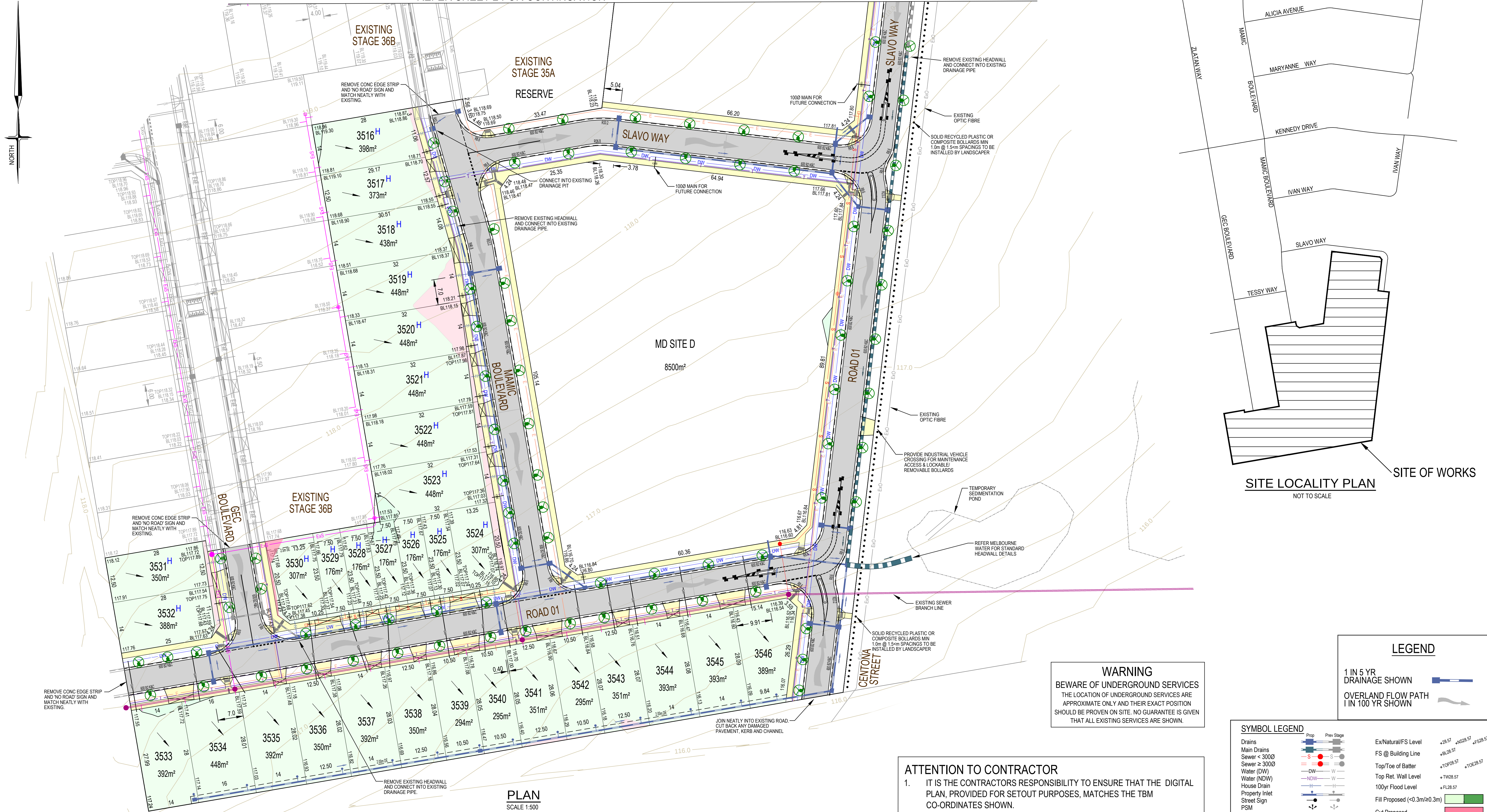


REFER SHEET 2 FOR CONTINUATION



SITE LOCALITY PLAN

NOT TO SCALE

SITE OF WORKS

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

LEGEND

1 IN 5 YR DRAINAGE SHOWN
OVERLAND FLOW PATH
1 IN 100 YR SHOWN

SYMBOL LEGEND	
Drains	Prop
Main Drains	Prev Stage
Sewer < 3000	S
Sewer > 3000	S
Water (DW)	DW
Water (NDW)	NDW
House Drain	H
Property Inlet	P
Street Sign	S
PSM	PSM
Rock Ret Wall	R
Sleeper Ret Wall	S
Conduits 50mm	GW
Conduits 100mm	W100
Street Tree without/with Passive Irrigation (Refer Detail)	Tree
Ex Drains	Ex DW
Ex Water DW/NDW	Ex NDW
Ex Sewer/Gas	Ex S
Ex Elect/Comm	Ex E
Ex Optic Fibre	Ex T
Ex/Natural/FS Level	FS
FS @ Building Line	FS
Top/Toe of Batter	Top Ret. Wall Level
Top Ret. Wall Level	100yr Flood Level
100yr Flood Level	Fill Proposed (<0.3m±0.3m)
Fill Proposed (<0.3m±0.3m)	Cut Proposed
Cut Proposed	Asphalt Surface Prop
Asphalt Surface Prop	Concrete Surface Prop (Paths/Driveways/Slabs)
Concrete Surface Prop (Paths/Driveways/Slabs)	Tree To Be Removed
Tree To Be Removed	Tree To Be Retained with Tree Protection Zone (TPZ)

- ATTENTION TO CONTRACTOR**
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE DIGITAL PLAN, PROVIDED FOR SETOUT PURPOSES, MATCHES THE TBM CO-ORDINATES SHOWN.
 - WHERE CONCRETE WORKS ABOUT A SEWER ACCESS CHAMBER SURROUND OR SIMILAR STRUCTURE, AN EXPANSION JOINT OF APPROVAL MATERIAL SHALL BE PROVIDED BETWEEN THE TWO FACES.
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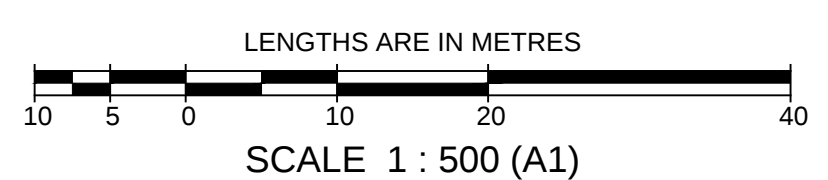
SERVICE OFFSETS AND LOCATION TABLE

Location	Gas	Water		Telecommunications		Electricity		BOK	Road Width	Joint Trenching	Street Classification
		DW	DW	Cables	Pits	Cables	Poles				
SLAVO WAY (EAST/WEST)	2.10 N		2.60 N	1.80 N	1.80 N	2.30 S	1.00 BOK	4.20 N 4.20 S	16.00	G&W, FTTH&E	ACCESS PLACE
SLAVO WAY (EAST/WEST)	2.10 N		2.60 N	1.80 N	1.80 N	0.50 S	1.00 BOK	4.20 N 2.20 S	14.00	G&W, FTTH&E	ACCESS PLACE
SLAVO WAY (NORTH/SOUTH)	2.70 W	3.10 W		1.80 W	1.80 W	2.15 W	1.00 BOK	4.20 W 3.50 E	15.30	G&W, FTTH&E	ACCESS PLACE
CENTOMA STREET	2.70 W	3.10 W		1.80 W	1.80 W	2.15 W	1.00 BOK	4.20 W 3.50 E	15.30	G&W, FTTH&E	ACCESS PLACE
MAMIE BOULEVARD	2.10 W		2.60 W	1.80 W	1.80 W	2.30 E	1.00 BOK	4.20 E 4.20 W	16.00	G&W, FTTH&E	ACCESS PLACE
MAMIE BOULEVARD	2.10 W		2.60 W	1.80 W	1.80 W	0.50 S	1.00 BOK	4.20 N 2.20 S	14.00	G&W, FTTH&E	ACCESS PLACE
ROAD 01 (EAST/WEST)	2.10 N		2.60 N	2.00 S	2.00 S	2.50 S	1.00 BOK	4.20 N 4.20 S	16.00	G&W, FTTH&E	ACCESS PLACE
ROAD 01 (NORTH/SOUTH)	2.70 W	3.10 W		1.80 W	1.80 W	2.15 W	1.00 BOK	4.20 W 3.50 E	15.30	G&W, FTTH&E	ACCESS PLACE
GEC BOULEVARD	2.10 W		2.60 W	1.80 E	1.80 E	2.30 E	1.00 BOK	4.20 E 4.20 W	16.00	G&W, FTTH&E	ACCESS PLACE

NOTE: * OFFSET FROM BACK OF KERB

SHEET INDEX

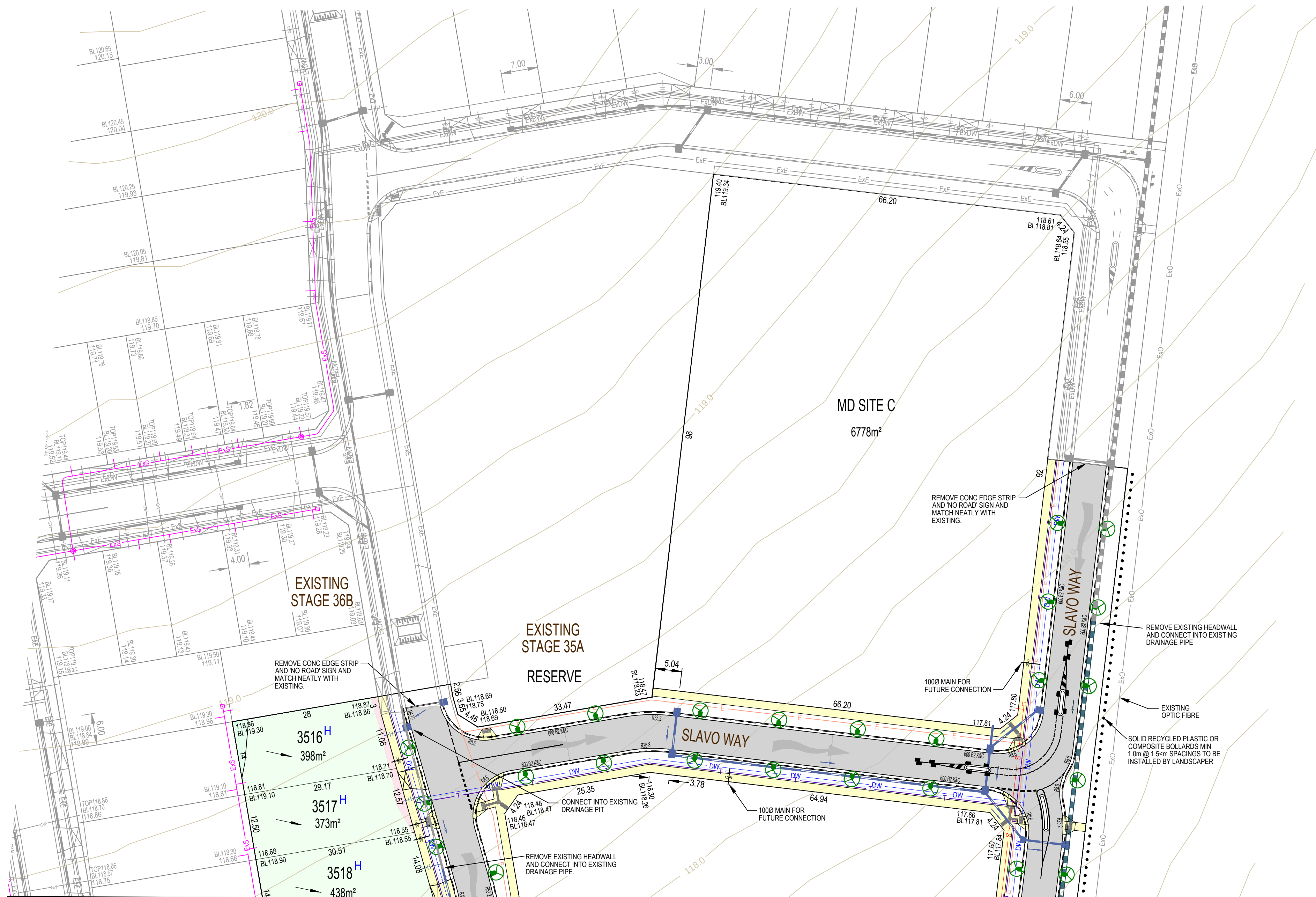
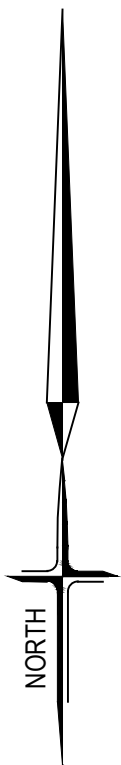
SHT	VER	DESCRIPTION
1	P1	FUNCTIONAL LAYOUT PLAN, LOCALITY PLAN, SERVICES SCHEDULE & SHEET INDEX
2	P1	FUNCTIONAL LAYOUT PLAN
3	P1	TYPICAL ROAD CROSS SECTIONS & PASSIVE IRRIGATION DETAIL
4	P1	PARKING PLAN
5	P1	TURNING MOVEMENTS
6	P1	TURNING MOVEMENTS



breese pitt dixon pty. ltd.
land surveyors
civil engineers

1/19 cato street
hawthorn east, 3123
telephone 8823 2300
fax no. 8823 2310

MELWAY REF.	356-C-1	ASPIRE ESTATE STAGE 35B FUNCTIONAL LAYOUT PLAN	MUNICIPALITY MELTON
SURVEY	BPD		
DESIGN	J.B		
DRAWN	I.W		
CHECKED	-	SCALE AS SHOWN	DATUM AHD
DATE	MAY 2022	DATE	MAY 2022
SHEET	1 OF 6	P1	



REFER SHEET 1 FOR CONTINUATION

PLAN
SCALE 1:500

LEGEND

1 IN 5 YR
DRAINAGE SHOWN

OVERLAND FLOW PATH
1 IN 100 YR SHOWN

SYMBOL LEGEND

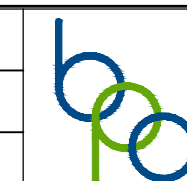
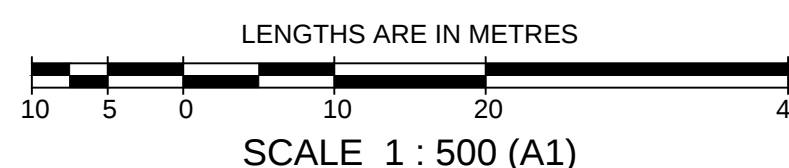
Drains	Prop	Prev Stage	Ex/Natural/FS Level	+28.57	+N528.57
Main Drains	—S—	—S—	FS @ Building Line	+BL28.57	+FS28.57
Sewer < 3000	—S—	—S—	Top/Toe of Batter	+TOP28.57	+TOE28.57
Sewer ≥ 3000	—S—	—S—	Top Ret. Wall Level	+TW28.57	
Water (DW)	—DW—	—W—	100yr Flood Level	+FL28.57	
Water (NDW)	—NDW—	—W—	Fill Proposed (<0.3m≥0.3m)		
House Drain	—H—	—H—	Cut Proposed		
Property Inlet	—P—	—P—	Asphalt Surface Prop		
Street Sign	—S—	—S—	Concrete Surface Prop		
PSM	—PSM—	—PSM—	(Paths/Driveways/Slabs)		
Rock Ret Wall	—R—	—R—	Tree To Be Removed		
Sleeper Ret Wall	—S—	—S—	Tree To Be Retained with		
Conduits 50mm	—GW—	—GW—	Tree Protection Zone (TPZ)		
Conduits 100mm	—W100—	—W100—			
Street Tree without/with	—T—	—T—			
Passive Irrigation (Refer	—I—	—I—			
Detail)	—I—	—I—			
Ex Drains	—Ex DW—	—Ex NDW—			
Ex Water DW/NDW	—Ex S—	—Ex T—			
Ex Sewer/Gas	—Ex E—	—Ex O—			
Ex Elect/Comm	—Ex E—	—Ex O—			
Ex Optic Fibre	—Ex O—	—Ex O—			

ATTENTION TO CONTRACTOR

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WARNING

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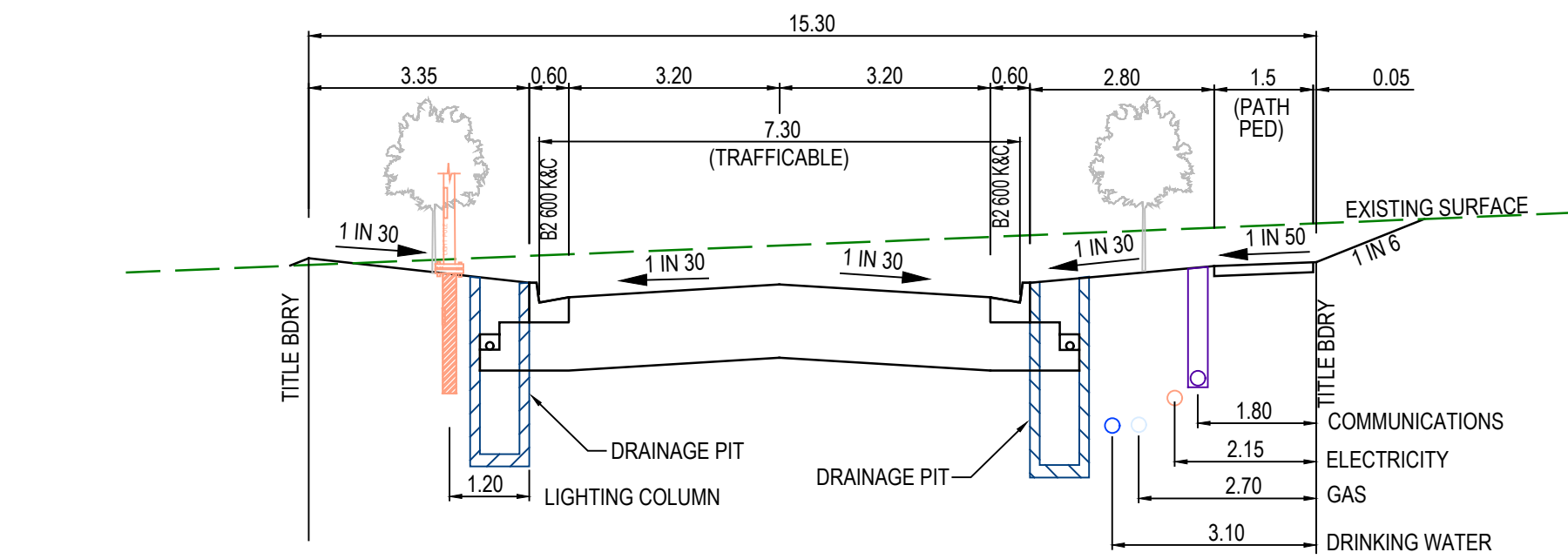
ASPIRE ESTATE STAGE 35B FUNCTIONAL LAYOUT PLAN

MUNICIPALITY
MELTON

REFERENCE
8226 E/35B

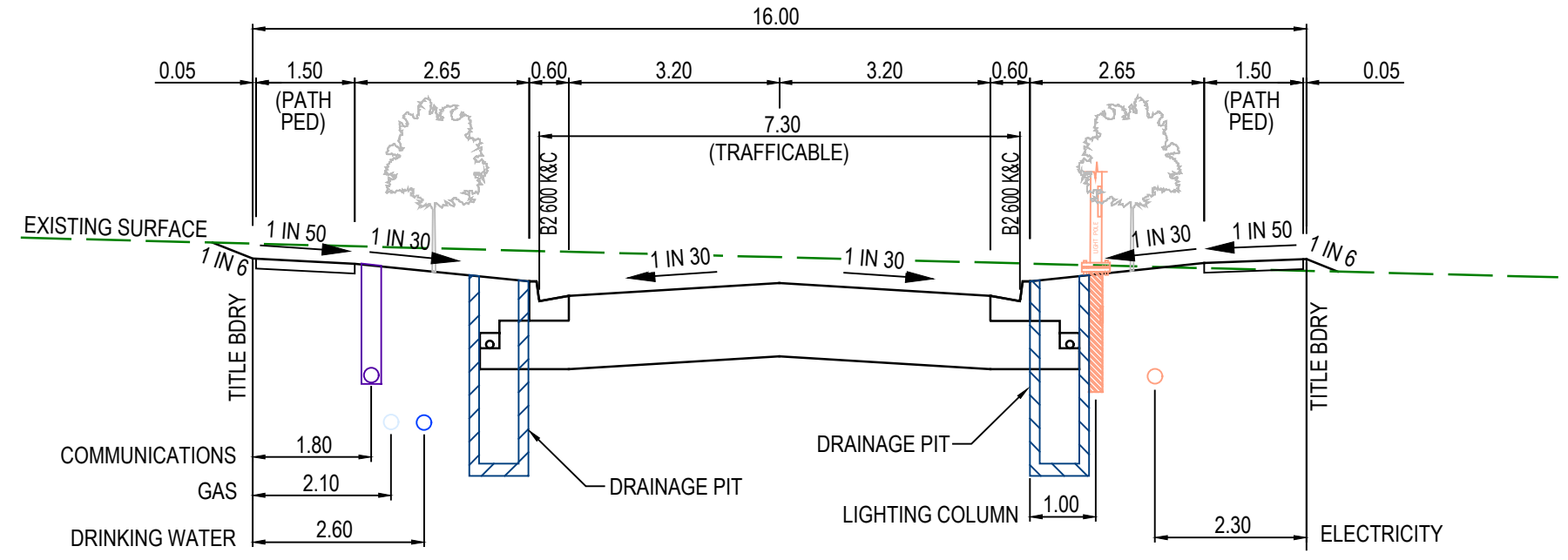
SHEET 2 OF 6 P1

AMENDMENTS	MELWAY REF. 356-C-1	SCALE AS SHOWN	DATUM AHD	DATE MAY 2022	SHEET 2 OF 6	P1
VER	DATE	REMARKS	CHECKED -	DATE		



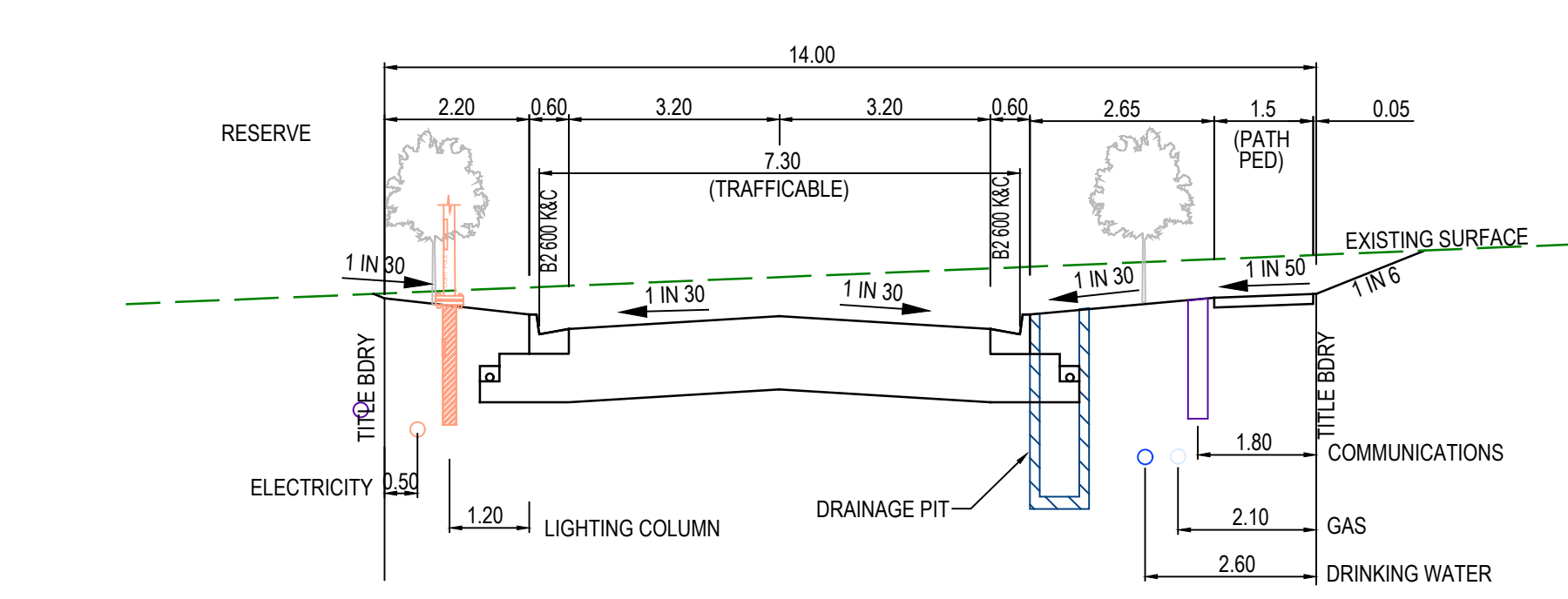
**ROAD 01 (NORTH/SOUTH), SLAVO WAY
(NORTH/SOUTH) & CENTONA STREET**

15.3m ROAD RESERVE
LOCAL ACCESS STREET



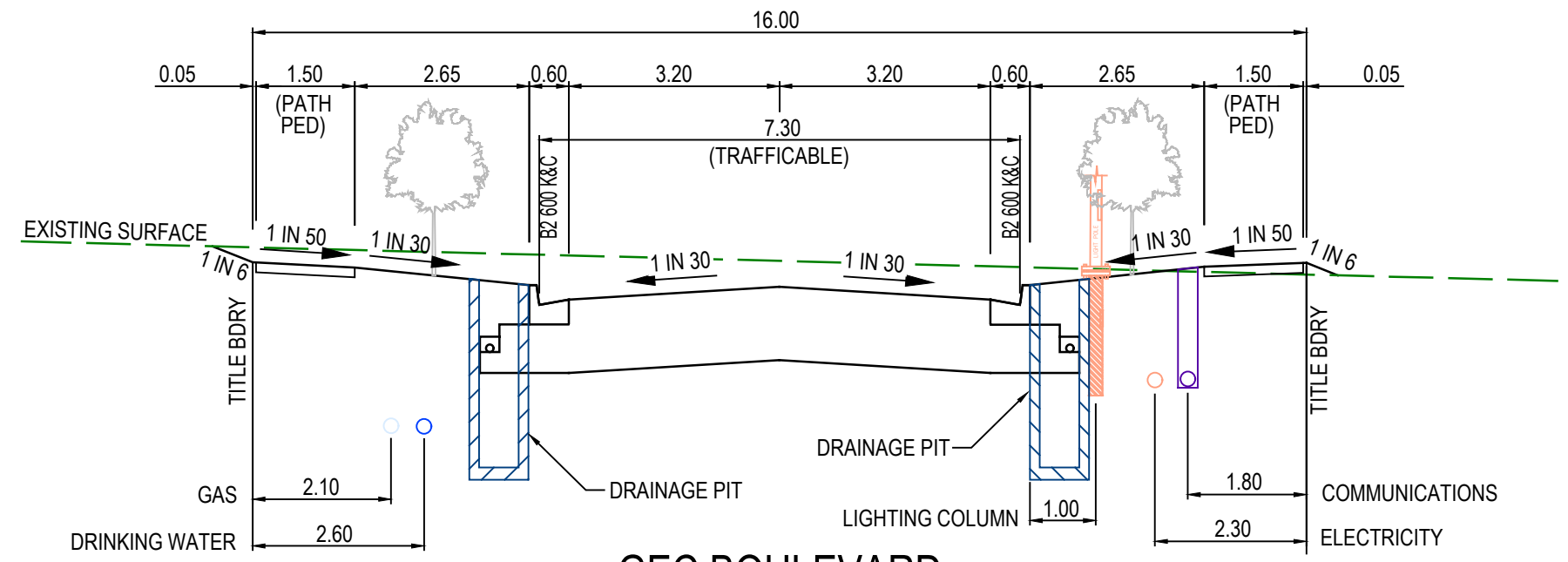
MAMIE BOULEVARD & SLAVO WAY (EAST/WEST)

16.0m ROAD RESERVE
LOCAL ACCESS STREET



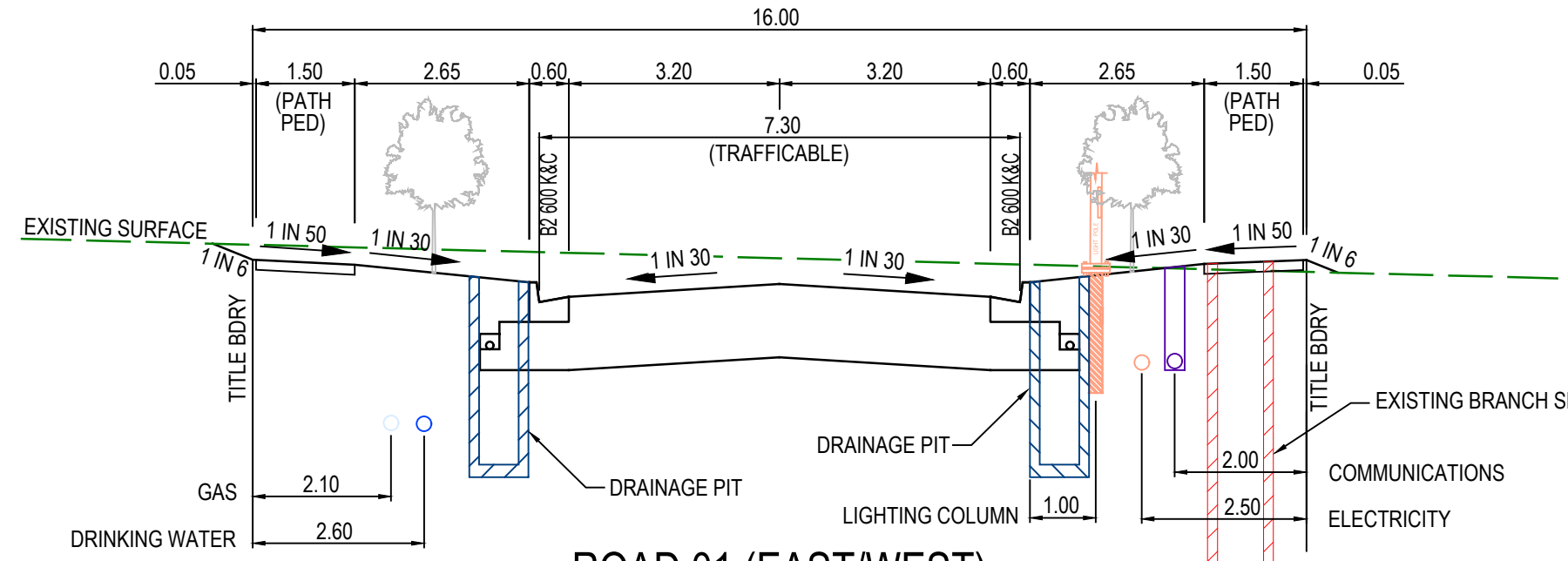
MAMIE BOULEVARD & SLAVO WAY (EAST/WEST)

14.0m ROAD RESERVE
LOCAL ACCESS STREET



GEC BOULEVARD

16.0m ROAD RESERVE
LOCAL ACCESS STREET



ROAD 01 (EAST/WEST)

16.0m ROAD RESERVE
LOCAL ACCESS STREET

TYPICAL CROSS SECTIONS

SCALE HORIZONTAL 1:100
VERTICAL 1:50

TREE PIT SECTION

600 B2 KERB (INSTALLED BY CIVIL CONTRACTOR)

'TREENET' INLET AS PER MANUFACTURERS SPECIFICATION. TO BE PLACED IN THE HIGH SIDE OF THE TREE PIT. (INSTALLED BY CIVIL CONTRACTOR). CAP END FOR FUTURE CONNECTION BY LANDSCAPING CONTRACTOR.

PASSIVE IRRIGATION INLET DETAIL

SCALE - 1:20

EXTEND 1000 PVC PIPE CONNECTION AND CAP 200mm PAST CYCLEWAY WHERE APPLICABLE

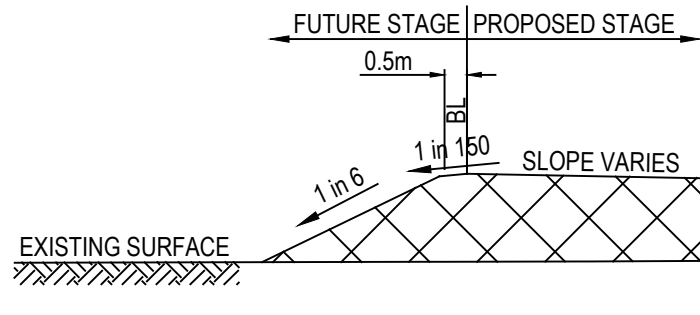
'TREENET' INLET AS PER MANUFACTURERS SPECIFICATION. TO BE PLACED ON THE HIGH SIDE OF THE TREE (INSTALLED BY CIVIL CONTRACTOR). CAP END FOR FUTURE CONNECTION BY LANDSCAPING CONTRACTOR.

600 B2 KERB (INSTALLED BY CIVIL CONTRACTOR)

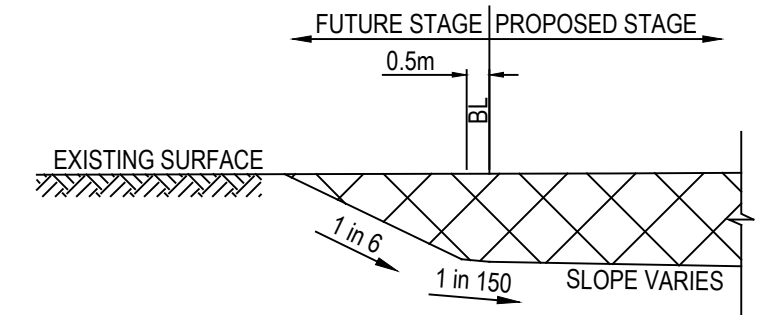
REFER TO LANDSCAPE ARCHITECT PASSIVE IRRIGATION DETAILS. (KERB INLET DIVERSION) STANDARD DRAWING EDM202a AND LANDSCAPE ARCHITECTS DRAWINGS FOR TREE PASSIVE IRRIGATION DETAILS. (TO BE INSTALLED BY LANDSCAPE CONTRACTOR)

PASSIVE IRRIGATION INLET SECTION

SCALE - 1:20

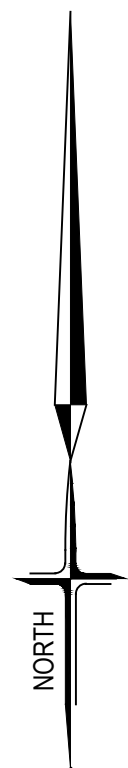


**TYPICAL SECTION WHEN
IN FILL ON BOUNDARY
OF FUTURE STAGE**
NOT TO SCALE



**TYPICAL SECTION WHEN
IN CUT ON BOUNDARY
OF FUTURE STAGE**
NOT TO SCALE

AMENDMENTS					breese pitt dixon pty. ltd. land surveyorscivil engineers				1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310						
			MELWAY REF.	356-C-1	ASPIRE ESTATE STAGE 35B FUNCTIONAL LAYOUT PLAN				MUNICIPALITY		MELTON				
			SURVEY	BPD					REFERENCE		8226 ^E / _{35B}				
			DESIGN	J.B											
			DRAWN	I.W											
VER	DATE	REMARKS	CHECKED	-	SCALE	AS SHOWN	DATUM	AHD	DATE	MAY 2022	SHEET	3	OF	6	P1



LEGEND

- PROPOSED PASSIVE IRRIGATION TREE PITS
- EXISTING PASSIVE IRRIGATION TREE PITS

NOTE:
LOCATION OF "TREENET" INLET TO BE
COORDINATED WITH FINAL COUNCIL ENDORSED
LANDSCAPE ARCHITECTS DRAWINGS.

LEGEND

CAR SPACE FOR
EACH LOT SHOWN

1 IN 5 YR
DRAINAGE SHOWN

OVERLAND FLOW PATH
1 IN 100 YR SHOWN

SYMBOL LEGEND

- | | | | | | | |
|--|-------|------------|--|-----------|-----------|---------|
| Drains | Prop | Prev Stage | Ex/Natural/FS Level | +28.57 | +N28.57 | +F28.57 |
| Main Drains | S | S | FS @ Building Line | +8.28.57 | +8.28.57 | +F28.57 |
| Sewer < 3000 | S | S | Top/Toe of Batter | +10P28.57 | +10E28.57 | |
| Water (DW) | DW | W | Top Ret. Wall Level | +TW28.57 | | |
| Water (NDW) | NDW | W | 100yr Flood Level | +FL28.57 | | |
| House Drain | H | H | Fill Proposed (<0.3m/±0.3m) | | | |
| Property Inlet | P | P | Cut Proposed | | | |
| Street Sign | S | S | Asphalt Surface Prop | | | |
| PSM | PSM | PSM | Concrete Surface Prop
(Paths/Driveways/Slabs) | | | |
| Rock Ret Wall | R | R | Tree To Be Removed | | | |
| Sleeper Ret Wall | S | S | Tree To Be Retained with
Tree Protection Zone (TPZ) | | | |
| Conduits 50mm | GW | GW | | | | |
| Conduits 100mm | W100 | W100 | | | | |
| Street Tree without/with
Passive Irrigation (Refer
Detail) | T | T | | | | |
| Ex Drains | Ex DW | Ex NDW | | | | |
| Ex Water DW/NDW | Ex S | Ex O | | | | |
| Ex Sewer/Gas | Ex E | Ex T | | | | |
| Ex Elect/Comm | Ex O | | | | | |
| Ex Optic Fibre | | | | | | |

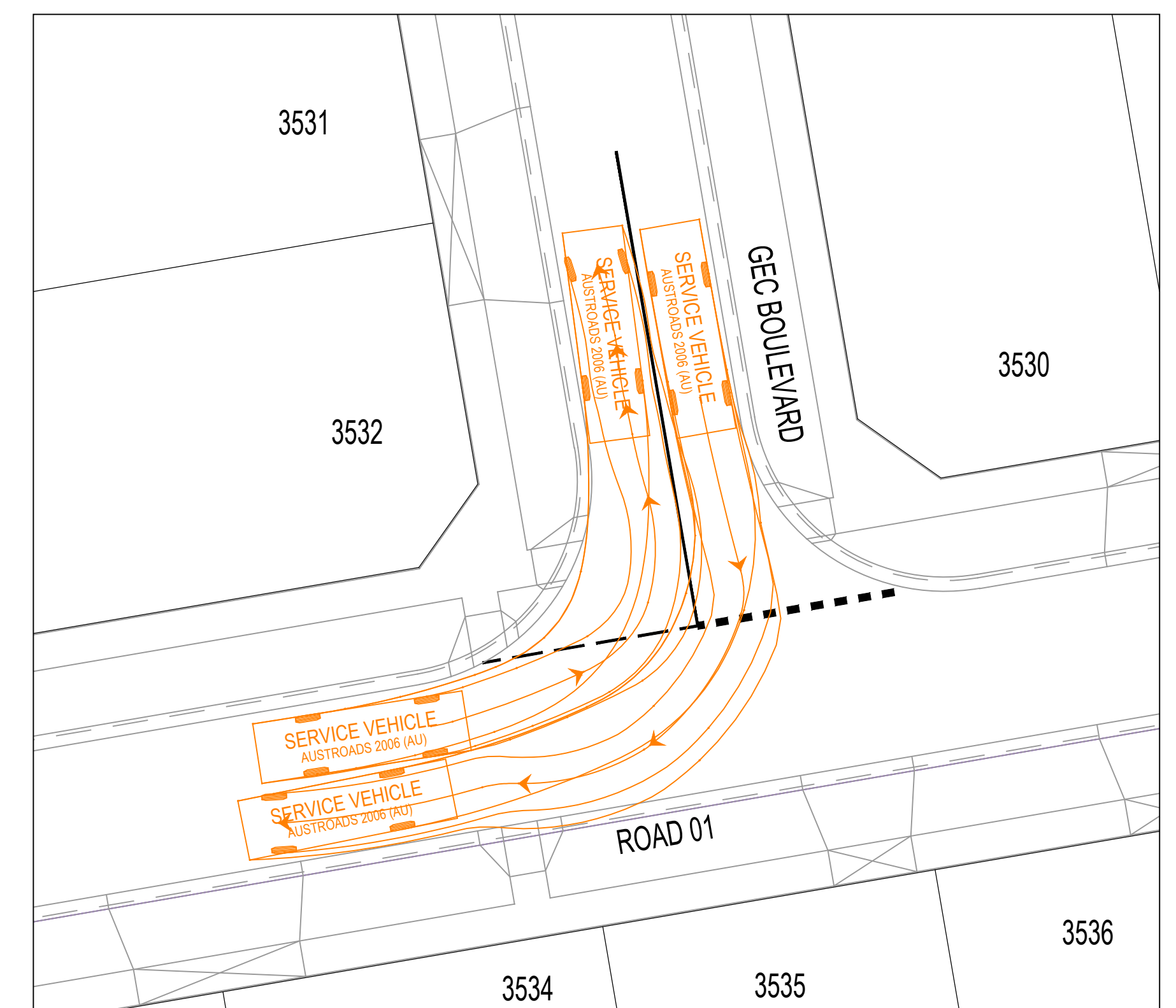
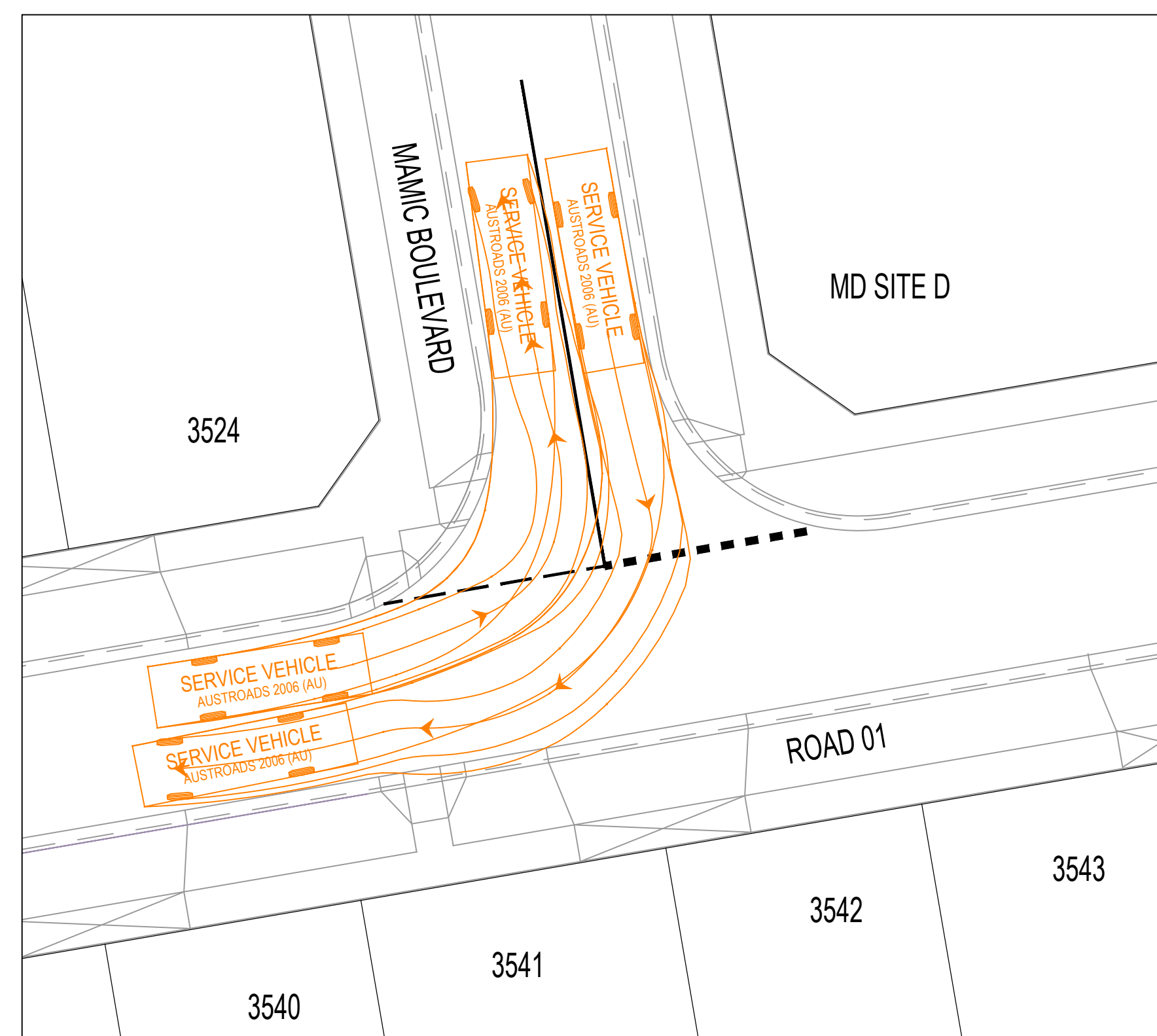
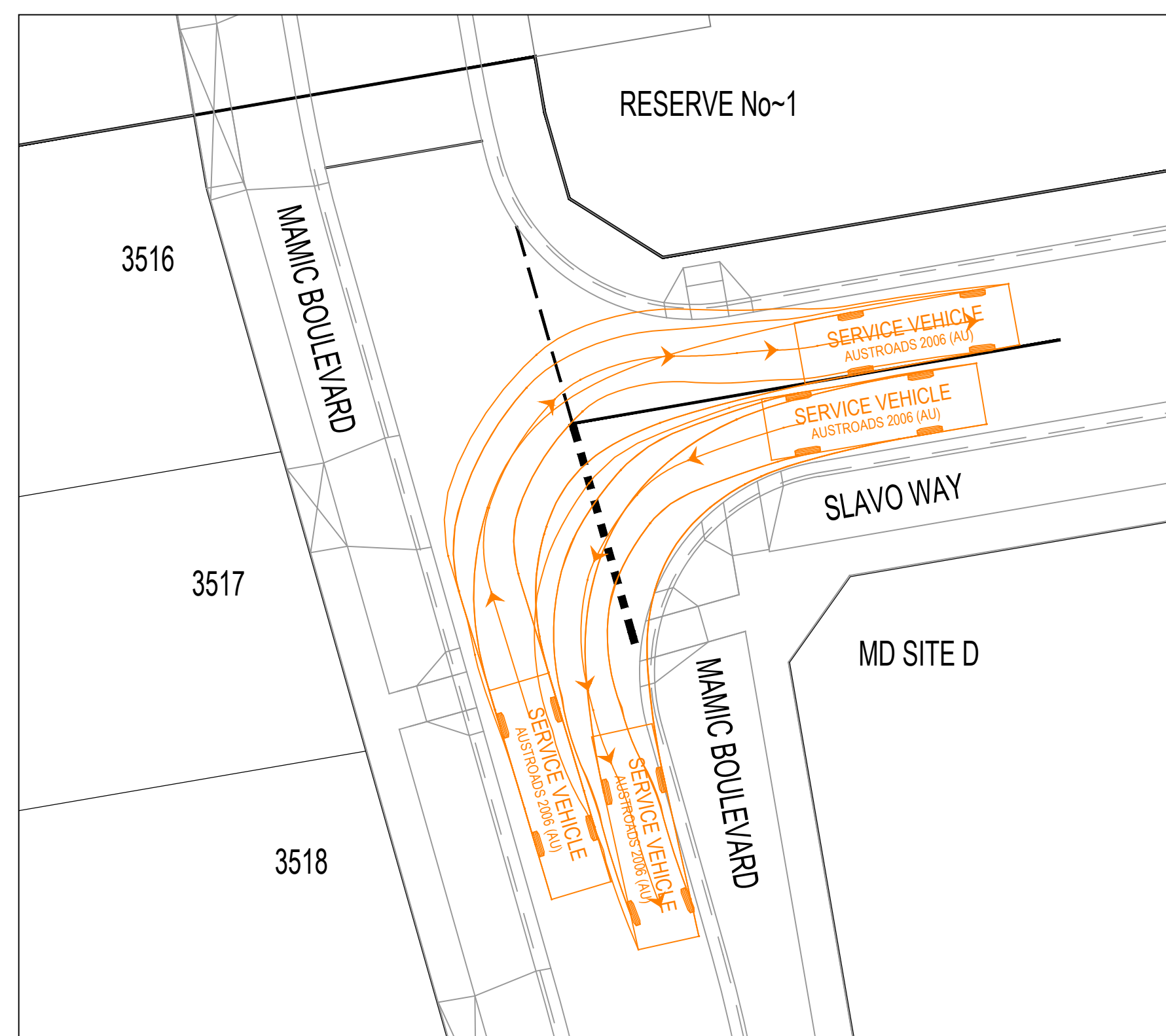
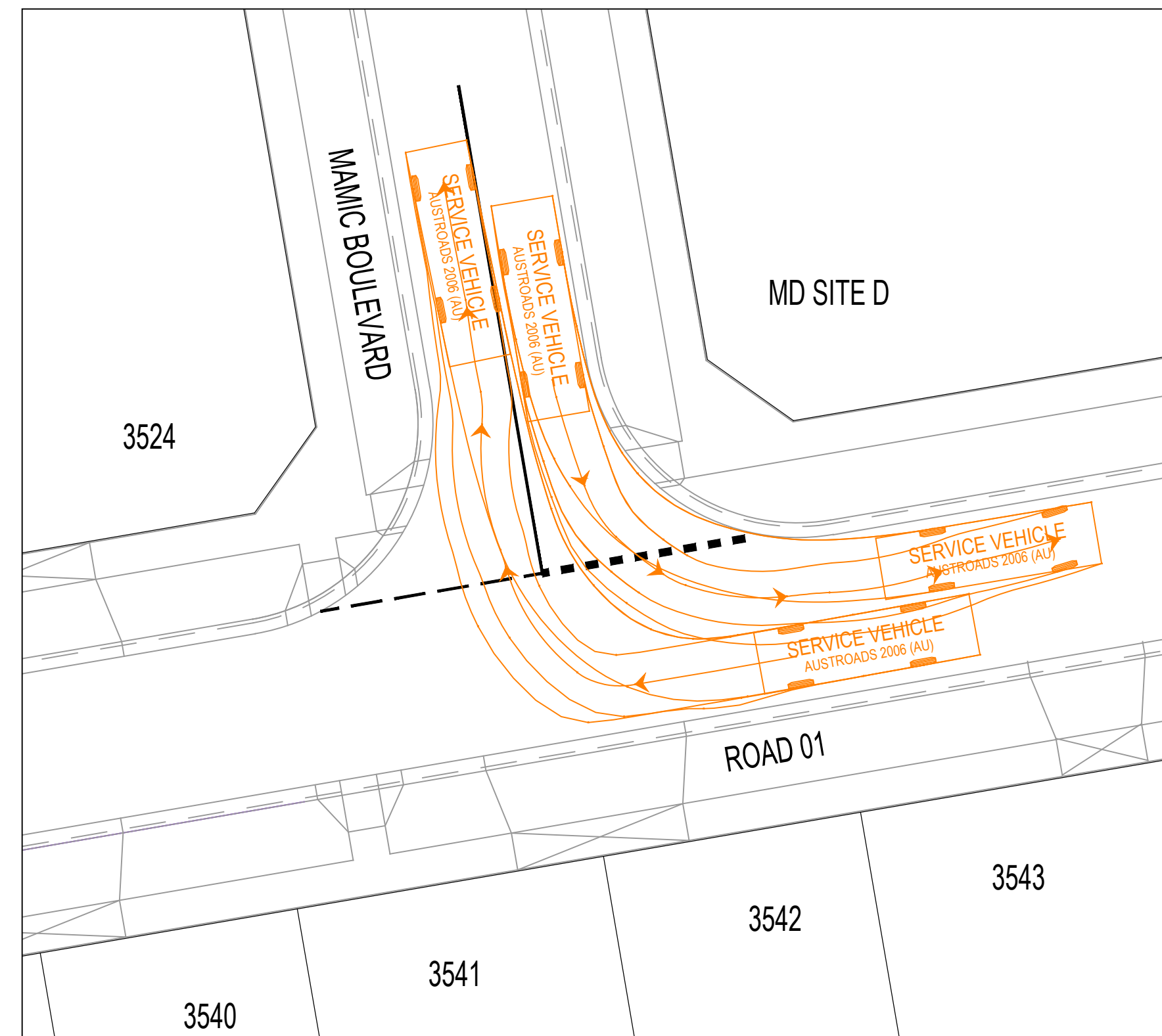
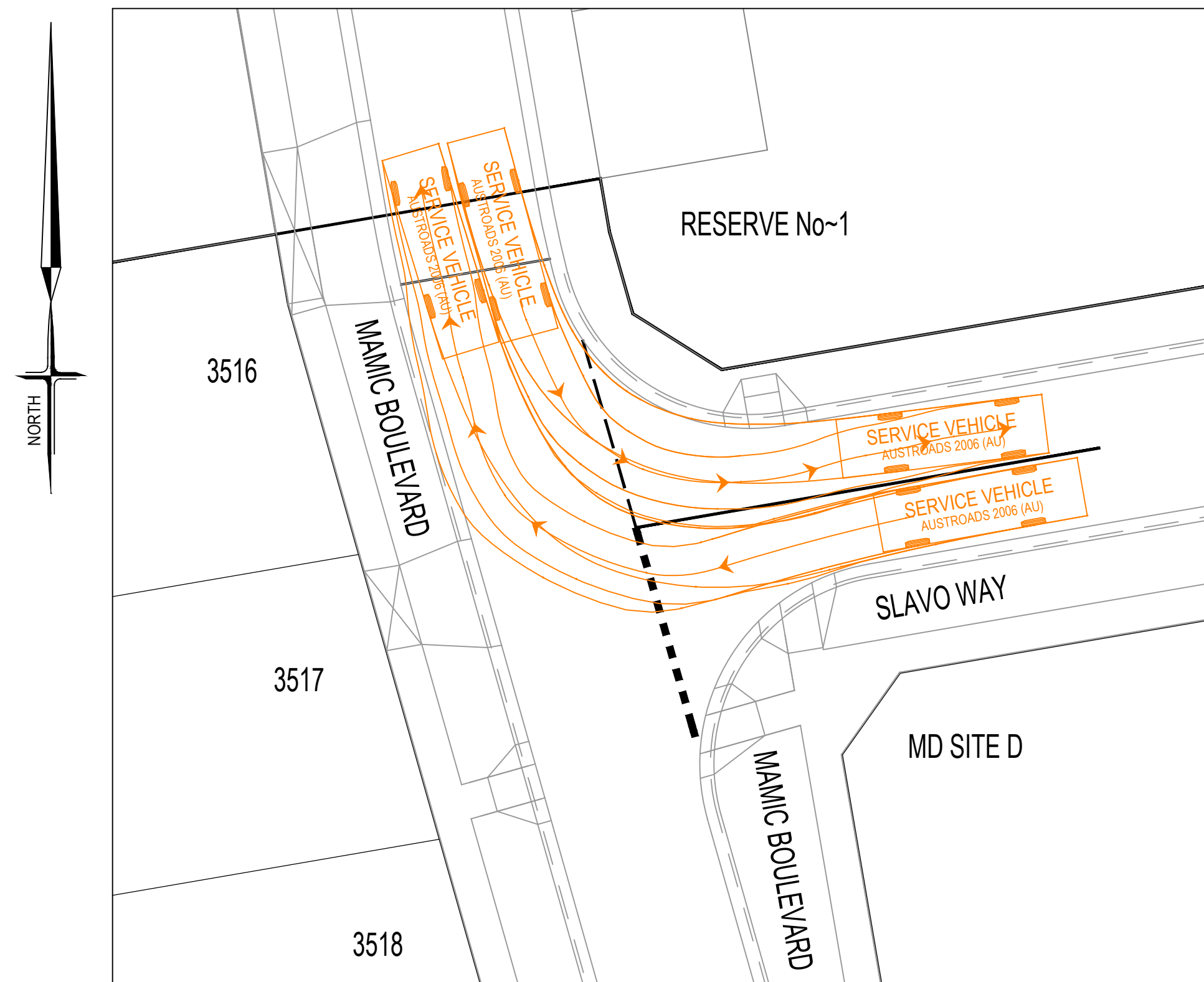
LENGTHS ARE IN METRES
SCALE 1 : 500 (A1)



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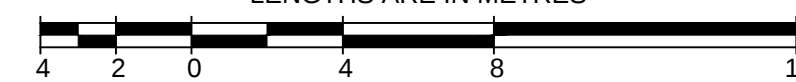
AMENDMENTS			MELWAY REF. 356-C-1	ASPIRE ESTATE STAGE 35B FUNCTIONAL LAYOUT PLAN			MUNICIPALITY MELTON		
			SURVEY BPD				REFERENCE 8226 E/35B		
			DESIGN J.B						
			DRAWN I.W						
VER	DATE	REMARKS	CHECKED -	SCALE 1:500	DATUM AHD	DATE MAY 2022	SHEET 4 OF 6	P1	



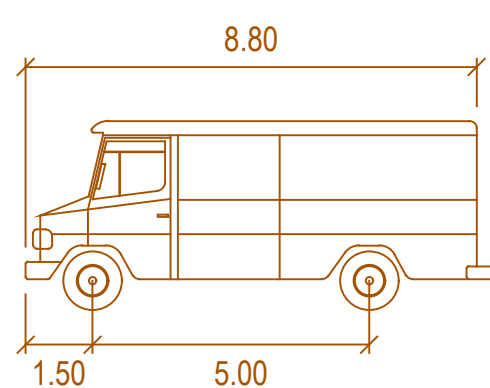
TURNING MOVEMENT DETAILS

SCALE 1:200

LENGTHS ARE IN METRES

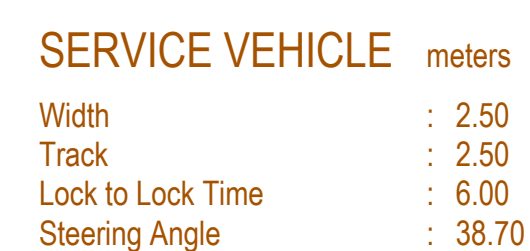
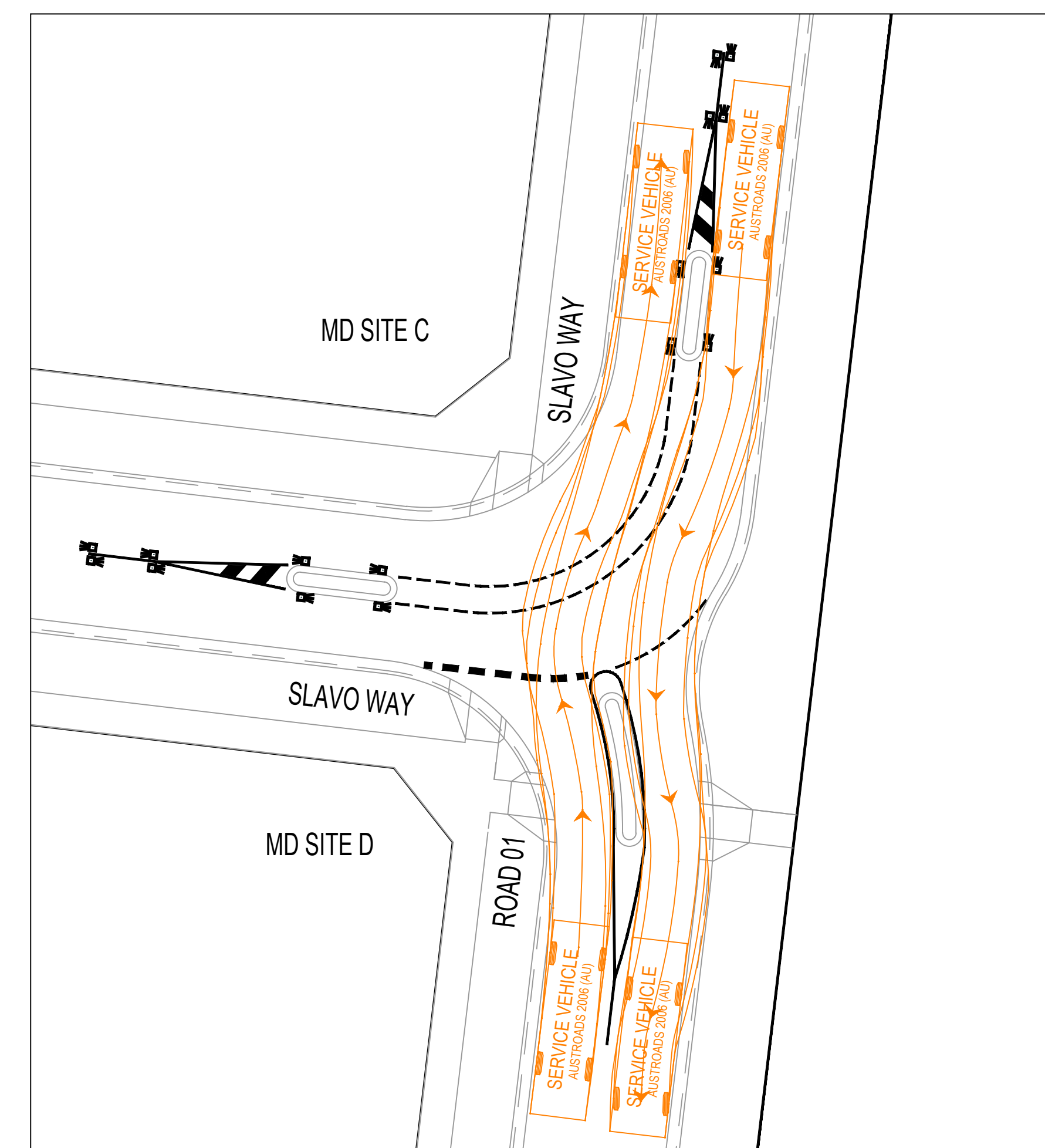
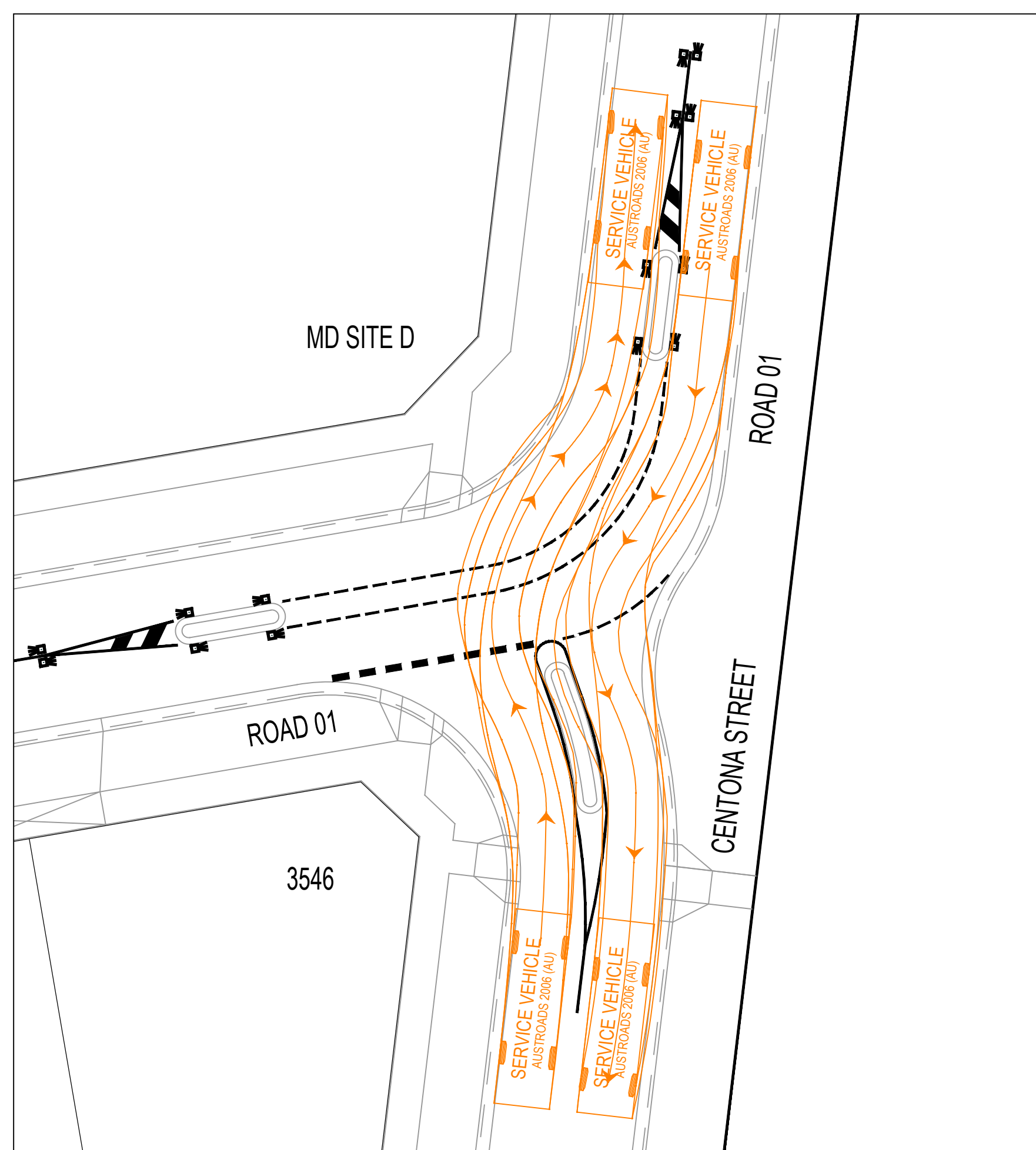
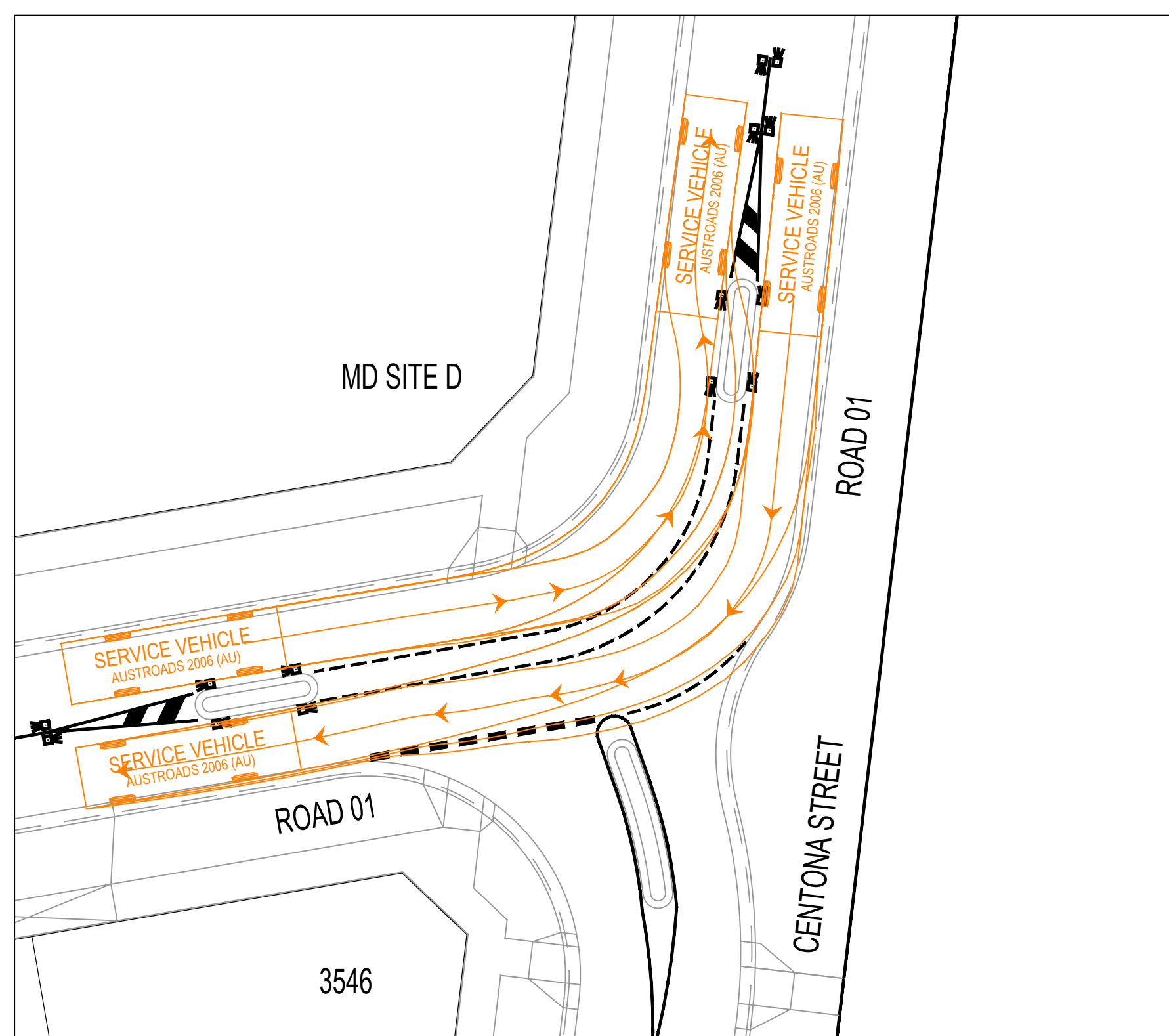
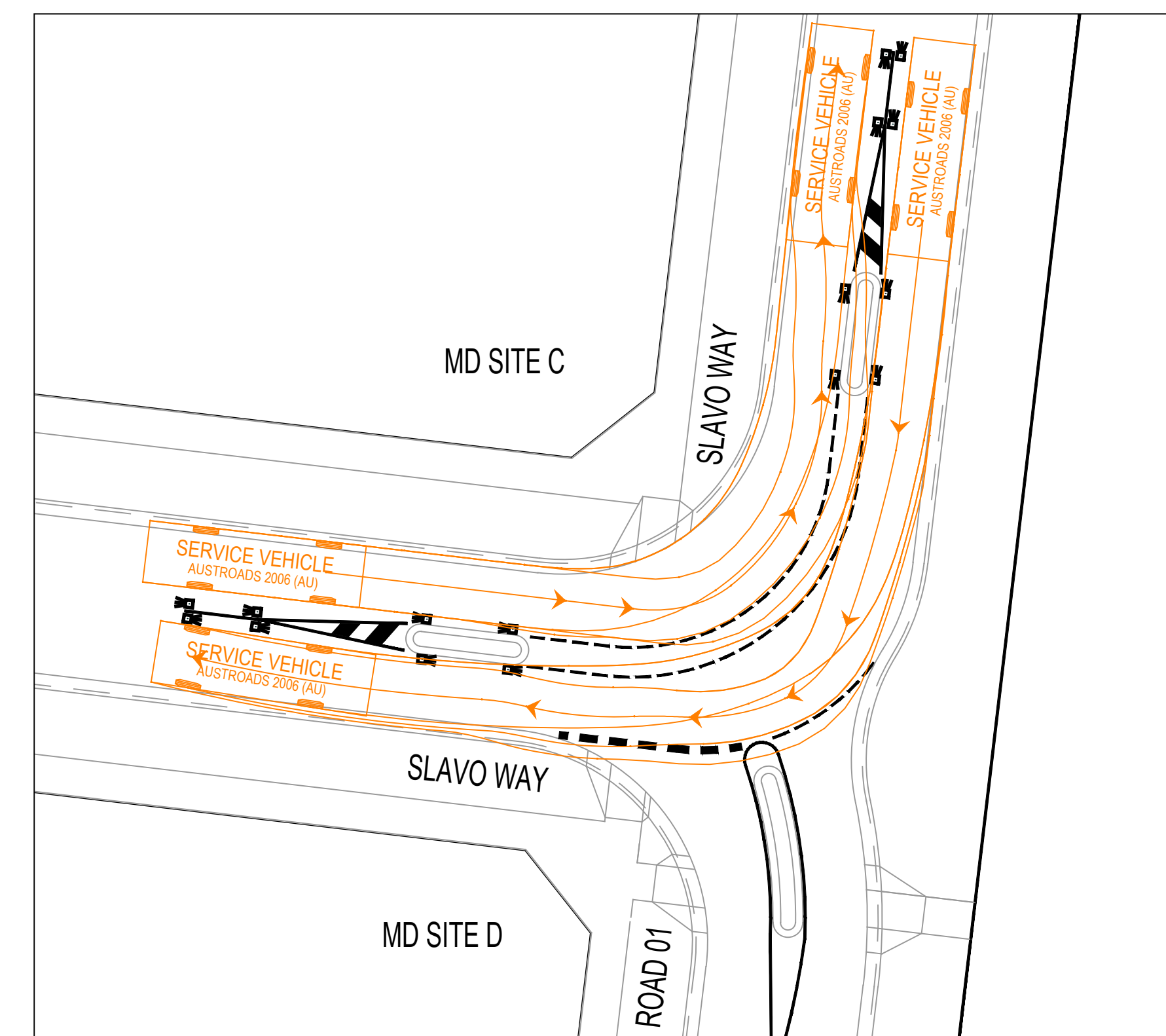
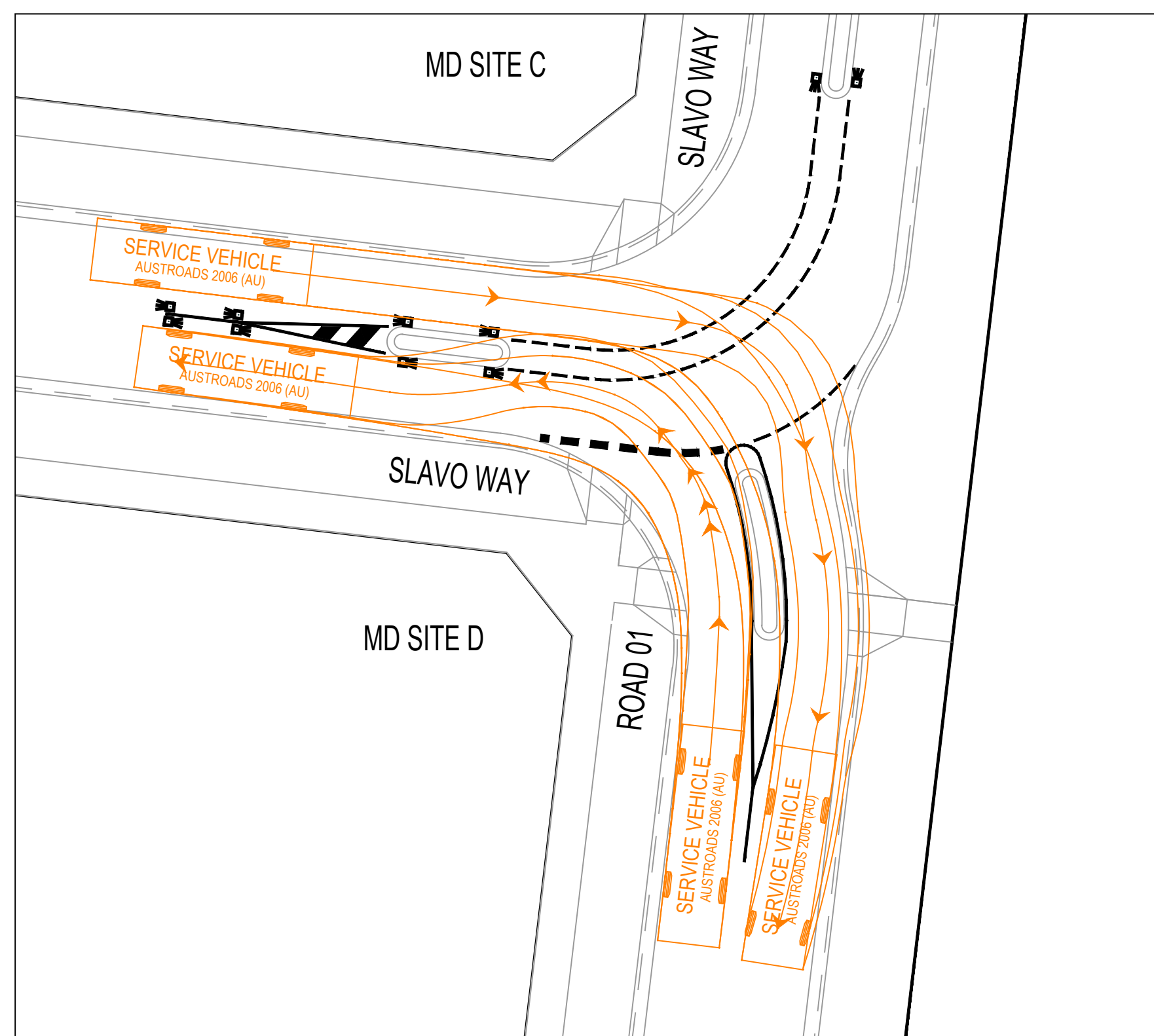
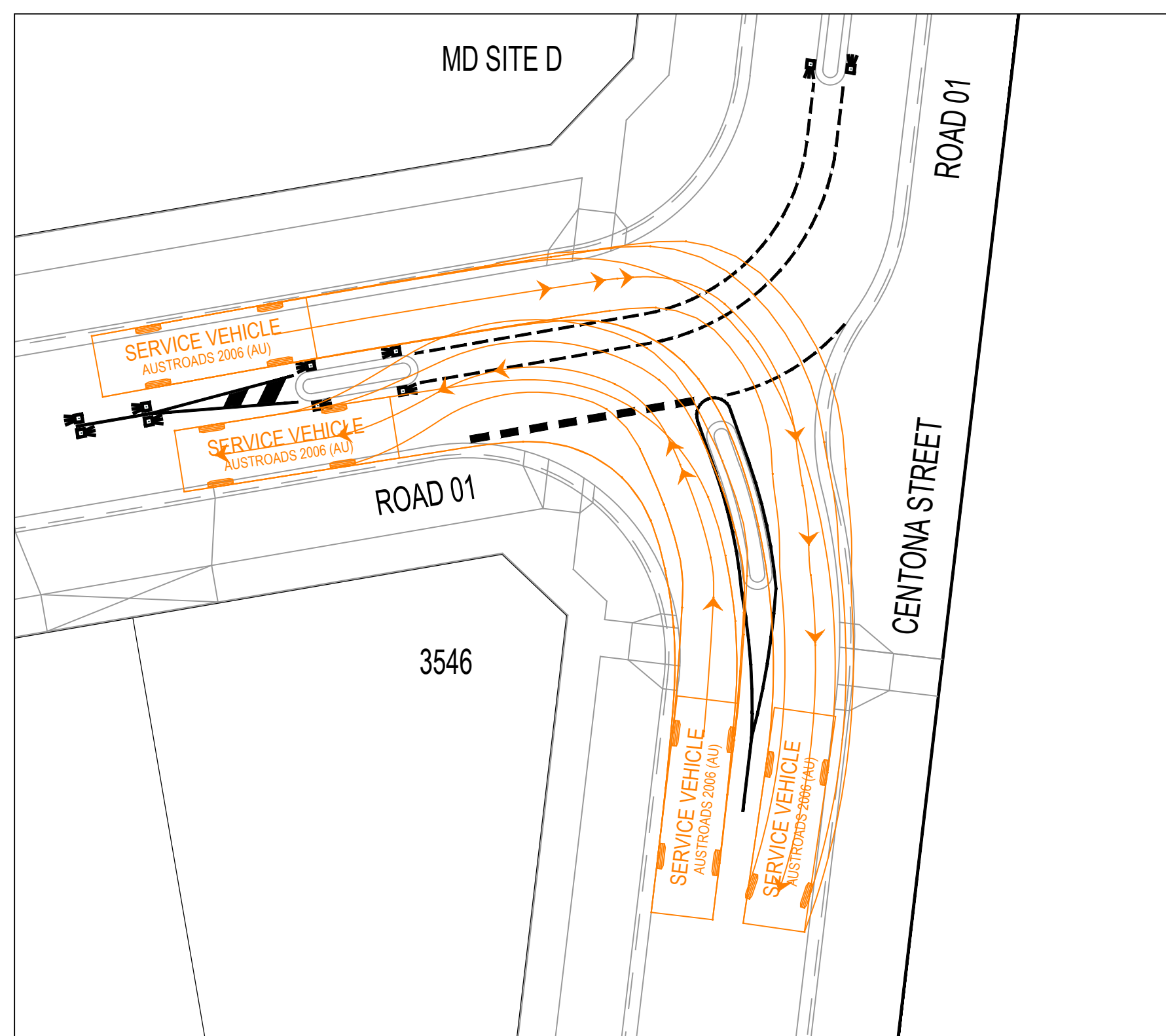


SCALE 1 : 200 (A1)



SERVICE VEHICLE	meters
Width	: 2.50
Track	: 2.50
Lock to Lock Time	: 6.00
Steering Angle	: 38.70

AMENDMENTS					breese pitt dixon pty. ltd. land surveyorscivil engineers				1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310				
			MELWAY REF.	354-C-12	ASPIRE ESTATE STAGE 35B FUNCTIONAL LAYOUT PLAN				MUNICIPALITY		MELTON		
			SURVEY	BPD					REFERENCE		8226 ^E /35B		
			DESIGN	J.B									
			DRAWN	I.W									
VER	DATE	REMARKS	CHECKED	-	SCALE	AS SHOWN	DATUM	AHD	DATE	MAY 2022	SHEET	5 OF 6	P/



SCALE 1:200

LENGTHS ARE IN METRES

The number line is marked from -4 to 10. The segments are defined by the following points: -4, -3, -2, -1, 0, 1, 5, 6, 10. The segments are: [-4, -3] (black), [-3, -2] (white), [-2, -1] (black), [-1, 0] (white), [0, 1] (black), [1, 5] (white), [5, 6] (black), [6, 10] (white).

SCALE 1 : 200 (A1)

AMENDMENTS					breese pitt dixon pty. ltd. land surveyorscivil engineers					1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310					
				MELWAY REF.	354-C-12			ASPIRE ESTATE STAGE 35B FUNCTIONAL LAYOUT PLAN					MUNICIPALITY		
				SURVEY	BPD								MELTON		
				DESIGN	J.B								REFERENCE		
				DRAWN	I.W								8226 E/35B		
VER	DATE	REMARKS		CHECKED	-	SCALE	AS SHOWN	DATUM	AHD		DATE	MAY 2022	SHEET	6 OF 6	P/1