

# PLAN OF SUBDIVISION

LRS use only

**EDITION**

**PS726085R**

## LOCATION OF LAND

Parish: CRANBOURNE

Township: -

Section: -

Crown Allotment: 36A (PART)

Title Reference: VOL. FOL.

Last Plan Reference: PS726052 (LOT J)

Postal Address: 415 CLYDE-FIVE WAYS ROAD  
(at time of subdivision) CLYDE 3978

MGA Co-ordinates E 353 270 ZONE: 55  
N 5 779 550  
(of approx. centre of land in plan)

Council Name: CITY OF CASEY

Ref:

### Notations

Staging This ~~is~~ is not a staged subdivision  
Planning Permit No. P920/08

Depth Limitation 15.24m BELOW THE SURFACE

FOR RESTRICTIONS AFFECTING LOTS 1001 TO 1005 (BOTH INCLUSIVE), LOTS 1007 TO 1024 (BOTH INCLUSIVE), LOTS 1026, 1027 AND LOTS 1029 TO 1031 (BOTH INCLUSIVE), SEE CREATION OF RESTRICTION ON SHEET 4.

FOR RESTRICTIONS AFFECTING LOTS 1006, 1025A AND 1025B SEE CREATION OF RESTRICTION ON SHEET 5.

SURVEY THIS PLAN IS/~~IS NOT~~ BASED ON SURVEY.

THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) 103 & 160  
IN PROCLAIMED SURVEY AREA No. 52

### Vesting of Roads and / or Reserves

| Identifier    | Council/Body/Person |
|---------------|---------------------|
| ROAD R1       | CITY OF CASEY       |
| RESERVE No. 1 | CITY OF CASEY       |
| RESERVE No. 2 | CITY OF CASEY       |

### Notations

THIS IS A SPEAR PLAN.

LOT NUMBERS 1 TO 1000 (BOTH INCLUSIVE) AND LOT 1028  
HAVE BEEN OMITTED FROM THIS PLAN.

Estate: Pasadena  
Phase No.: 10  
No. of Lots: 31 + Lot K  
PHASE AREA: 2.401ha

### EASEMENT INFORMATION

Legend: E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement  
A - Appurtenant Easement R - Encumbering Easement (Road)

| Subject Land | Purpose   | Width (Metres) | Origin    | Land Benefited/In Favour Of  |
|--------------|-----------|----------------|-----------|------------------------------|
| E-1 E-2 E-9  | SEWERAGE  | SEE DIAG.      | PS644560  | SOUTH EAST WATER CORPORATION |
| E-1 E-4      | DRAINAGE  | SEE DIAG.      | PS644560  | CITY OF CASEY                |
| E-3 E-7      | SEWERAGE  | SEE DIAG.      | THIS PLAN | SOUTH EAST WATER CORPORATION |
| E-5          | SEWERAGE  | 2              | PS637234  | SOUTH EAST WATER CORPORATION |
| E-6          | SEWERAGE  | SEE DIAG.      | PS708779  | SOUTH EAST WATER CORPORATION |
| E-7 E-9      | DRAINAGE  | SEE DIAG.      | THIS PLAN | CITY OF CASEY                |
| E-8          | SEWERAGE  | SEE DIAG.      | PS726052  | SOUTH EAST WATER CORPORATION |
| E-8          | DRAINAGE  | SEE DIAG.      | PS726052  | CITY OF CASEY                |
| E-10         | POWERLINE | 1.50           | PS708779  | SPI ELECTRICITY PTY. LTD.    |

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Statement of Compliance/  
Exemption Statement

Received

Date / /

LRS use only

Plan Registered

Time

Date / /

.....  
Assistant Registrar of Titles

Sheet 1 of 5 Sheets

ORIGINAL SHEET SIZE A3



**Beveridge Williams**  
development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

LICENSED SURVEYOR (PRINT) ADRIAN FREEMAN

SIGNATURE DIGITALLY SIGNED DATE:

REF. M3830/10

VERSION 2

M3830-PS-STAGE10-V2.DWG

BERWICK - CRANBOURNE ROAD

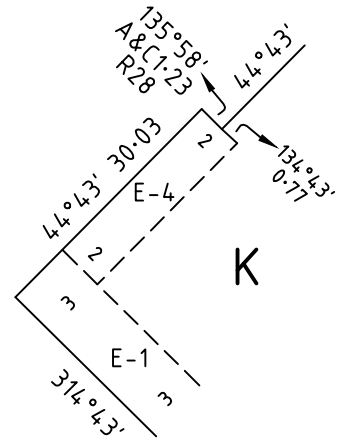


DIAGRAM A  
NOT TO SCALE

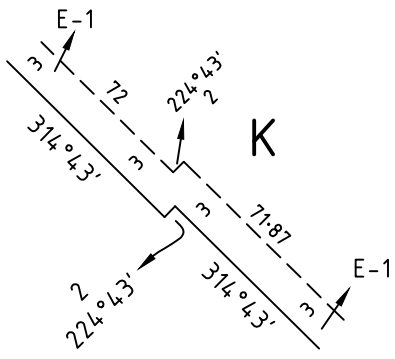


DIAGRAM B  
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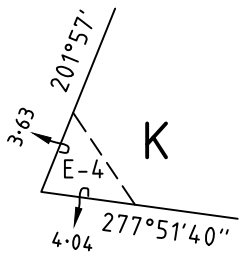


DIAGRAM C  
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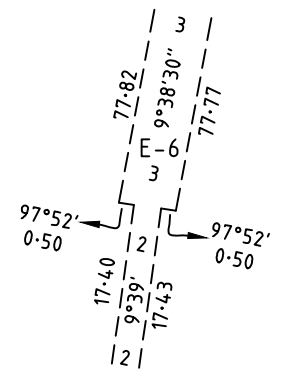
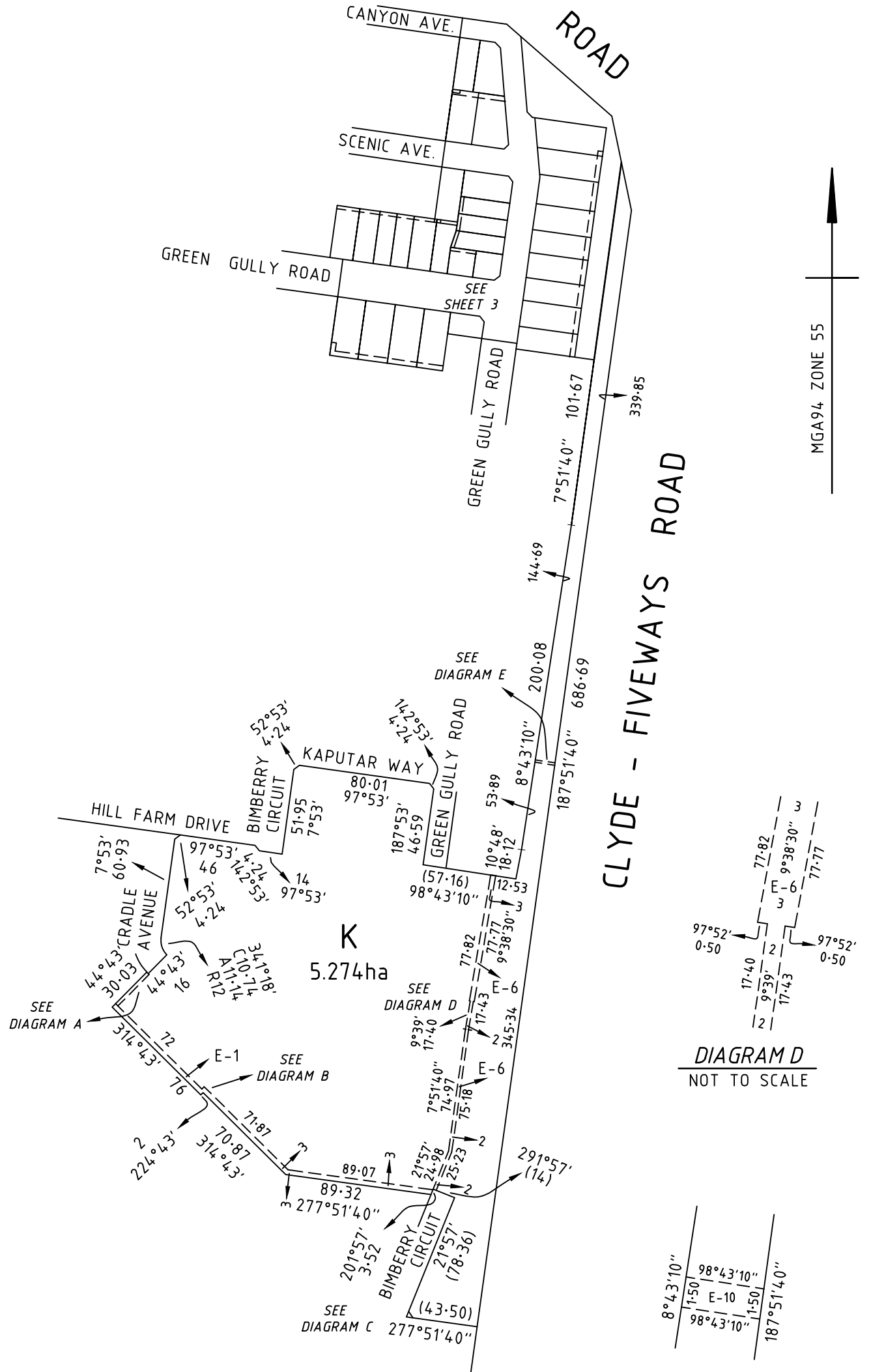


DIAGRAM D  
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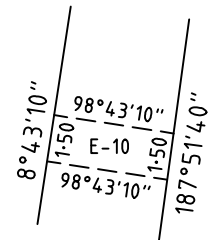
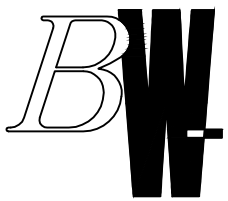


DIAGRAM E  
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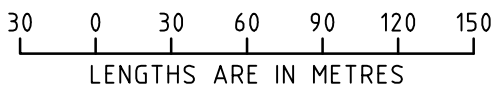


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SCALE



LENGTHS ARE IN METRES

ORIGINAL

SCALE SHEET SIZE

1:3000

A3

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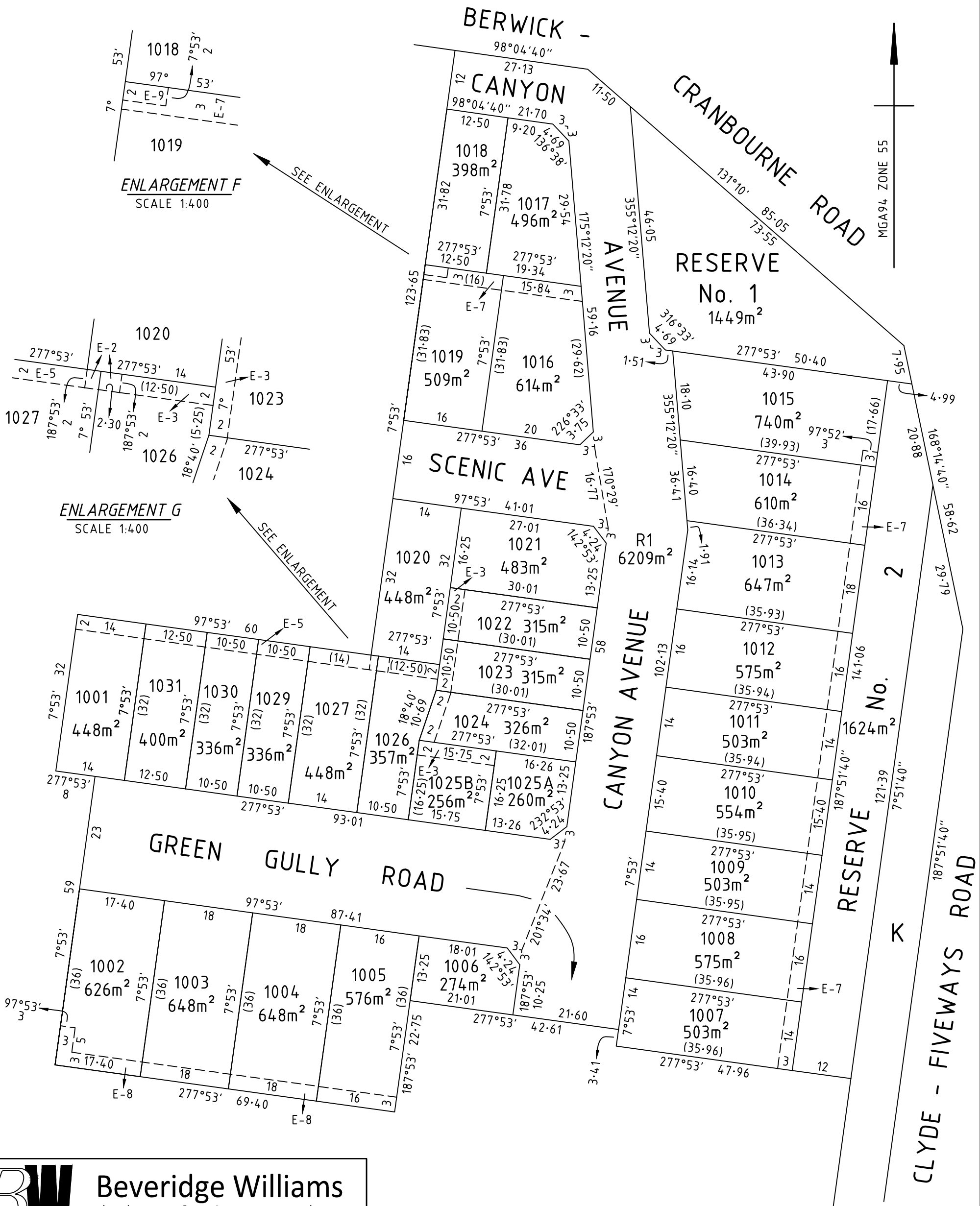
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Sheet 2

ORIGINAL SHEET SIZE A3

PLAN OF SUBDIVISION

PS726085R

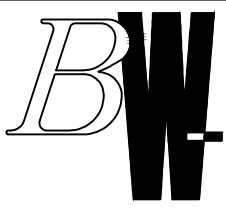


ENLARGEMENT F  
SCALE 1:400

SEE ENLARGEMENT

ENLARGEMENT G  
SCALE 1:400

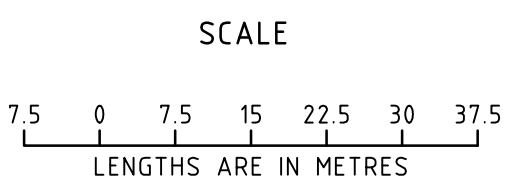
SEE ENLARGEMENT



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ORIGINAL SCALE  
1:750

SHEET SIZE  
A3

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Sheet 3  
ORIGINAL SHEET SIZE A3

**SUBDIVISION ACT 1988 CREATION OF RESTRICTION 'A'**

Upon registration of this plan the following restriction is created

**LAND TO BENEFIT:** Lots 1001 to 1005 (Both Inclusive), Lots 1007 to 1024 (Both Inclusive), Lots 1026, 1027 and Lots 1029 to 1031 (Both Inclusive).

**LAND TO BE BURDENED:** Lots 1001 to 1005 (Both Inclusive), Lots 1007 to 1024 (Both Inclusive), Lots 1026, 1027 and Lots 1029 to 1031 (Both Inclusive).

**DESCRIPTION OF RESTRICTION:**

The registered proprietor or proprietors for the time being of a lot on this plan of subdivision his heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof;

- (i) Build or cause to be built or allow to be built or allow to remain more than one private dwelling-house (which expression shall include a house, apartment, unit or flat);
- (ii) Build or cause to be built or allow to be built or allow to remain a dwelling-house or any other improvements, or carry out cause to be carried out or allow to be carried out any building or construction works on the lot prior to 1 January 2020 unless:
  - (A) copies of building plans, elevations, roof plan, site plan (incorporating setback from all boundaries, building envelope, existing contour, proposed finished floor levels and site levels, all proposed driveways and paths, details of fences and outbuildings and landscaping) and schedule of external colours and materials ("plans") have been submitted to the Design Assessment Panel care of Pasadena DAP, PO Box 356, Mont Albert VIC 3127 or such other entity as may be nominated by the Design Assessment Panel from time to time;
  - (B) the plans comply with the Design Guidelines, a copy of which can be obtained from the website at [www.pasadenaclyde.com.au/guidelines.htm](http://www.pasadenaclyde.com.au/guidelines.htm)
  - (C) the Design Assessment Panel or such other entity as may be nominated by the Design Assessment Panel from time to time has given its written approval to the plans prior to the commencement of works;
- (iii) Build or cause to be built or allow to be built or allow to remain a dwelling house with a floor area of less than:
  - (A) 150 square metres in the case of a lot having an area of 500 square metres or greater; or
  - (B) 110 square metres in the case of a lot having an area of less than 500 square metres, excluding terrace allotments.
  - (C) 85 square metres in the case of terrace allotments as defined in the Design Guidelines.

For the purposes of calculating the floor area of a dwelling-house the area of the garages, terraces, pergolas or verandahs shall be excluded.
- (iv) Build or cause to be built or allow to be built or allow to remain a garage on lots between 250 square metres and 500 square metres;
  - (A) Which contains a garage door or doors of which the garage opening/s occupy more than 40% of the width of the lot frontage unless in the case of dwellings of two or more storeys on lots with a frontage width of less than 12 metres whereby the garage opening must not exceed 25% of the area of the front facade of the dwelling, with the area of the front facade measured from a two dimensional elevation plan excluding any roof area of the dwelling.
  - (B) Which is sited closer to the street frontage than the dwelling-house or 5.5 metres which ever is the greater.
- (v) Build or cause to be built or allow to be built or allow to remain any fencing:
  - (A) Along a front street boundary; or
  - (B) Between the front street boundary and the building line; or
  - (C) Upon a side or rear boundary of a lot except a fence:
    - (a) Which is constructed of timber palings with exposed posts capped across the top of the palings; and
    - (b) Which does not exceed 1.8 metres in height excluding a screen erected to meet the requirements of Part 4 of the Building Regulations 2006 in relation to overlooking.
- (vi) Subdivide or cause to subdivide or allow to be subdivided the burdened land.
- (vii) Allow any of the above restrictions to be changed or amended unless otherwise approved in writing by the responsible authority and the Design Assessment Panel.

Sheet 4

ORIGINAL SHEET SIZE A3



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**SUBDIVISION ACT 1988 CREATION OF RESTRICTION 'B'**

Upon registration of this plan the following restriction is created

**LAND TO BENEFIT:** Lots 1006, 1025A and 1025B

**LAND TO BE BURDENED:** Lots 1006, 1025A and 1025B

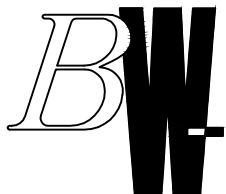
**DESCRIPTION OF RESTRICTION:**

The registered proprietor or proprietors for the time being of a lot on this plan of subdivision his heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof;

- (i) Build or cause to be built or allow to be built or allow to remain more than one private dwelling-house (which expression shall include a house, apartment, unit or flat);
- (ii) Build or cause to be built or allow to be built or allow to remain a dwelling-house or any other improvements, or carry out cause to be carried out or allow to be carried out any building or construction works on the lot prior to 1 January 2020 unless:
  - (A) copies of building plans, elevations, roof plan, site plan (incorporating setback from all boundaries, building envelope, existing contour, proposed finished floor levels and site levels, all proposed driveways and paths, details of fences and outbuildings and landscaping) and schedule of external colours and materials ("plans") have been submitted to the Design Assessment Panel care of Pasadena DAP, PO Box 356, Mont Albert VIC 3127 or such other entity as may be nominated by the Design Assessment Panel from time to time;
  - (B) the plans comply with the Design Guidelines, a copy of which can be obtained from the website at [www.pasadenaclyde.com.au/guidelines.htm](http://www.pasadenaclyde.com.au/guidelines.htm)
  - (C) the Design Assessment Panel or such other entity as may be nominated by the Design Assessment Panel from time to time has given its written approval to the plans prior to the commencement of works;
- (iii) Build or cause to be built or allow to be built or allow to remain a dwelling house with a floor area of less than 110 square metres.
 

For the purposes of calculating the floor area of a dwelling-house the area of the garages, terraces, pergolas or verandahs shall be excluded.
- (iv) Build or cause to be built or allow to be built or allow to remain a dwelling house:
  - (A) With site coverage exceeding 70% of the overall site area.
  - (B) With a private open space area of less than 25 square metres and with a dimension of less than 3.0 metres.
  - (C) With front setback encroachments greater than 1000mm.
- (v) Build or cause to be built or allow to be built or allow to remain a garage:
  - (A) Which contains a garage door or doors of which the garage opening/s occupy more than 40% of the width of the lot frontage unless in the case of dwellings of two or more storeys on lots with a frontage width of less than 12 metres whereby the garage opening must not exceed 25% of the area of the front facade of the dwelling, with the area of the front facade measured from a two dimensional elevation plan excluding any roof area of the dwelling.
  - (B) Which is sited between 3.0 metres and 5.0 metres from the street frontage on Lots 1006 and 1025B.
- (vi) Build or cause to be built or allow to be built or allow to remain any fencing:
  - (A) Along a front street boundary; or
  - (B) Between the front street boundary and the building line; or
  - (C) Upon a side (excluding side boundaries adjacent to a road) or rear boundary of a lot except a fence:
    - (a) Which is constructed of timber palings with exposed posts capped across the top of the palings; and
    - (b) Which does not exceed 1.8 metres in height excluding a screen erected to meet the requirements of Part 4 of the Building Regulations 2006 in relation to overlooking.
- (vii) Subdivide or cause to subdivide or allow to be subdivided the burdened land.
- (viii) Allow any of the above restrictions to be changed or amended unless otherwise approved in writing by the responsible authority and the Design Assessment Panel.

Sheet 5  
ORIGINAL SHEET SIZE



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