3.09 & SDL 3.10.
38. VEHICULAR EXCLUSION FENCING TO BE PROVIDED ALONG THE ROAD FRONTAGES OF ALL RESERVES. REFER LANDSCAPE PLANS FOR FENCE DETAILS. FENCING TO BE CONSTRUCTED AS PART OF LANDSCAPE WORKS.
39. PROVIDE TEMPORARY SAFETY BARRIER FENCE (FARM FENCE AS PER MW STD. DWG. 7251/8/203) ALONG EDGE OF OUTFALL DRAINS. SAFETY FENCE TO REMAIN UNTIL PERMANENT UNDERGROUND DRAINAGE IS INSTALLED.

40. EXISTING DAM OR WATERCOURSES TO BE EXCAVATED TO A FIRM BASE AND BACKFILLED AS SPECIFIED. DEVELOPER'S CONSULTANT TO BE NOTIFIED WHEN THE DAM OR WATERCOURSES ARE EXCAVATED TO A FIRM BASE. NO FILLING IS TO BE PLACED PRIOR TO DAMS BEING INSPECTED AND LEVELS TAKEN. BACKFILLING IS TO BE CARRIED OUT TO THE SATISFACTION OF THE COUNCIL SUPERVISING ENGINEER.
41. TACTILE GROUND SURFACE INDICATORS (TGSi) ARE TO BE INSTALLED WHERE SHOWN IN ACCORDANCE WITH COUNCIL STD DRG SD320 AND AS1428.
42. A BUILDING PERMIT MUST BE OBTAINED FOR ANY STRUCTURAL/RETAINING WALL EXCEEDING 1.0m IN HEIGHT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. A COPY OF BUILDING PERMITS AND 'CERTIFICATE OF COMPLIANCE - CONSTRUCTION' TO BE SUBMITTED TO COUNCIL PRIOR TO STATEMENT OF COMPLIANCE.

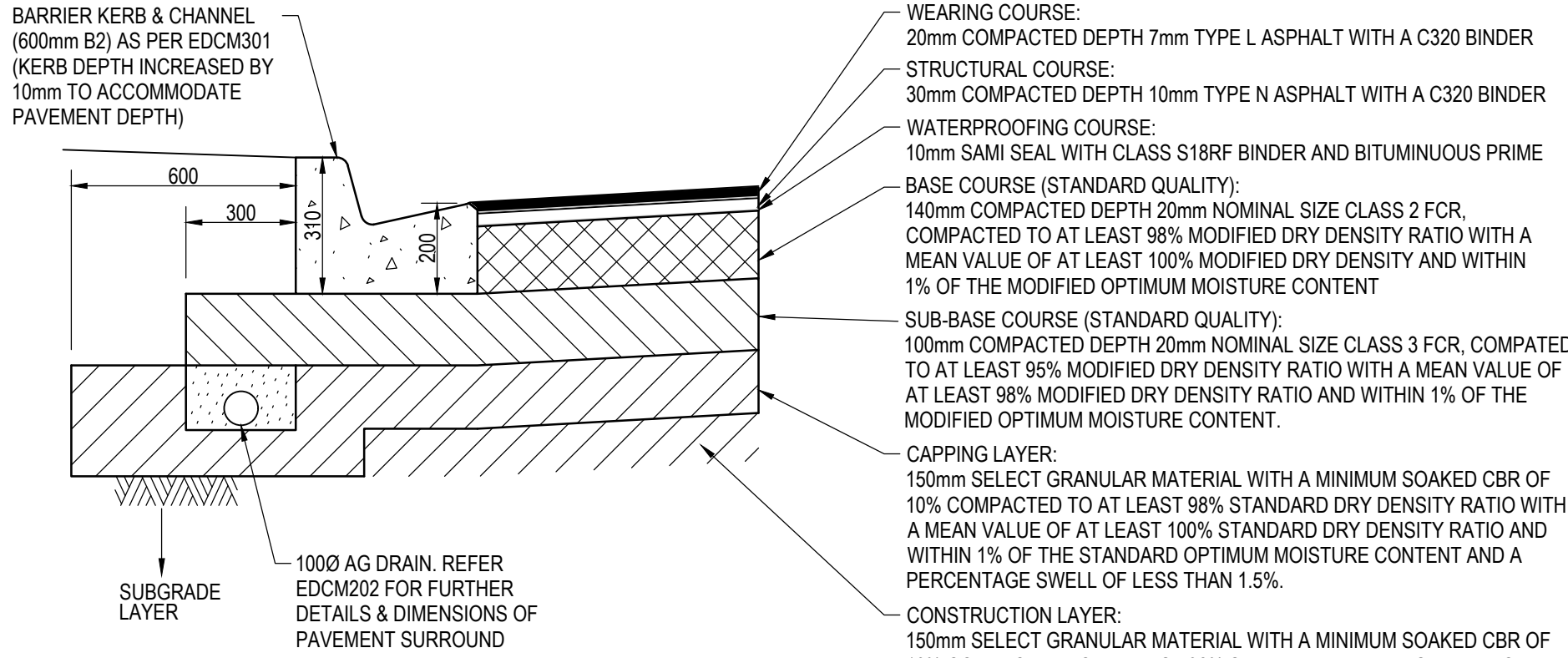
43. ALL STRUCTURAL WORKS MUST BE SUPERVISED BY A QUALIFIED STRUCTURAL ENGINEER.
44. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES. ANY DAMAGE TO EXISTING SERVICES OR UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
45. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES. ANY DAMAGE TO EXISTING STRUCTURES OR UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.



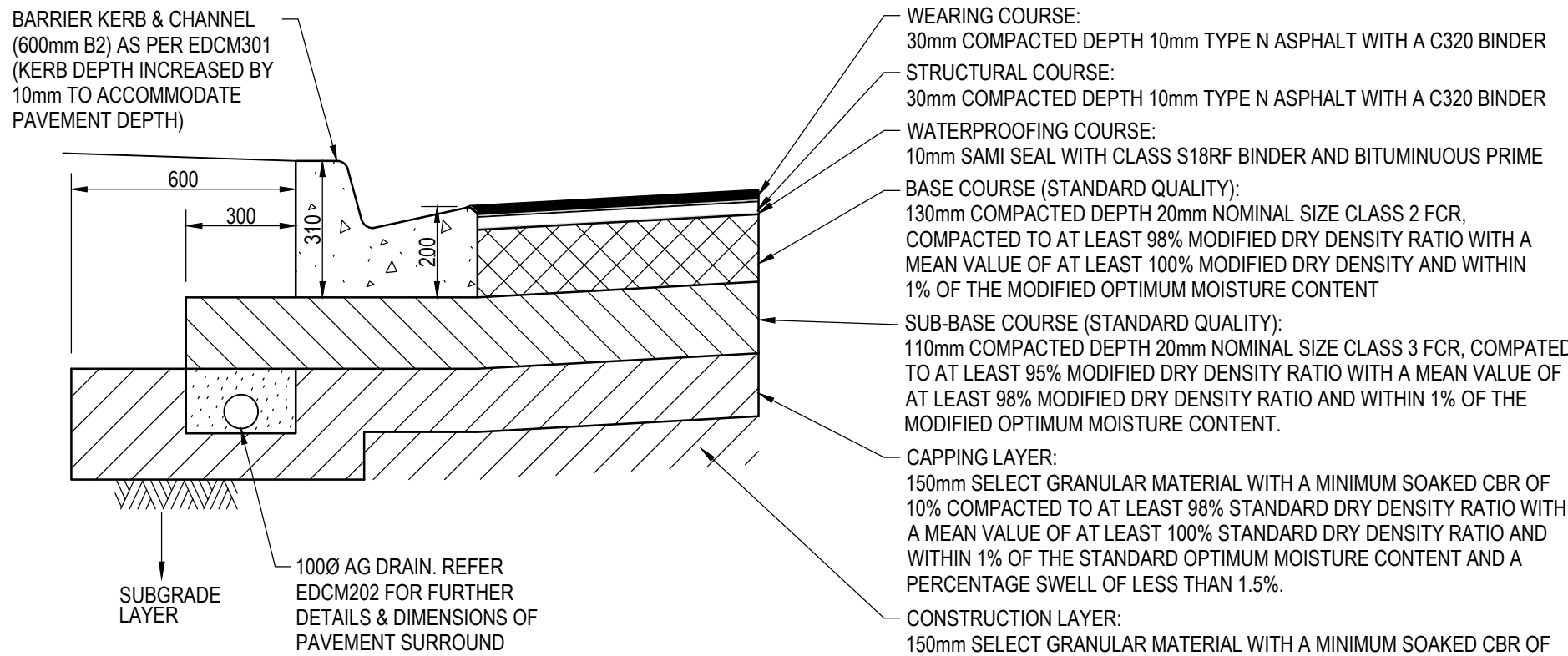
SUBSURFACE DRAIN  
NTS



INTERFACE OF EXISTING AND PROPOSED PAVEMENT  
(DIMENSIONS IN MILLIMETERS)



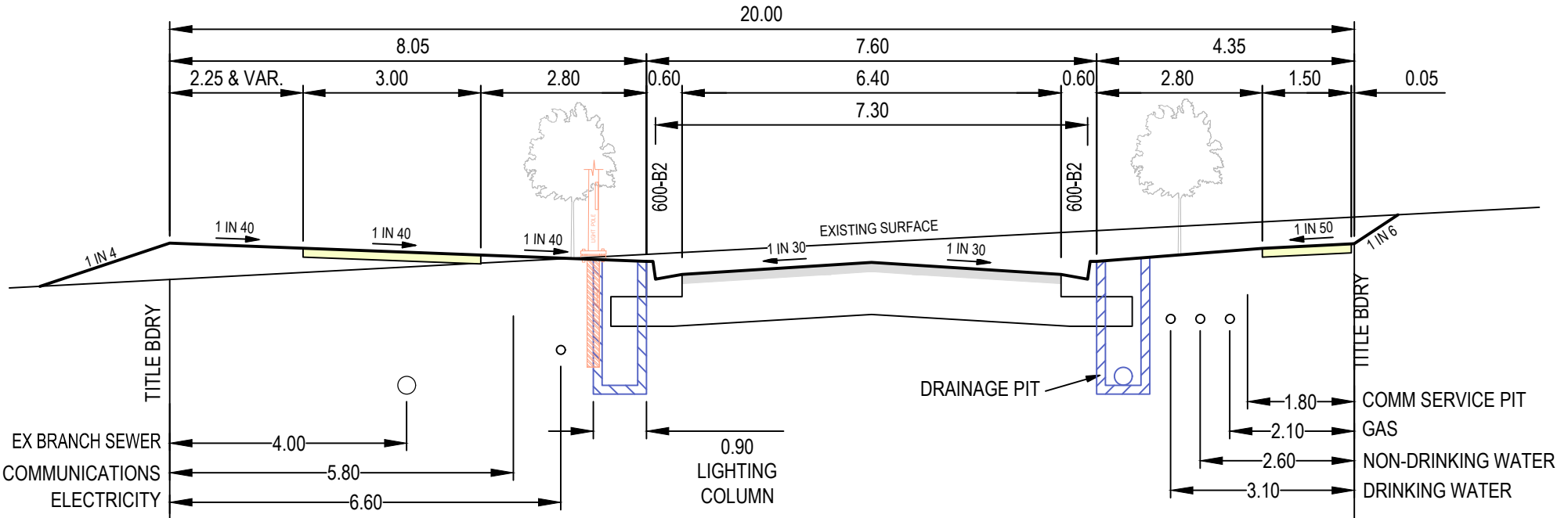
AREA 2 - 600mm DEPTH  
(RIVERBED DR, BLACKBUCK RD)



AREA 3 - 610mm DEPTH  
(GOLDRIDGE DR)

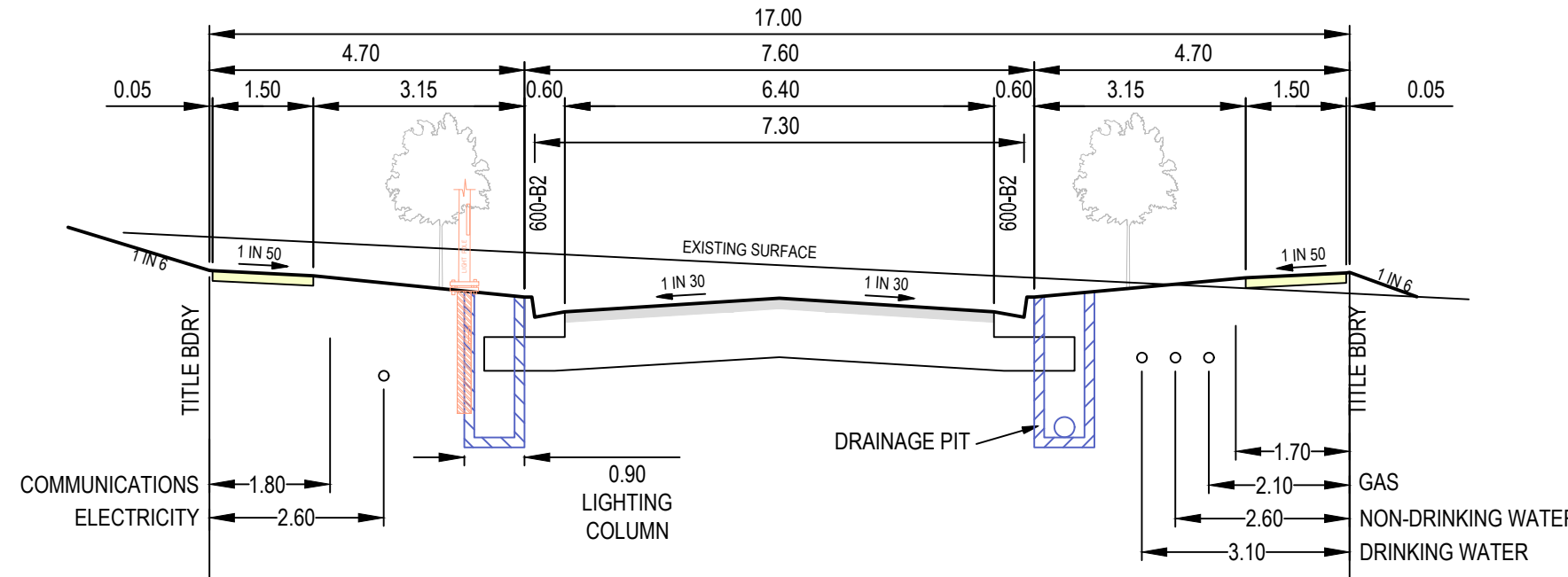
PAVEMENT COMPOSITION

SCALE A1 - N.T.S  
REFER TO MRSC SD 027 FOR FURTHER AG,  
SERVICE CONDUIT AND TRENCH BACKFILL DETAILS



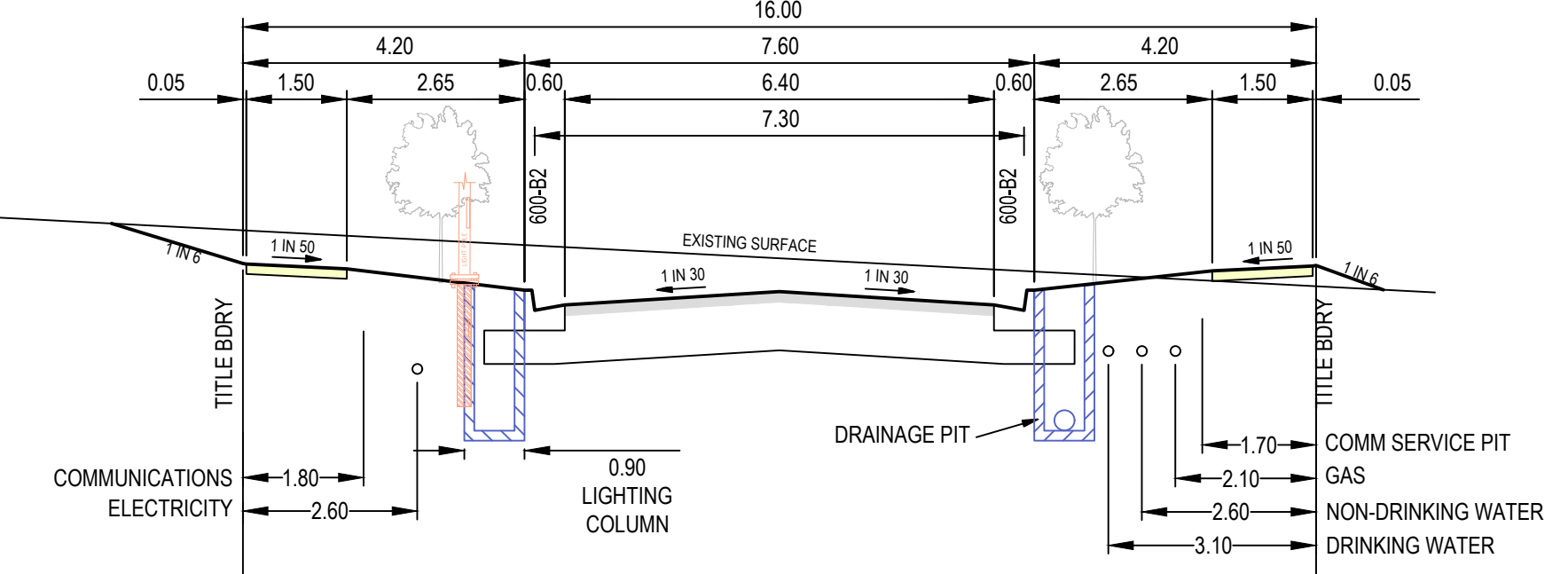
RIVERBED DRIVE

20.0m ROAD RESERVE  
ACCESS STREET TYPE 1



GOLDRIDGE DRIVE

17.0m ROAD RESERVE  
ACCESS STREET TYPE 1



BLACKBUCK ROAD

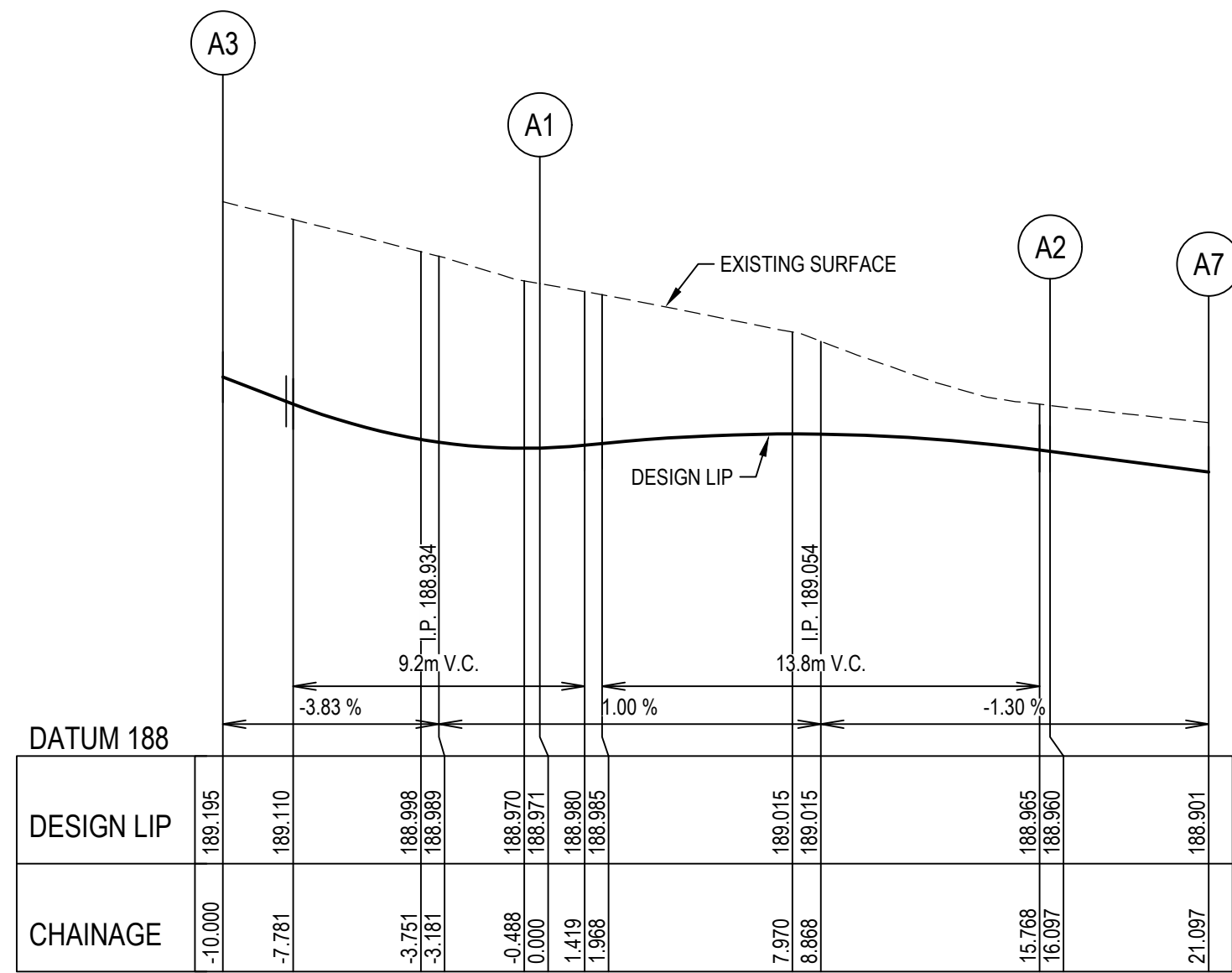
16.0m ROAD RESERVE  
ACCESS STREET TYPE 1

TYPICAL ROAD CROSS SECTIONS

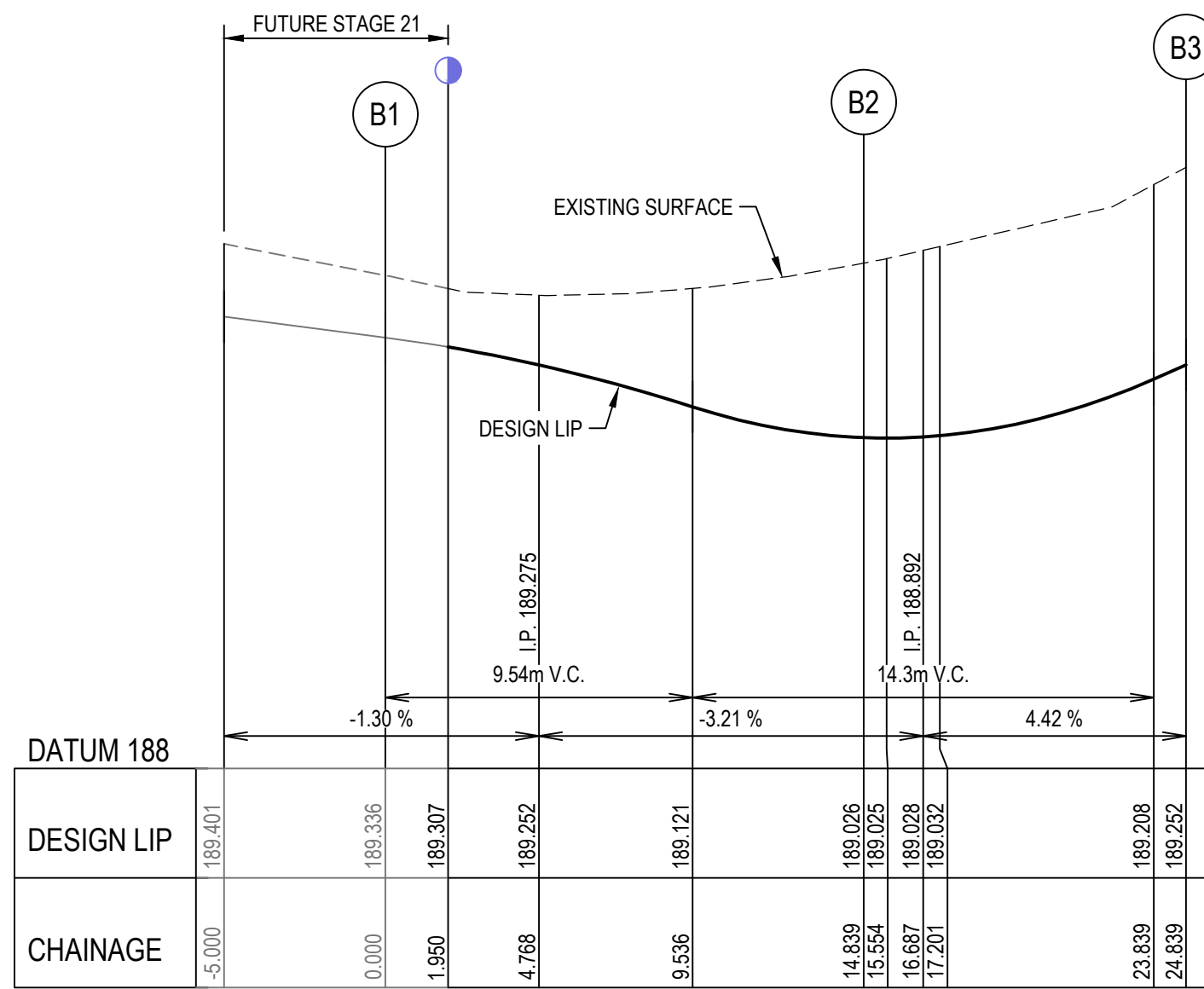
SCALE HORIZONTAL 1:100  
VERTICAL 1:50  
LENGTHS ARE IN METRES  
SCALE 1 : 100 (A1)

AS CONSTRUCTED

|            |          |                        |                                                                                       |                                                               |                                            |                              |       |                                                                                     |           |              |       |         |   |
|------------|----------|------------------------|---------------------------------------------------------------------------------------|---------------------------------------------------------------|--------------------------------------------|------------------------------|-------|-------------------------------------------------------------------------------------|-----------|--------------|-------|---------|---|
| AMENDMENTS |          |                        |  | breese pitt dixon pty. ltd.<br>land surveyors civil engineers |                                            |                              |       | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |           |              |       |         |   |
|            |          |                        |                                                                                       |                                                               |                                            |                              |       |                                                                                     |           |              |       |         |   |
|            |          |                        |                                                                                       | MELWAY REF.                                                   | -                                          | RATHDOWNE ESTATE<br>STAGE 20 |       |                                                                                     |           | MUNICIPALITY |       |         |   |
|            |          |                        |                                                                                       | SURVEY                                                        | B.P.D.                                     |                              |       |                                                                                     |           | WHITTLESEA   |       |         |   |
|            |          |                        |                                                                                       | DESIGN                                                        | B.P.D.                                     |                              |       |                                                                                     |           | REFERENCE    |       |         |   |
| A          | 28/04/25 | ISSUE FOR CONSTRUCTION | DRAWN                                                                                 | M.T.                                                          | NOTES, PAVEMENT DETAILS & TYPICAL SECTIONS |                              |       |                                                                                     | 9365 E/20 |              |       |         |   |
| VER        | DATE     | REMARKS                | CHECKED                                                                               | R.GOULD-WILLIAMS                                              | SCALE                                      | AS SHOWN                     | DATUM | AHD                                                                                 | DATE      | Jul 24       | SHEET | 3 OF 14 | A |



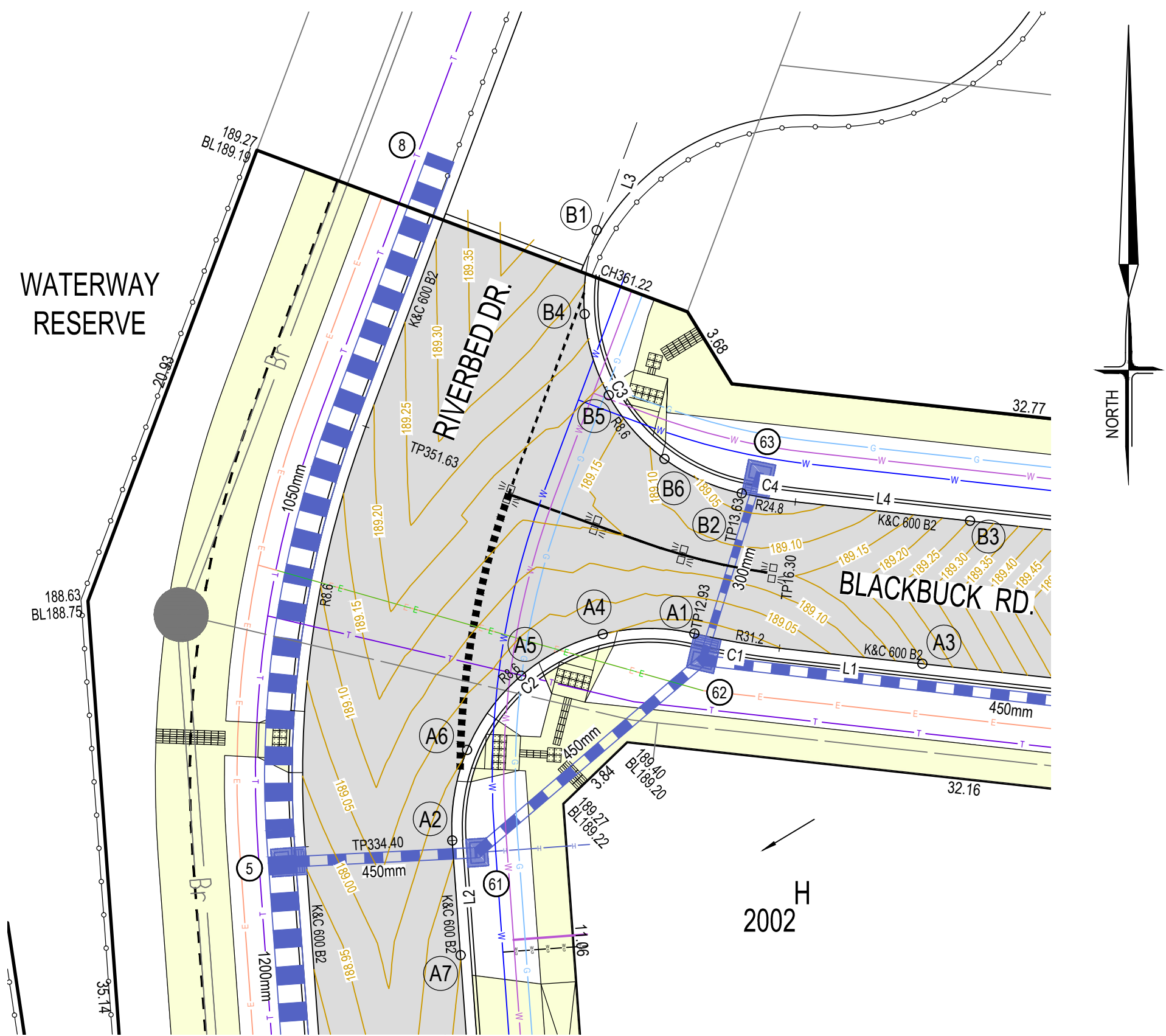
LIP LINE ST20 A



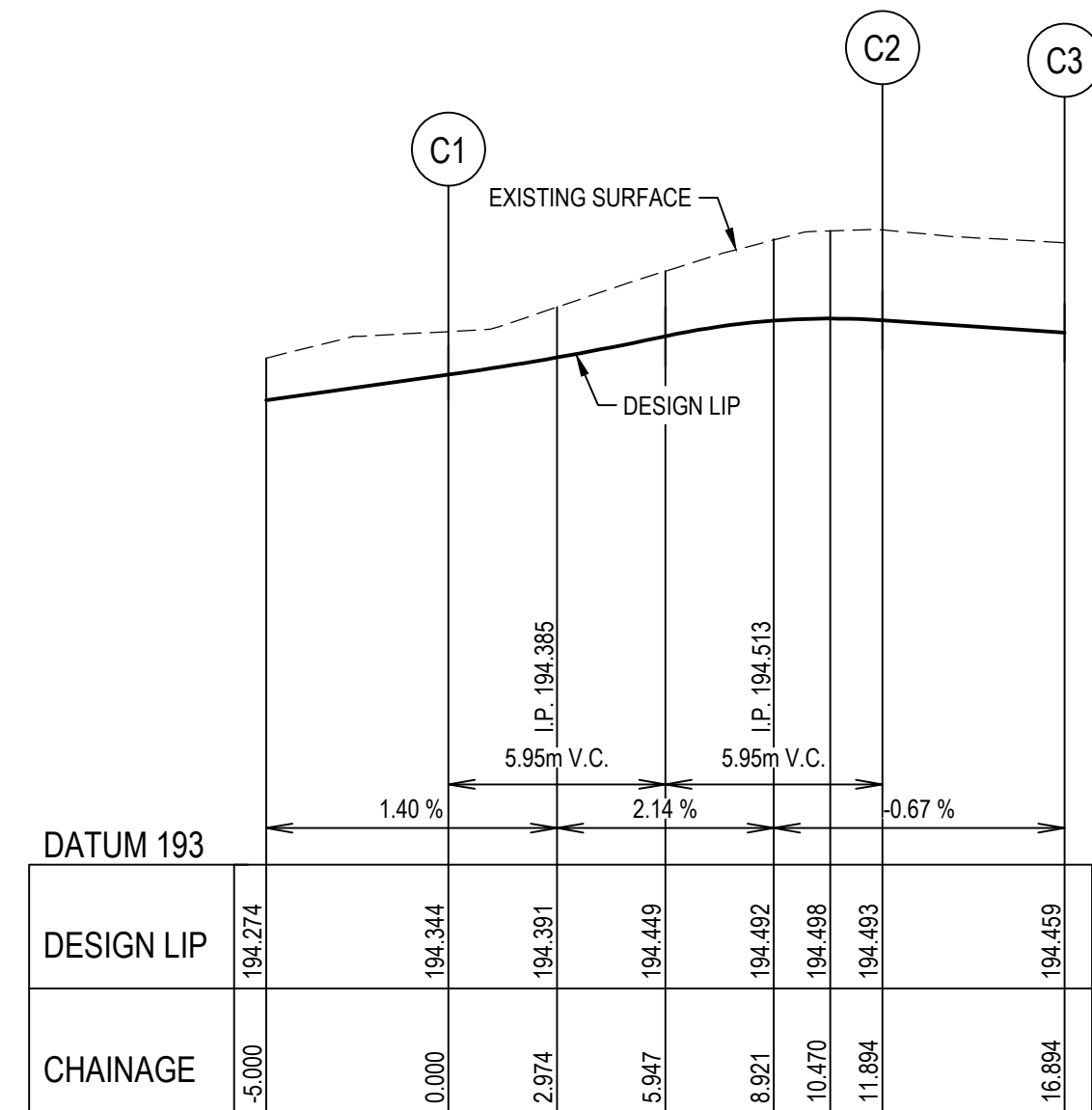
LIP LINE ST20 B

| SETOUT TABLE |           |            |         | LIP LINE A |          |         |            |             |        |
|--------------|-----------|------------|---------|------------|----------|---------|------------|-------------|--------|
| PT No.       | EAST.     | NORTH.     | LEVEL   | TAG        | CHAINAGE | EASTING | NORTHING   | LENGTH      | RADIUS |
| A1           | 322028.75 | 5837560.66 | 188.971 | L1         | IP       | -10.000 | 322038.653 | 5837559.353 | 6.249  |
| A2           | 322018.22 | 5837551.67 | 188.960 |            |          | -3.751  | 322032.441 | 5837560.031 |        |
| A3           | 322038.65 | 5837559.35 | 189.195 | C1         | TP       | -3.751  | 322032.441 | 5837560.031 |        |
| A4           | 322024.76 | 5837560.64 | 189.002 |            |          | 0.000   | 322030.574 | 5837560.235 | 31.2   |
| A5           | 322021.21 | 5837558.83 | 189.015 |            |          | 0.000   | 322028.746 | 5837560.662 |        |
| A6           | 322018.86 | 5837555.60 | 189.002 | C2         | TP       | 11.673  | 322017.377 | 5837560.662 |        |
| A7           | 322018.57 | 5837546.68 | 188.901 |            |          | 16.097  | 322018.215 | 5837551.668 | 16.097 |
|              |           |            |         | L2         | IP       | 16.097  | 322018.215 | 5837551.668 |        |
|              |           |            |         |            |          | 21.097  | 322018.575 | 5837546.681 | 5.000  |

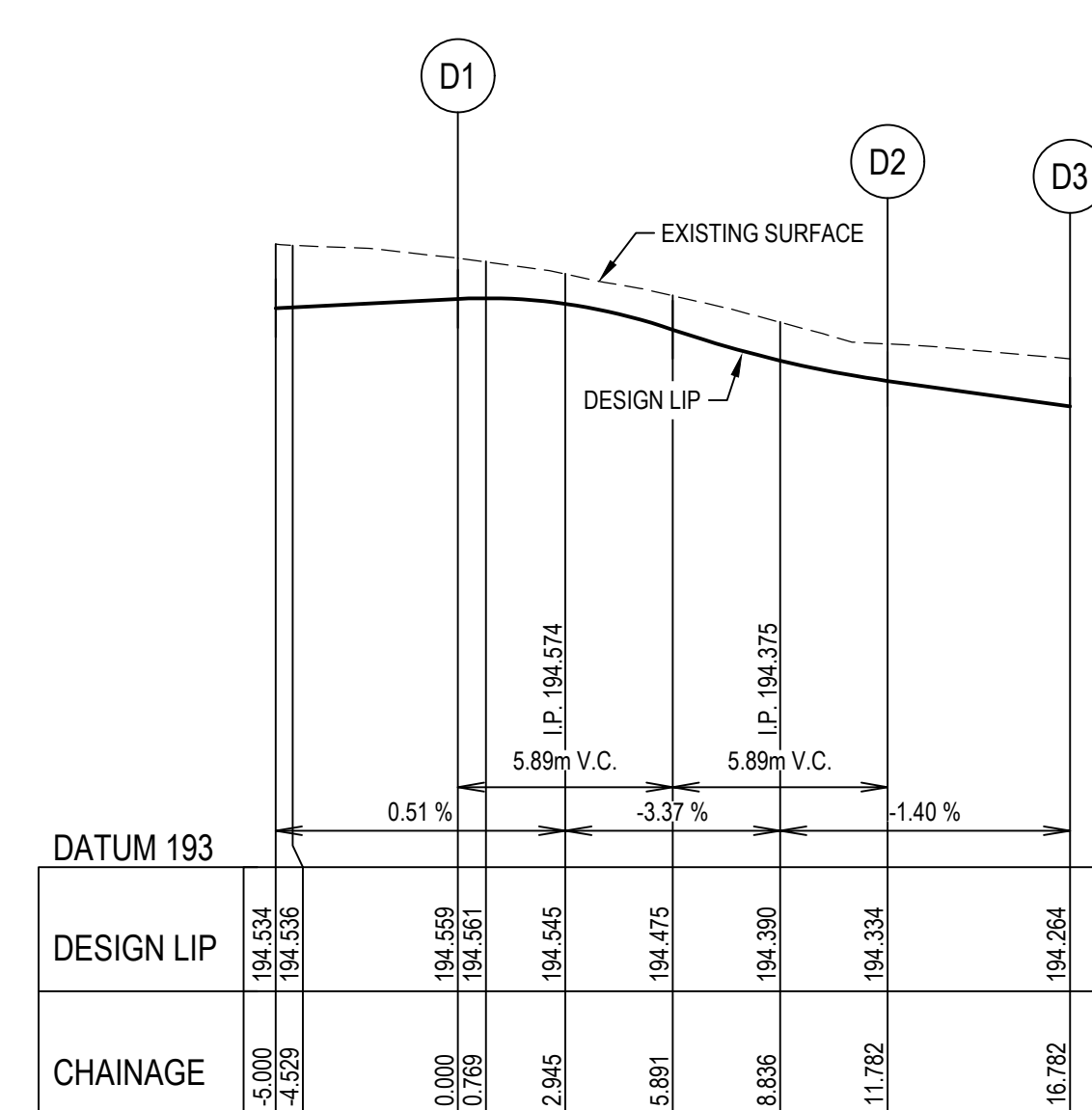
| SETOUT TABLE |           |            |         | LIP LINE B |          |         |            |             |        |
|--------------|-----------|------------|---------|------------|----------|---------|------------|-------------|--------|
| PT No.       | EAST.     | NORTH.     | LEVEL   | TAG        | CHAINAGE | EASTING | NORTHING   | LENGTH      | RADIUS |
| B1           | 322024.49 | 5837578.20 | 189.336 | L3         | IP       | -5.000  | 322026.248 | 5837582.884 | 5.000  |
| B2           | 322030.80 | 5837566.76 | 189.026 |            |          | 0.000   | 322024.493 | 5837578.202 |        |
| B3           | 322040.73 | 5837565.56 | 189.252 | C3         | TP       | 10.045  | 322024.493 | 5837578.202 |        |
| B4           | 322023.97 | 5837574.56 | 189.275 |            |          | 14.839  | 322020.967 | 5837568.797 | 14.839 |
| B5           | 322025.02 | 5837571.03 | 189.184 | C4         | TP       | 14.839  | 322030.803 | 5837566.761 |        |
| B6           | 322027.44 | 5837568.26 | 189.081 |            |          | 16.021  | 322031.961 | 5837566.522 | 2.362  |
|              |           |            |         |            |          | 17.201  | 322033.136 | 5837566.394 | 24.8   |
|              |           |            |         | L4         | IP       | 17.201  | 322033.136 | 5837566.394 |        |
|              |           |            |         |            |          | 24.839  | 322040.729 | 5837565.564 | 7.638  |



INTERSECTION DETAILS  
PLAN  
SCALE A1 - 1 : 200



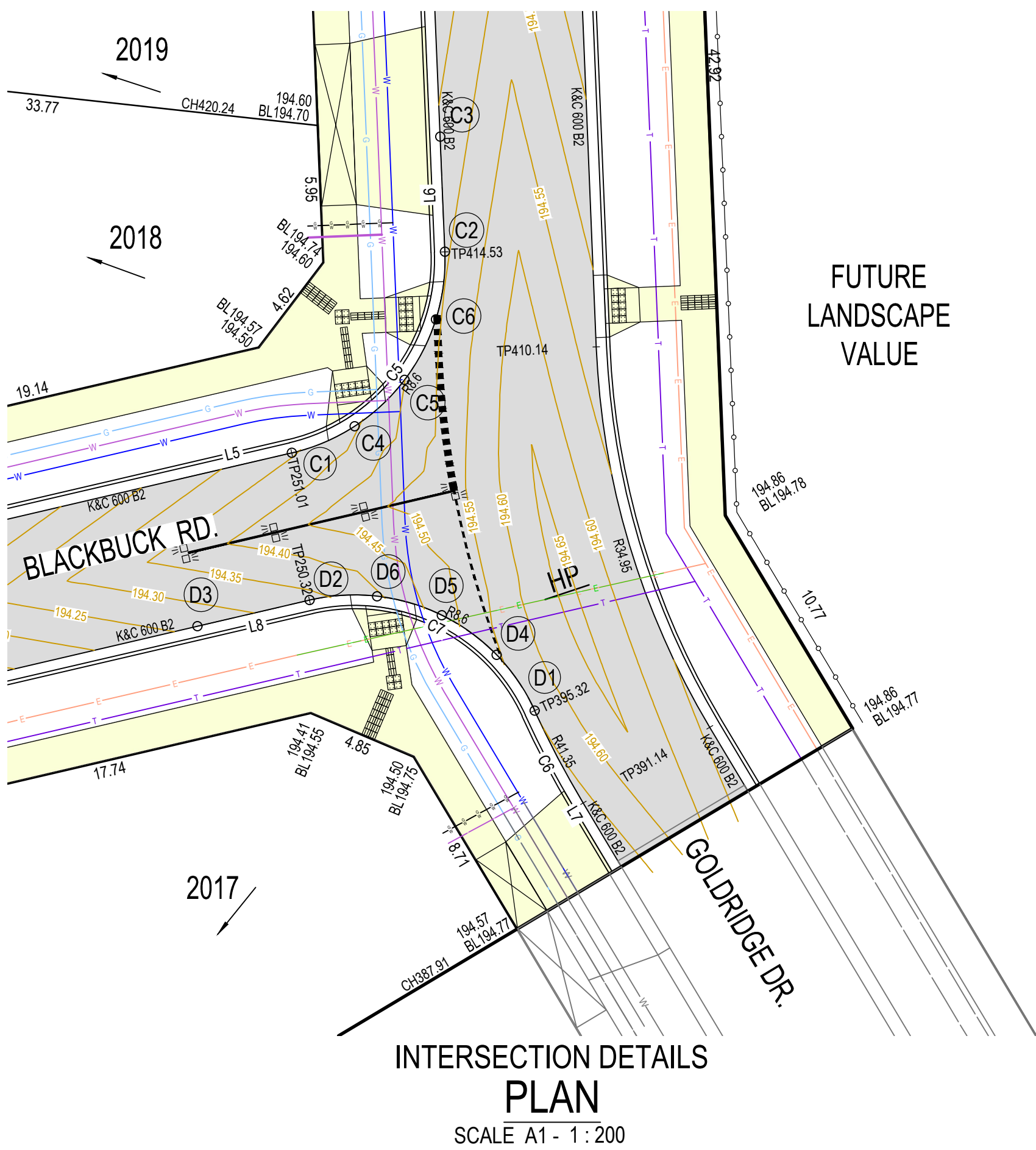
LIP LINE ST20 C



LIP LINE ST20 D

| SETOUT TABLE |           |            |         | LIP LINE C |          |         |            |             |        |
|--------------|-----------|------------|---------|------------|----------|---------|------------|-------------|--------|
| PT No.       | EAST.     | NORTH.     | LEVEL   | TAG        | CHAINAGE | EASTING | NORTHING   | LENGTH      | RADIUS |
| C1           | 322264.98 | 5837550.68 | 194.344 | L5         | IP       | -5.000  | 322260.114 | 5837549.545 | 5.000  |
| C2           | 322271.63 | 5837559.41 | 194.493 |            |          | 0.000   | 322264.984 | 5837550.678 |        |
| C3           | 322271.42 | 5837564.40 | 194.459 | C5         | TP       | 7.120   | 322271.918 | 5837562.292 | 11.894 |
| C4           | 322267.71 | 5837551.83 | 194.393 |            |          | 11.894  | 322271.627 | 5837559.406 |        |
| C5           | 322269.88 | 5837553.85 | 194.449 |            |          | 11.894  | 322271.627 | 5837559.406 |        |
| C6           | 322271.24 | 5837556.47 | 194.492 | L6         | IP       | 16.894  | 322271.423 | 5837564.402 | 5.000  |

KERB LIP PROFILES  
SCALE A1 - 1:200H 1:20V



INTERSECTION DETAILS  
PLAN  
SCALE A1 - 1 : 200

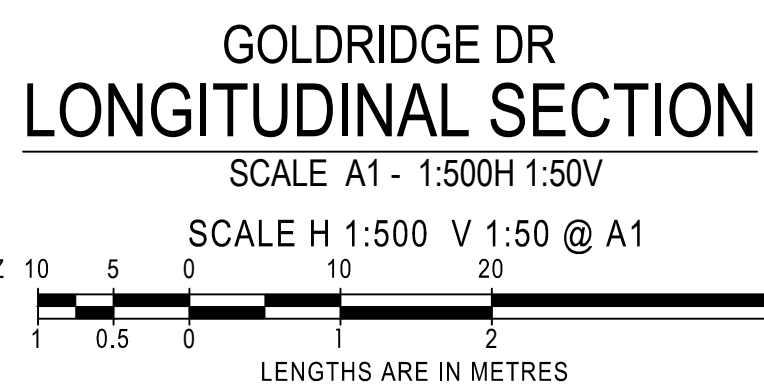
LENGTHS ARE IN METRES  
SCALE 1 : 200 (A1)

**WARNING**  
BEWARE OF UNDERGROUND SERVICES  
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

| SYMBOL LEGEND                                              |                                                            |                                                            |                                                     |
|------------------------------------------------------------|------------------------------------------------------------|------------------------------------------------------------|-----------------------------------------------------|
| Drains                                                     | Prop                                                       | Prev Stage                                                 | Ex/Natural/FS Level                                 |
| Sewer < 3000                                               | S                                                          | S                                                          | FS @ Building Line                                  |
| Sewer ≥ 3000                                               | S                                                          | S                                                          | Top/Tee of Batter                                   |
| Water (DW)                                                 | W                                                          | W                                                          | Top Ret. Wall Level                                 |
| Water (NDW)                                                | W                                                          | W                                                          | 100yr Flood Level                                   |
| House Drain                                                | H                                                          | H                                                          | Fill Proposed (<0.3m/±0.3m)                         |
| Property Inlet                                             | P                                                          | P                                                          | Cut Proposed                                        |
| Street Sign                                                | Street Sign                                                | Street Sign                                                | Asphalt Surface Prop                                |
| PSM                                                        | PSM                                                        | PSM                                                        | Concrete Surface Prop                               |
| Rock Ret Wall                                              | Rock Ret Wall                                              | Rock Ret Wall                                              | (Paths/Driveways/Slabs)                             |
| Sleeper Ret Wall                                           | Sleeper Ret Wall                                           | Sleeper Ret Wall                                           | Tree To Be Removed                                  |
| Conduits 50mm                                              | GW                                                         | GW                                                         | Tree To Be Retained with Tree Protection Zone (TPZ) |
| Conduits 100mm                                             | W100                                                       | W100                                                       |                                                     |
| Street Tree without/with Passive Irrigation (Refer Detail) | Street Tree without/with Passive Irrigation (Refer Detail) | Street Tree without/with Passive Irrigation (Refer Detail) |                                                     |
| Ex Drains                                                  | Ex Drains                                                  | Ex Drains                                                  |                                                     |
| Ex Water DW/NDW                                            | Ex Water DW/NDW                                            | Ex Water DW/NDW                                            |                                                     |
| Ex Sewer/Gas                                               | Ex Sewer/Gas                                               | Ex Sewer/Gas                                               |                                                     |
| Ex Elect/Comm                                              | Ex Elect/Comm                                              | Ex Elect/Comm                                              |                                                     |

|                                   |  |  |  |                                                                  |  |  |  |                                                                                     |  |  |  |
|-----------------------------------|--|--|--|------------------------------------------------------------------|--|--|--|-------------------------------------------------------------------------------------|--|--|--|
| AMENDMENTS                        |  |  |  | breese pitt dixon pty. ltd.<br>land surveyors<br>civil engineers |  |  |  | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |  |  |  |
|                                   |  |  |  | MELWAY REF. -                                                    |  |  |  | RATHDOWNE ESTATE<br>STAGE 20<br>INTERSECTION DETAILS                                |  |  |  |
|                                   |  |  |  | SURVEY B.P.D.                                                    |  |  |  | MUNICIPALITY<br>WHITTLESEA                                                          |  |  |  |
|                                   |  |  |  | DESIGN B.P.D.                                                    |  |  |  | REFERENCE<br>9365 E/20                                                              |  |  |  |
| A 28/04/25 ISSUE FOR CONSTRUCTION |  |  |  | DRAWN M.T.                                                       |  |  |  | SHEET 4 OF 14                                                                       |  |  |  |
| VER DATE REMARKS                  |  |  |  | CHECKED R.GOULD-WILLIAMS                                         |  |  |  | SCALE AS SHOWN DATUM AHD DATE Jul 24                                                |  |  |  |

AS CONSTRUCTED



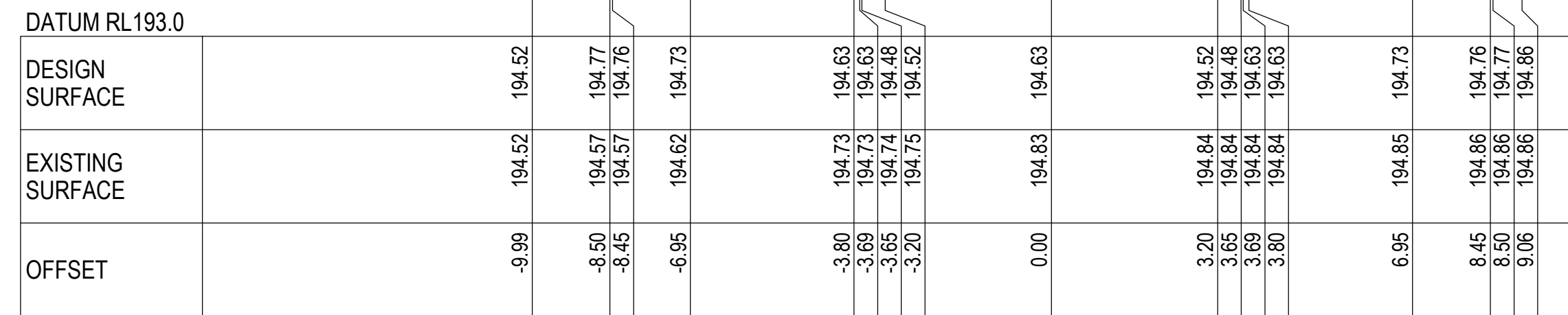
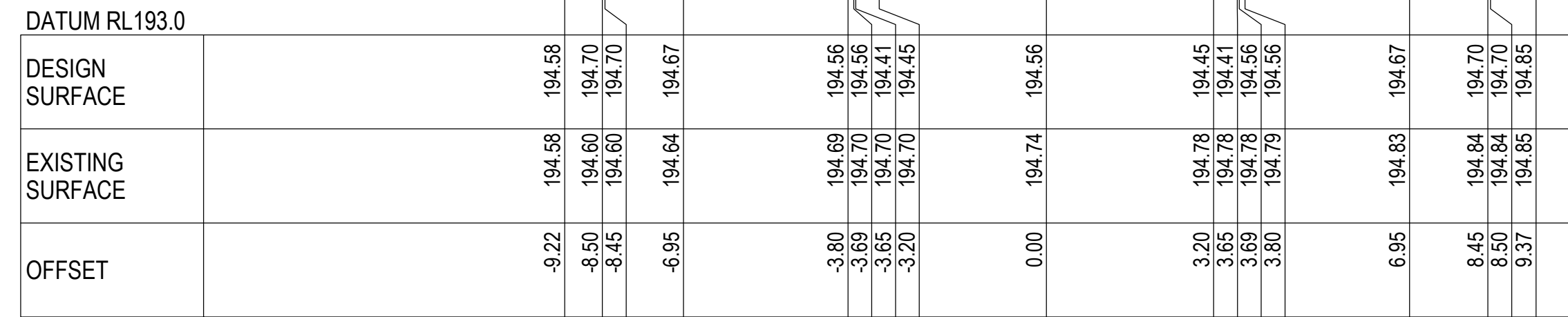
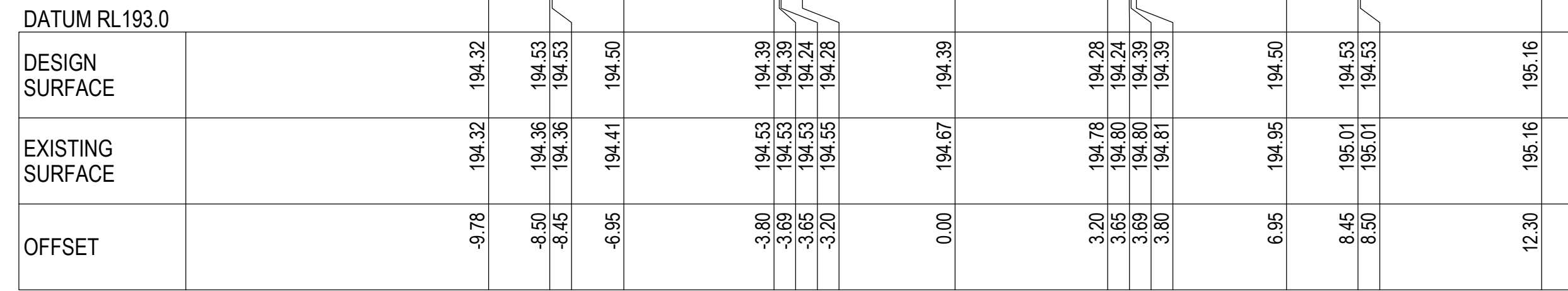
Legend for Figure 10:

- ES LEFT TITLE BOUNDARY (Green dashed line)
- DESIGN CENTRELINE (Red dash-dot line)
- LIP OF KERB (Blue solid line)
- ES RIGHT TITLE BOUNDARY (Green dashed line)
- ES CENTRELINE (Grey dash-dot line)

**AS CONSTRUCTED**

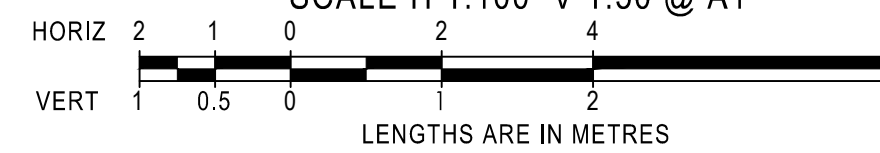
|            |      |          |                        |                                                                                                                                                                      |                                                                                     |                                                                    |                       |  |                            |
|------------|------|----------|------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|--------------------------------------------------------------------|-----------------------|--|----------------------------|
| AMENDMENTS |      |          |                        |  <div>breese pitt dixon Pty. Ltd.<br/>land surveyors      civil engineers</div> | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |                                                                    |                       |  |                            |
|            |      |          |                        |                                                                                                                                                                      | MELWAY REF.                                                                         | RATHDOWNNE ESTATE<br>STAGE 20<br>GOLDRIDGE DR LONGITUDINAL SECTION |                       |  | MUNICIPALITY<br>WHITTLESEA |
|            |      |          |                        |                                                                                                                                                                      | SURVEY    B.P.D.                                                                    |                                                                    |                       |  | REFERENCE<br>9365 E/20     |
|            |      |          |                        |                                                                                                                                                                      | DESIGN    B.P.D.                                                                    |                                                                    |                       |  |                            |
|            | A    | 28/04/25 | ISSUE FOR CONSTRUCTION |                                                                                                                                                                      | DRAWN    M.T.                                                                       |                                                                    |                       |  |                            |
| VER        | DATE | REMARKS  | CHECKED    R.G.W.      | SCALE    AS SHOWN                                                                                                                                                    | DATUM    AHD                                                                        | DATE    Jul 24                                                     | SHEET    5 OF 14    A |  |                            |

lotted: Apr 28, 2025 - 1:26pm



SCALE A1 - 1:100H 1:50V

SCALE H 1:100 V 1:50 @ A1



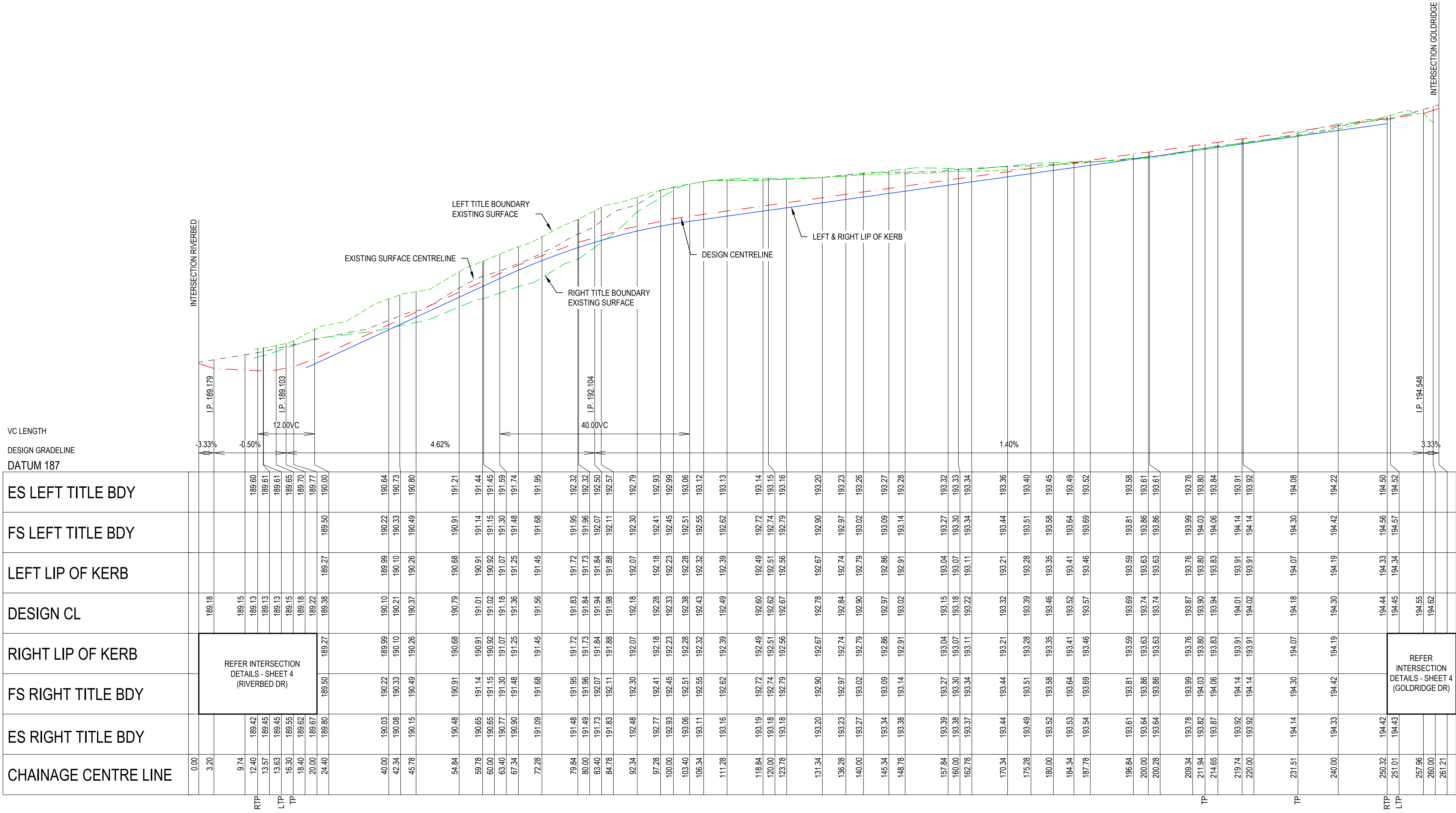
**AS CONSTRUCTED**

LEGEND:

- EXISTING SURFACE LEVEL  
DESIGN CENTRELINE  
TYPE A SELECTED MATERIAL FILL. LEVEL 1  
SUPERVISION REQUIRED, IN ACCORDANCE WITH  
COUNCIL FILLING SPECIFICATION (CLAUSE 20.6)

|            |      |          |                        |                                                                                       |                                                                     |       |          |       |     |                                                                                     |                                   |       |         |   |
|------------|------|----------|------------------------|---------------------------------------------------------------------------------------|---------------------------------------------------------------------|-------|----------|-------|-----|-------------------------------------------------------------------------------------|-----------------------------------|-------|---------|---|
| AMENDMENTS |      |          |                        |  | breese pitt dixon pty. ltd.<br>land surveyorscivil engineers        |       |          |       |     | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |                                   |       |         |   |
|            |      |          |                        |                                                                                       |                                                                     |       |          |       |     |                                                                                     |                                   |       |         |   |
|            |      |          |                        |                                                                                       |                                                                     |       |          |       |     |                                                                                     |                                   |       |         |   |
|            |      |          |                        |                                                                                       |                                                                     |       |          |       |     |                                                                                     |                                   |       |         |   |
|            |      |          |                        |                                                                                       |                                                                     |       |          |       |     |                                                                                     |                                   |       |         |   |
|            |      |          |                        | MELWAY REF.                                                                           | RATHDOWNNE ESTATE<br>STAGE 20<br><br>GOLDRIDGE DRIVE CROSS SECTIONS |       |          |       |     | MUNICIPALITY                                                                        |                                   |       |         |   |
|            |      |          | SURVEY                 | B.P.D.                                                                                |                                                                     |       |          |       |     | WHITTLESEA                                                                          |                                   |       |         |   |
|            |      |          | DESIGN                 | B.P.D.                                                                                |                                                                     |       |          |       |     | REFERENCE                                                                           |                                   |       |         |   |
|            | A    | 28/04/25 | ISSUE FOR CONSTRUCTION | DRAWN                                                                                 | M.T.                                                                |       |          |       |     |                                                                                     | 9365 <sup>E</sup> / <sub>20</sub> |       |         |   |
| VER        | DATE |          | REMARKS                | CHECKED                                                                               | R.G.W.                                                              | SCALE | AS SHOWN | DATUM | AHD | DATE                                                                                | Jul 24                            | SHEET | 6 OF 14 | A |

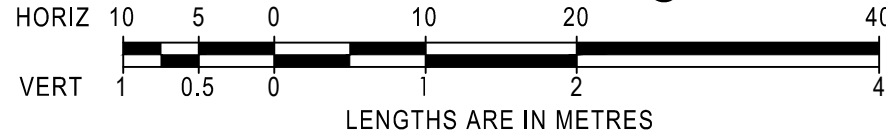
VC LENGTH  
DESIGN GRADELINE  
DATUM 187



BLACKBUCK RD  
LONGITUDINAL SECTION

SCALE A1 - 1:500H 1:50V

SCALE H 1:500 V 1:50 @ A1



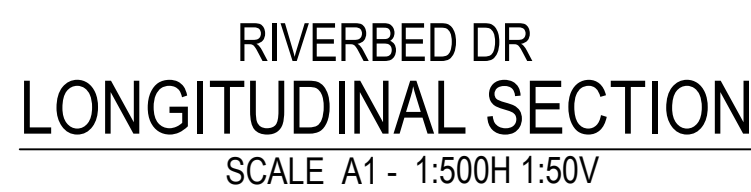
AS CONSTRUCTED

LEGEND:

- ES LEFT TITLE BOUNDARY
- DESIGN CENTRELINE
- LIP OF KERB
- ES RIGHT TITLE BOUNDARY
- ES CENTRELINE

|            |          |                        |  |             |         |                                                                                     |          |
|------------|----------|------------------------|--|-------------|---------|-------------------------------------------------------------------------------------|----------|
| AMENDMENTS |          |                        |  |             |         | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |          |
|            |          |                        |  |             |         |                                                                                     |          |
|            |          |                        |  |             |         |                                                                                     |          |
|            |          |                        |  |             |         |                                                                                     |          |
|            |          |                        |  | MELWAY REF. |         | RATHDOWNE ESTATE<br>STAGE 20<br>BLACKBUCK RD LONGITUDINAL SECTION                   |          |
|            |          |                        |  | SURVEY      | B.P.D.  |                                                                                     |          |
|            |          |                        |  | DESIGN      | B.P.D.  |                                                                                     |          |
| A          | 28/04/25 | ISSUE FOR CONSTRUCTION |  | DRAWN       | M.T.    | REFERENCE<br>9365 E/20                                                              |          |
| VER        | DATE     | REMARKS                |  | CHECKED     | R.G.W.  | SCALE                                                                               | AS SHOWN |
|            |          |                        |  | DATUM       | AHD     | DATE                                                                                | Jul 24   |
|            |          |                        |  | SHEET       | 7 OF 14 | A                                                                                   |          |



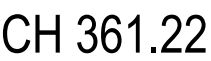
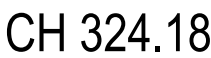


LEGEND:

- 
- Legend for Figure 1:
- ES LEFT TITLE BOUNDARY (Green dashed line)
  - DESIGN CENTRELINE (Red dash-dot line)
  - LIP OF KERB (Blue solid line)
  - ES RIGHT TITLE BOUNDARY (Green dashed line)
  - ES CENTRELINE (Grey dash-dot line)

## AS CONSTRUCTED

|            |  |  |                                                                                       |                                               |  |  |  |
|------------|--|--|---------------------------------------------------------------------------------------|-----------------------------------------------|--|--|--|
| AMENDMENTS |  |  |  | breese pitt dixon pty. ltd.<br>land surveyors |  |  |  |
|------------|--|--|---------------------------------------------------------------------------------------|-----------------------------------------------|--|--|--|



SCALE H 1:100 V 1:50 @ A1

HORIZ 2 1 0 2 4 8

VERT 1 0.5 0 1 2 4

LENGTHS ARE IN METRES

## AS CONSTRUCTED

EXISTING SURFACE LEVEL  
DESIGN CENTRELINE  
TYPE A SELECTED MATERIAL FILL. LEVEL 1  
SUPERVISION REQUIRED, IN ACCORDANCE WITH  
COUNCIL FILLING SPECIFICATION (CLAUSE 20.6)

|            |  |  |  |                                                                                       |                                               |  |  |  |
|------------|--|--|--|---------------------------------------------------------------------------------------|-----------------------------------------------|--|--|--|
| AMENDMENTS |  |  |  |  | breese pitt dixon pty. ltd.<br>land surveyors |  |  |  |
|------------|--|--|--|---------------------------------------------------------------------------------------|-----------------------------------------------|--|--|--|

Plotted: Apr 28, 2025 - 2:21pm





| PIT SCHEDULE |                         |        |       |         |      |         |      |         |        |                                                                |
|--------------|-------------------------|--------|-------|---------|------|---------|------|---------|--------|----------------------------------------------------------------|
| PIT No.      | PIT DESCRIPTION         | LENGTH | WIDTH | INLET   |      | OUTLET  |      | TOP     | DEPTH  | REMARKS                                                        |
|              |                         |        |       | INVERT  | DIA  | INVERT  | DIA  | PIT RL  | INVERT |                                                                |
| 5            | JUNCTION PIT (EXISTING) | 1500   | 900   | 185.327 | 1200 | 185.277 | 1200 | 188.843 | 3.566  | CONNECT TO EXISTING 1200dia STUB                               |
| 6            | PTP                     |        |       | 185.381 | 1200 | 185.385 | 1200 | 188.968 | 3.583  |                                                                |
| 7            | SIDE ENTRY PIT          | 1500   | 900   | 185.455 | 1050 | 185.405 | 1200 | 189.052 | 3.647  | EDCM STD DWG 601 & 607 (HAUNCHED)                              |
|              |                         |        |       | 187     | 450  |         |      |         |        |                                                                |
| 8            | PTP                     |        |       | 185.46  | 1050 | 185.46  | 1050 | 189.069 | 3.609  |                                                                |
| 9            | PTP                     |        |       | 185.52  | 1050 | 185.52  | 1050 | 189.283 | 3.763  |                                                                |
| 10           | END PIPE                |        |       |         |      | 185.561 | 1050 | 189.441 | 3.88   | CAP PIPE FOR FUTURE CONNECTION                                 |
| 63           | JUNCTION PIT            | 900    | 600   | 187.135 | 450  | 187.085 | 450  | 189.078 | 1.993  | EDCM STD DWG 605                                               |
| 64           | SIDE ENTRY PIT          | 900    | 600   | 187.314 | 450  | 187.264 | 450  | 189.096 | 1.832  | EDCM STD DWG 601                                               |
|              |                         |        |       | 187.414 | 300  |         |      |         |        |                                                                |
| 65           | SIDE ENTRY PIT          | 900    | 600   | 187.741 | 375  | 187.666 | 450  | 190.176 | 2.509  | EDCM STD DWG 601 & 605. CONSTRUCT PIT OVER EXISTING CAPPED END |
|              |                         |        |       | 187.816 | 300  |         |      |         |        |                                                                |
|              |                         |        |       | 188.1   | 375  |         |      |         |        |                                                                |
| 72           | SIDE ENTRY PIT          | 900    | 600   |         |      | 187.499 | 300  | 189.15  | 1.651  | EDCM STD DWG 601                                               |
| 73           | SIDE ENTRY PIT          | 900    | 600   | 191.05  | 300  | 191     | 300  | 192.773 | 1.773  | EDCM STD DWG 601                                               |
|              |                         |        |       | 191.05  | 300  |         |      |         |        |                                                                |
| 74           | SIDE ENTRY PIT          | 900    | 600   | 192.06  | 300  | 192.01  | 300  | 193.849 | 1.838  | EDCM STD DWG 601                                               |
| 75           | SIDE ENTRY PIT          | 900    | 600   |         |      | 192.145 | 300  | 193.849 | 1.703  | EDCM STD DWG 601                                               |
| 76           | SIDE ENTRY PIT          | 900    | 600   |         |      | 191.135 | 300  | 192.778 | 1.643  | EDCM STD DWG 601                                               |
| 77           | SIDE ENTRY PIT          | 900    | 600   | 188.264 | 300  | 188.189 | 375  | 190.288 | 2.1    | EDCM STD DWG 601 & 605                                         |
| 78           | JUNCTION PIT            | 900    | 600   | 189.476 | 300  | 189.426 | 300  | 190.742 | 1.317  | EDCM STD DWG 605                                               |
| 79           | JUNCTION PIT            | 900    | 600   | 190.775 | 300  | 190.725 | 300  | 192.009 | 1.284  | EDCM STD DWG 605                                               |
| 80           | JUNCTION PIT            | 900    | 600   | 191.719 | 300  | 191.669 | 300  | 192.921 | 1.252  | EDCM STD DWG 605                                               |
| 81           | JUNCTION PIT            | 900    | 600   | 192.699 | 300  | 192.649 | 300  | 193.912 | 1.263  | EDCM STD DWG 605                                               |
|              |                         |        |       | 192.699 | 300  |         |      |         |        |                                                                |
| 82           | JUNCTION PIT            | 900    | 600   |         |      | 192.764 | 300  | 193.968 | 1.204  | EDCM STD DWG 605                                               |
| 83           | JUNCTION PIT            | 900    | 600   |         |      | 192.765 | 300  | 193.869 | 1.104  | EDCM STD DWG 605                                               |

STORMWATER PIT NOTES:

1.
- ALL PITS TO BE RENDERED & MORTARED WITH FLAT BASE (NO CHASE). PIT BASES ARE TO BE FLUSH WITH PIPE INVERTS
2.
- ALL PIPES TO BE CUT FLUSH WITH PIT WALL
3.
- ALL PIT COVERS TO BE FIBRE GLASS TYPE ONLY
4.
- ALL GRATED PIT COVERS TO BE PEDESTRIAN & CYCLIST SAFE

AS CONSTRUCTED

|            |          |                        |                                                                                       |                                                               |             |          |                                                       |                                                                                     |      |              |       |          |   |
|------------|----------|------------------------|---------------------------------------------------------------------------------------|---------------------------------------------------------------|-------------|----------|-------------------------------------------------------|-------------------------------------------------------------------------------------|------|--------------|-------|----------|---|
| AMENDMENTS |          |                        |  | breese pitt dixon pty. ltd.<br>land surveyors civil engineers |             |          |                                                       | 1/19 cato street<br>hawthorn east, 3123<br>telephone 8823 2300<br>fax no. 8823 2310 |      |              |       |          |   |
|            |          |                        |                                                                                       |                                                               |             |          |                                                       |                                                                                     |      |              |       |          |   |
|            |          |                        |                                                                                       |                                                               | MELWAY REF. | -        | RATHDOWNE ESTATE<br>STAGE 20<br>DRAINAGE PIT SCHEDULE |                                                                                     |      | MUNICIPALITY |       |          |   |
|            |          |                        |                                                                                       |                                                               | SURVEY      | B.P.D.   |                                                       |                                                                                     |      | WHITTLESEA   |       |          |   |
|            |          |                        |                                                                                       |                                                               | DESIGN      | B.P.D.   |                                                       |                                                                                     |      | REFERENCE    |       |          |   |
|            |          |                        |                                                                                       |                                                               | DRAWN       | M.T.     |                                                       |                                                                                     |      | 9365 E/20    |       |          |   |
| A          | 28/04/25 | ISSUE FOR CONSTRUCTION | DRAWN                                                                                 | M.T.                                                          |             |          |                                                       |                                                                                     |      |              |       |          |   |
| VER        | DATE     | REMARKS                | CHECKED                                                                               | R.GOULD-WILLIAMS                                              | SCALE       | AS SHOWN | DATUM                                                 | AHD                                                                                 | DATE | Jul 24       | SHEET | 13 OF 14 | A |

