

PLAN OF SUBDIVISION	LV use only EDITION	Plan Number PS 649691Y/S9
----------------------------	-------------------------------	-------------------------------------

Location of Land
 Parish: Mickleham
 Township: _____
 Section: _____
 Crown Allotment: _____
 Crown Portion: 2B (Part)
 Title Reference: Vol. Fol.
 Last Plan Reference: Lot S20 PS 649691Y Stage 20
 Postal Address: 535 & 535A Mount Ridley Road
 (at time of subdivision) Mickleham 3064
 MGA94 Co-ordinates: E 313 900 Zone: 55
 (of approx. centre of land in plan) N 5 840 300

Council Certificate and Endorsement
 Council Name: Hume City Council Ref:

Vesting of Roads and/or Reserves

Identifier	Council/Body/Person
Roads R-9 Reserve No.7	Hume City Council Jemena Electricity Networks (Vic) Ltd

NOTATIONS

Lots 1 to 800 (Both Inclusive) and S2 to S9 have been omitted from this stage.
 Lots on this Plan may be affected by one or more Owners Corporations.
 Building Envelope Schedule is within the instrument for PS 649691Y, Stage 9.

Estate: TRILLIUM
Development No.: 8
No. of Lots: 51
Area: 2.781 ha
Melways: 366 B12

NOTATIONS

Depth Limitation : Does not apply.

Survey This plan is/~~is not~~ based on survey, refer BP 2632P.
 This survey has been connected to Mickleham permanent marks no(s) PM3 & PM4 in Proclaimed Survey Area No.74.

Staging This is/~~is not~~ a staged subdivision
 Planning Permit No. P15448

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	Drainage	See Diag.	This Plan & PS 649691Y Stage 7 & 18	Hume City Council
E-2	Sewerage	See Diag.	This Plan	Yarra Valley Water Corporation
E-3	Drainage	See Diag.	This Plan & PS 649691Y Stage 7	Hume City Council
E-3	Sewerage	See Diag.	This Plan & PS 649691Y Stage 7	Yarra Valley Water Corporation

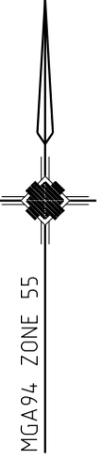
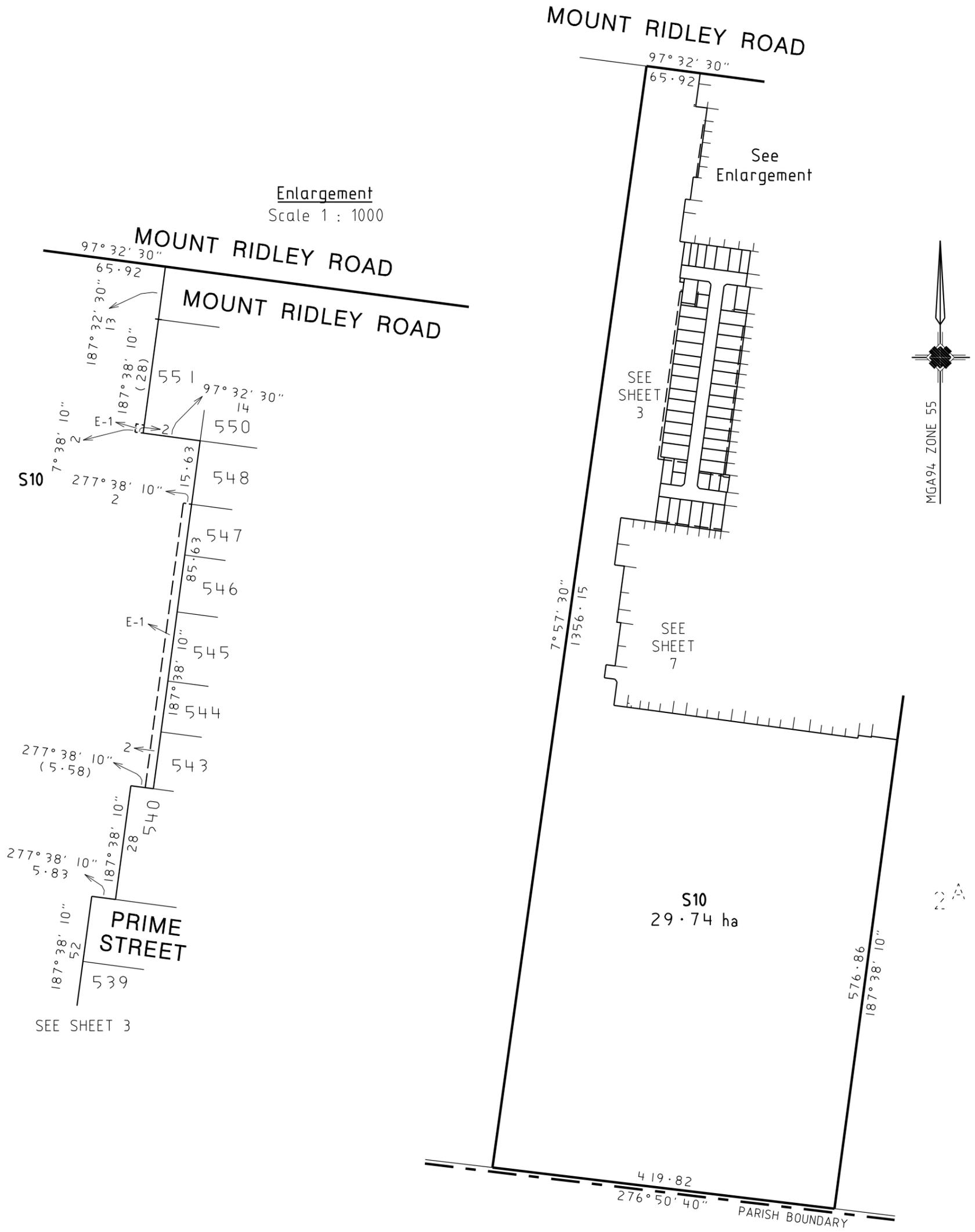
SHEET 1 OF 10 SHEETS
 ORIGINAL SHEET SIZE A3

 WATSONS URBAN DEVELOPMENT CONSULTANTS & MANAGERS <small>5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916 THE MELBURNIAN, SUITE 2, 250 ST.KILDA RD, SOUTH BANK PH. (03) 9697 8000, FAX (03) 9697 8099</small>	DIGITALLY SIGNED BY LICENSED SURVEYOR JONATHAN TREVOR NEATE REF 36182/Stg.8 VERSION 4	
--	--	--

Plan Number

PS 649691Y/S9

Enlargement
Scale 1 : 1000



SHEET 2

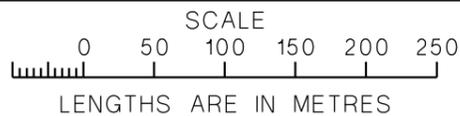
ORIGINAL SHEET SIZE A3



WATSONS

URBAN DEVELOPMENT
CONSULTANTS & MANAGERS

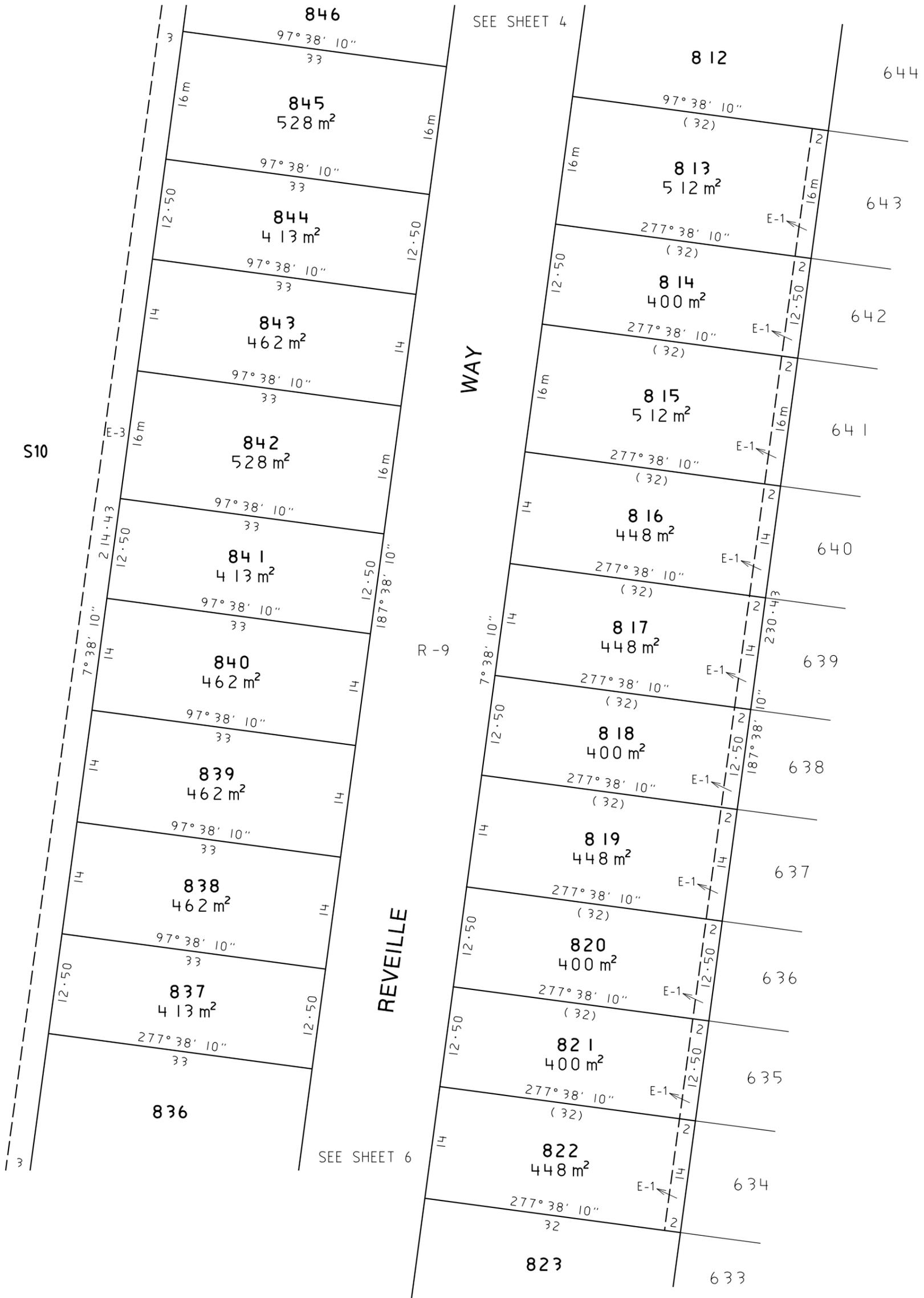
5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 250 ST. KILDA RD, SOUTHBANK
PH. (03) 9697 8000, FAX (03) 9697 8099



ORIGINAL
SCALE
1 : 5000

DIGITALLY SIGNED BY LICENSED SURVEYOR
JONATHAN TREVOR NEATE
REF 36182/Stg.8 VERSION 4

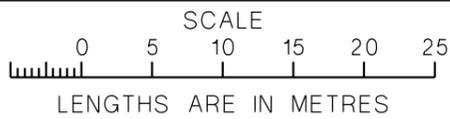
Plan Number
PS 649691Y/S9



WATSONS

URBAN DEVELOPMENT
 CONSULTANTS & MANAGERS

5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916
 THE MELBURNIAN, SUITE 2, 250 ST.KILDA RD, SOUTHBANK
 PH. (03) 9697 8000, FAX (03) 9697 8099

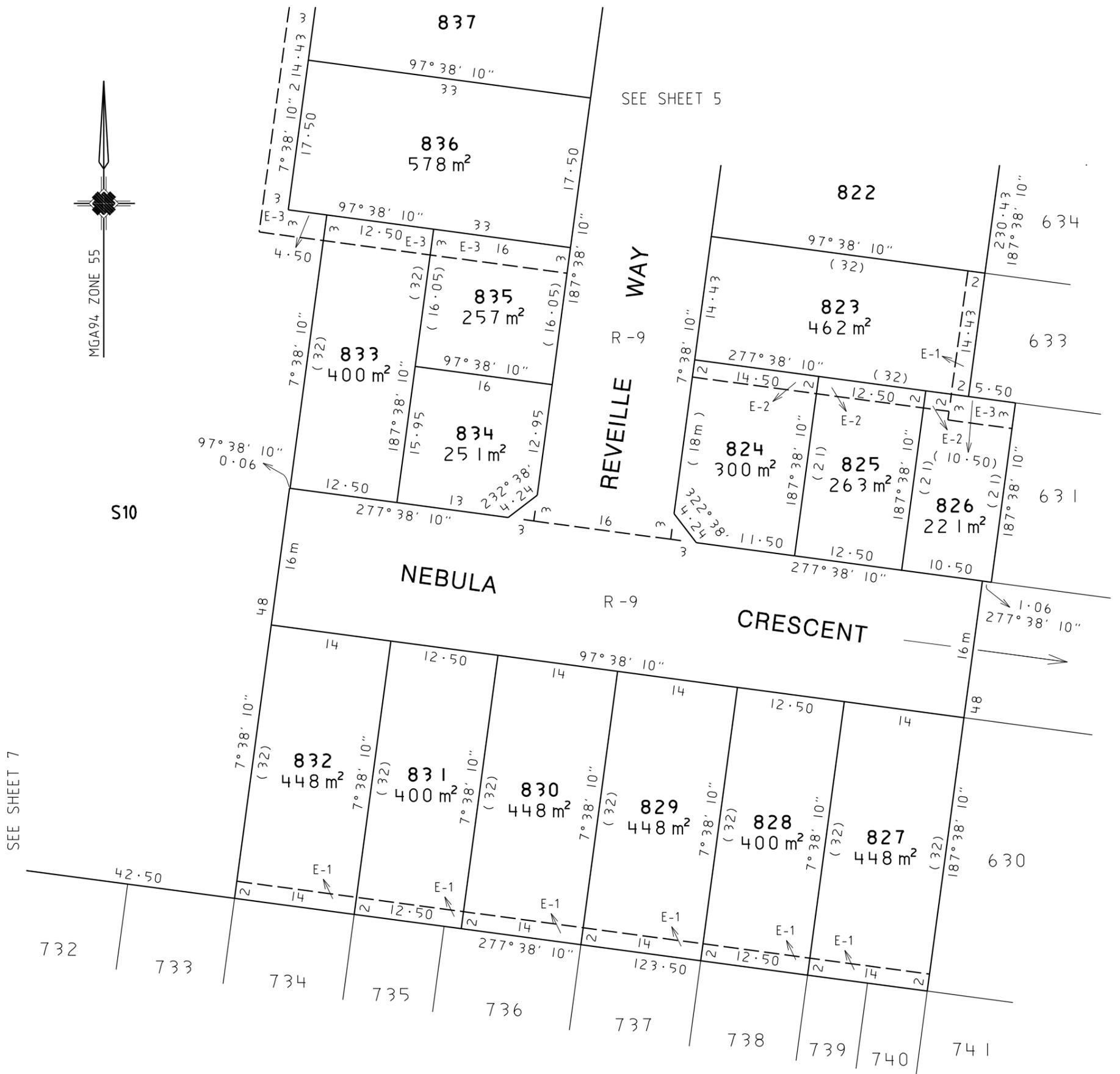
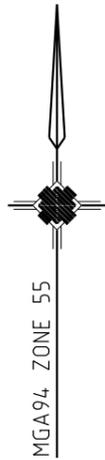


ORIGINAL
 SCALE
 1 : 500

DIGITALLY SIGNED BY LICENSED SURVEYOR
 JONATHAN TREVOR NEATE
 REF 36182/Stg.8 VERSION 4

SHEET 5
 ORIGINAL SHEET SIZE A3

Plan Number
PS 649691Y/S9



SEE SHEET 7

S10

SEE SHEET 5

SHEET 6

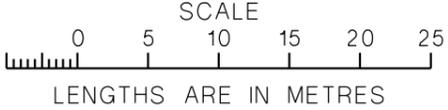
ORIGINAL SHEET SIZE A3



WATSONS

URBAN DEVELOPMENT
 CONSULTANTS & MANAGERS

5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916
 THE MELBURNIAN, SUITE 2, 250 ST. KILDA RD, SOUTHBANK
 PH. (03) 9697 8000, FAX (03) 9697 8099



ORIGINAL
 SCALE
 1:500

DIGITALLY SIGNED BY LICENSED SURVEYOR
 JONATHAN TREVOR NEATE
 REF 36182/Stg.8 VERSION 4

Signed by Council: Hume City Council, Council Ref: S007186, Original Certification: 10/10/2014, Recertification: 25/03/2015, S.O.C.: 14/04/2015

Plan Number
PS 649691Y/S9



SEE SHEET 3

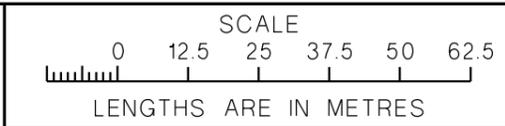


SEE SHEET 2



WATSONS
URBAN DEVELOPMENT
CONSULTANTS & MANAGERS

5 MAIN ST, MORNINGTON PH.(03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 250 ST.KILDA RD, SOUTHBANK
PH.(03) 9697 8000, FAX (03) 9697 8099



ORIGINAL SCALE
1 : 1250

DIGITALLY SIGNED BY LICENSED SURVEYOR
JONATHAN TREVOR NEATE
REF 36182/Stg.8 VERSION 4

SHEET 7

ORIGINAL SHEET SIZE A3

Signed by: Jonathan Trevor Neate (Watsons) Surveyor's Plan Version (4) SPEAR Ref: S050489A 17/03/2015

**OWNERS CORPORATION
SCHEDULE**

Plan Number

PS 649691Y/S9*Owners Corporation: 1**Plan no. P.S. 649691Y*

Land affected by Owners Corporation 1: Lots 101 to 152 (Both Inclusive), 201 to 243 (Both Inclusive), 244 to 281 (Both Inclusive), 301 to 338 (Both Inclusive), 339 to 364 (Both Inclusive), 501 to 524 (Both Inclusive), 525 to 551 (Both Inclusive), 601 to 649 (Both Inclusive), 701 to 730 (Both Inclusive), 731 to 774 (Both Inclusive) and Common Property No.1 from Previous Stages and Lots 801 to 851 (Both Inclusive) and S10.

Limitations of Owners Corporation 1: Unlimited

Notations:

Model Rules Apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006.

Lot Entitlement and Lot Liability

Lot	Entitlement	Liability	Lot	Entitlement	Liability	Lot	Entitlement	Liability
101 to 152 (Stage 1)	520	520	818	10	10			
			819	10	10			
201 to 243 (Stage 2)	430	430	820	10	10			
			821	10	10			
244 to 281 (Stage 3)	380	380	822	10	10			
			823	10	10			
301 to 338 (Stage 4)	380	380	824	10	10			
			825	10	10			
339 to 364 (Stage 17)	260	260	826	10	10			
			827	10	10			
501 to 524 (Stage 6)	240	240	828	10	10			
			829	10	10			
525 to 551 (Stage 18)	270	270	830	10	10			
			831	10	10			
601 to 649 (Stage 7)	490	490	832	10	10			
			833	10	10			
701 to 730 (Stage 8)	300	300	834	10	10			
			835	10	10			
731 to 774 (Stage 20)	440	440	836	10	10			
			837	10	10			
801	10	10	838	10	10			
802	10	10	839	10	10			
803	10	10	840	10	10			
804	10	10	841	10	10			
805	10	10	842	10	10			
806	10	10	843	10	10			
807	10	10	844	10	10			
808	10	10	845	10	10			
809	10	10	846	10	10			
810	10	10	847	10	10			
811	10	10	848	10	10			
812	10	10	849	10	10			
813	10	10	850	10	10			
814	10	10	851	10	10			
815	10	10	S10	4870	1			
816	10	10						
817	10	10						
Total			Total	8650	4221			

SHEET 8

ORIGINAL SHEET SIZE A3

**WATSONS**URBAN DEVELOPMENT
CONSULTANTS & MANAGERS5 MAIN ST, MORNINGTON PH.(03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 250 ST.KILDA RD, SOUTHBANK
PH.(03) 9697 8000, FAX (03) 9697 8099

DIGITALLY SIGNED BY LICENSED SURVEYOR

JONATHAN TREVOR NEATE

REF 36182/Stg.8

VERSION 4

Plan Number

PS 649691Y/S9

SUBDIVISION ACT 1988
CREATION OF RESTRICTION A

The following restriction is to be created upon registration of this plan.

Land to benefit: Lots 801 to 851 (both inclusive) on this plan.

Land to be burdened: Lots 801 to 851 (both inclusive) on this plan.

Description of Restriction:

The registered proprietor or proprietors for the time being of a lot on this Plan of Subdivision his, her, their or its heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof:

- (i) Build or cause to be built or allow to be built or allow to remain standing more than one private dwelling-house (which expression shall include a house, apartment, unit or flat).
- (ii) Build or cause to be built or allow to be built or allow to remain standing a dwelling-house or any other improvements, or carry out cause to be carried out or allow to be carried out any building or construction works on the lot prior to 1 January 2022 unless:
- (A) copies of building plans, elevations, roof plan, site plan (incorporating set-back from all boundaries, building envelope, existing contours, proposed finished floor levels and site levels, all proposed driveways and paths, details of fences and outbuildings and landscaping) and schedule of external colours and materials ("plans") have been submitted to the Design Assessment Panel, at the address in the Design Guidelines (as amended from time to time); and
- (B) the plans comply with the Design Guidelines, a copy of which can be obtained from the website at www.trillium-mickleham.com.au; and
- (C) the Design Assessment Panel or such other entity as may be nominated by the Design Assessment Panel from time to time has given its written approval to the plans prior to the commencement of works;
- (iii) Build or cause to be built or allow to be built or allow to remain standing a dwelling-house with a floor area of less than:
- (A) 160 square metres in the case of a lot having an area of 500 square metres or greater; or
- (B) 130 square metres in the case of a lot having an area of 400 square metres or greater but less than 500 square metres; or
- (C) 100 square metres in the case of a lot having an area of 300 square metres or greater but less than 400 square metres; or
- (D) 75 square metres in the case of a lot having an area of less than 300 square metres.
- For the purposes of calculating the floor area of a dwelling-house the area of the garages, terraces, pergolas or verandahs shall be excluded.
- (iv) Build or cause to be built or allow to be built or allow to remain any fencing:
- (A) Along a front street boundary; or
- (B) Between the front street boundary and the building line; or
- (C) Upon a side or rear boundary of a lot except a fence:
- a. Which is constructed of timber palings with exposed posts capped across the top of the palings; and
- b. Which does not exceed 1.8 metres in height excluding a screen erected to meet the requirements of Part 4 of the Building Regulations 2006 in relation to overlooking.
- The foregoing restriction shall not apply during any period that the lot is being used as a display home.
- (v) Subdivide or cause to subdivide or allow to be subdivided the burdened lot.

SHEET 9

ORIGINAL SHEET SIZE A3

**WATSONS**URBAN DEVELOPMENT
CONSULTANTS & MANAGERS5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 250 ST.KILDA RD, SOUTHBANK
PH. (03) 9697 8000, FAX (03) 9697 8099

DIGITALLY SIGNED BY LICENSED SURVEYOR

JONATHAN TREVOR NEATE

REF 36182/Stg.8

VERSION 4

Plan Number

PS 649691Y/S9

SUBDIVISION ACT 1988
CREATION OF RESTRICTION B

The following restriction is to be created upon registration of this plan.

Table of land burdened and land benefited

Burdened Lot No.	Benefiting Lots on This Plan
801	802
802	801, 803
803	802, 804
804	803, 805
805	804, 806
806	805, 807
807	806
808	809, 810
809	808, 810
810	808, 809, 811
811	810, 812
812	811, 813
813	812, 814
814	813, 815
815	814, 816
816	815, 817
817	816, 818
818	817, 819
819	818, 820
820	819, 821
821	820, 822
822	821, 823
823	822, 824, 825, 826
824	823, 825
825	823, 824, 826

Burdened Lot No.	Benefiting Lots on This Plan
826	823, 825
827	828
828	827, 829
829	828, 830
830	829, 831
831	830, 832
832	831
833	834, 835, 836
834	833, 835
835	833, 834, 836
836	833, 835, 837
837	836, 838
838	837, 839
839	838, 840
840	839, 841
841	840, 842
842	841, 843
843	842, 844
844	843, 845
845	844, 846
846	845, 847
847	846, 848
848	847, 849, 851
849	848, 850, 851
850	849, 851
851	848, 849, 850

Description of Restriction:

The registered proprietor or proprietors for the time being of a lot on this Plan of Subdivision his, her, their or its heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof build or cause to be built or allow to be built or allow to remain standing a dwelling-house (which expression shall include a house, apartment, unit or flat) or any other improvements, other than a building which has been constructed in accordance with the Building Envelopes, as incorporated into the Building Envelope Schedule, within the instrument for PS 649691Y, Stage 9.

This restriction shall expire 1 January 2022.

SHEET 10

ORIGINAL SHEET SIZE A3

**WATSONS**URBAN DEVELOPMENT
CONSULTANTS & MANAGERS5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 250 ST.KILDA RD, SOUTHBANK
PH. (03) 9697 8000, FAX (03) 9697 8099

DIGITALLY SIGNED BY LICENSED SURVEYOR

JONATHAN TREVOR NEATE

REF 36182/Stg.8

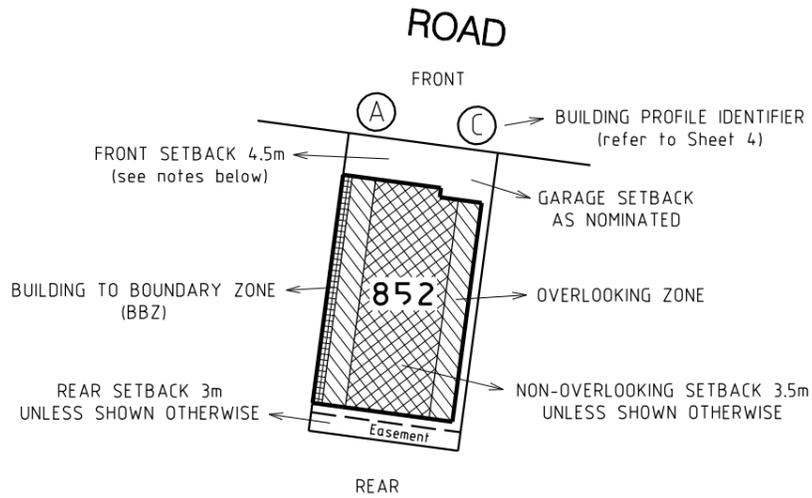
VERSION 4

Plan Number
PS 649691Y/S9

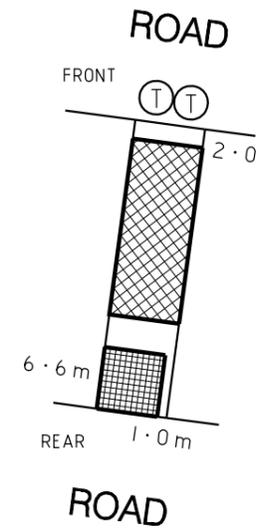
BUILDING ENVELOPE SCHEDULE
 See Plan of Subdivision PS 649691Y

LEGEND

EXAMPLE OF TYPICAL BUILDING ENVELOPE SETBACKS



EXAMPLE OF REAR LOADED TERRACE LOT



Notations:

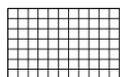
- The front and side setbacks are measured to the outermost walls of the buildings.
- Garages must be setback a minimum of 5.0m from the front street boundary unless otherwise noted.
- Walls less than 1.0m from the boundary must be within 150mm of the boundary.
- The setback to a side street boundary for a corner lot is 2m unless noted otherwise.
- Where the minimum front setback is 3.0m or more, porches, balconies, eaves, gutters, verandahs, and architectural features can encroach into the front setback by up to 1.5m at heights of up to 4.5m for a single storey home and heights of up to 9m for a two-storey home.
- Where the minimum front setback is less than 3.0m, porches, balconies, eaves, gutters, verandahs, and architectural features can encroach into the front setback by up to 1.0m at heights of up to 4.5m for a single storey home and heights of up to 9m for a two-storey home.

Additional Notations (for Lots marked with *):

- With the exception of garages with access from a laneway, garages must be located or setback behind the front facade of the home.
- Garages may be setback either 5.0m or more or 3.9m or less behind the front street boundary.
- Garages setback between 5.0m and 3.9m behind the front street boundary are not permitted.
- Minimum Open Space required is 25 square metres with a 3m minimum width.
- Maximum building site coverage of 70% is permitted.

Refer "Diagrams and Plans" in this document for further definitions.

Single Storey Building Envelope hatch types



Building to Boundary Zone

Double Storey Building Envelope hatch types



Overlooking Zone - Habitable room windows or raised open spaces are a source of overlooking.



Non Overlooking Zone - Habitable room windows or raised open spaces are not a source of overlooking.

The registered proprietor or proprietors of the lot are required to build in accordance with the approved building envelopes shown hereon and in the "Profile Diagrams" in this document.

SHEET 1 OF 4 SHEETS
 ORIGINAL SHEET SIZE A3



WATSONS
 URBAN DEVELOPMENT
 CONSULTANTS & MANAGERS

5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916
 THE MELBURNIAN, SUITE 2, 250 ST.KILDA RD, SOUTHBANK
 PH. (03) 9697 8000, FAX (03) 9697 8099

DIGITALLY SIGNED BY LICENSED SURVEYOR

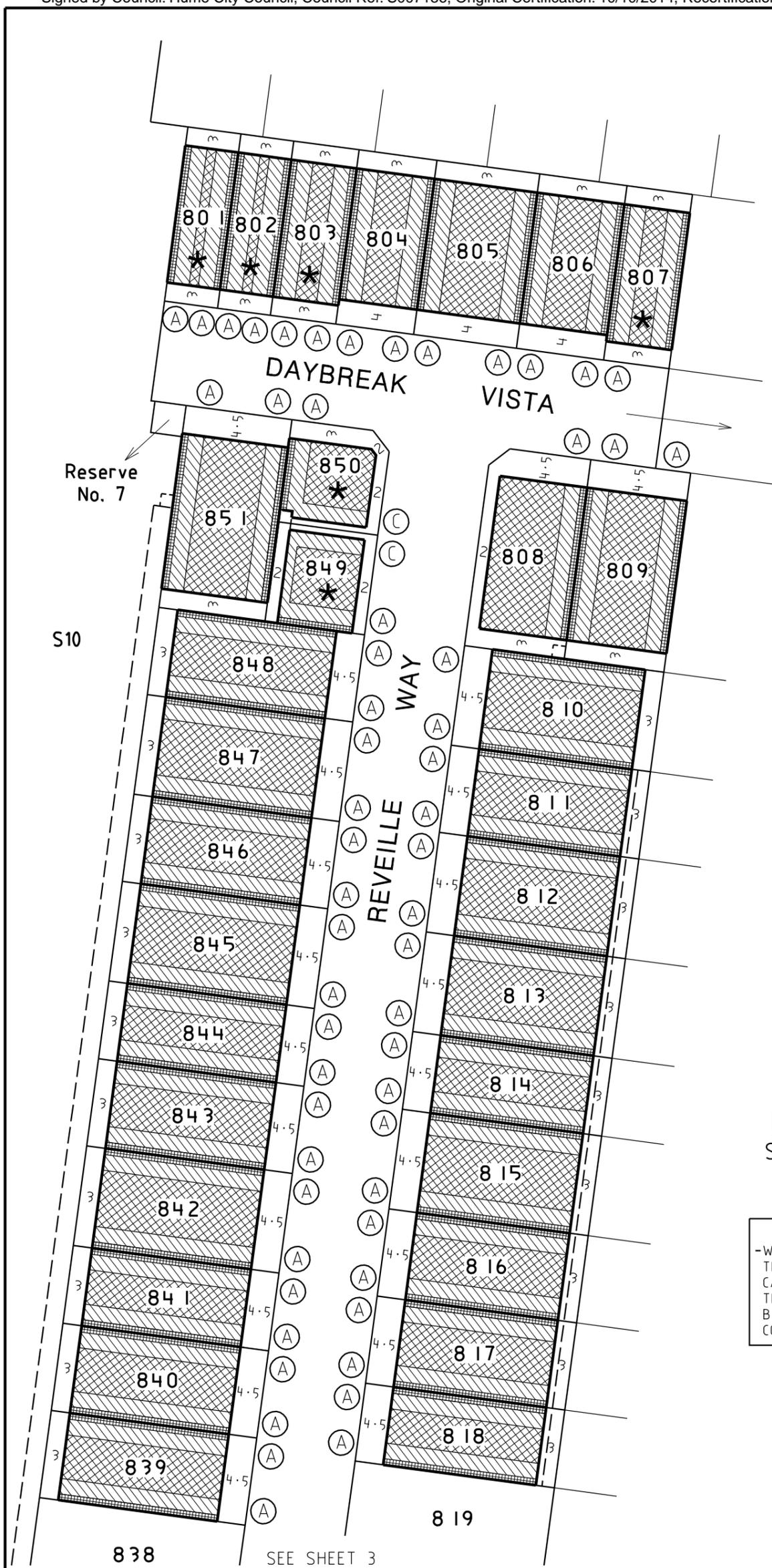
JONATHAN TREVOR NEATE

REF 36182/Stg.8

VERSION 4

Plan Number

PS 649691Y/S9



Notations:

1. The Building Envelopes on this plan are shown enclosed by continuous thick lines.
2. Profile types (A), (B), (C), (D) & (T) are contained in "Profile Diagrams" in this document.

BUILDING ENVELOPE SCHEDULE
See Plan of Subdivision PS 649691Y
SEE SHEET 1 FOR LEGEND

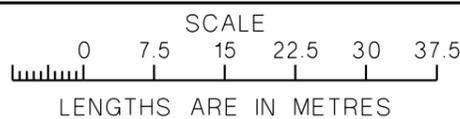
EASEMENT NOTATION

-WHERE A PROFILE WHEN APPLIED COVERS AN EASEMENT, THE PORTION OF THE PROFILE WITHIN THE EASEMENT CANNOT BE CONSIDERED FOR APPROVAL / BUILT UPON. THIS MAY VARY ONLY IN THE CIRCUMSTANCES WHERE BUILDING ON THE EASEMENT RECEIVES PRIOR WRITTEN CONSENT BY THE RELEVANT AUTHORITY.



WATSONS
URBAN DEVELOPMENT
CONSULTANTS & MANAGERS

5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 250 ST.KILDA RD, SOUTHBANK
PH. (03) 9697 8000, FAX (03) 9697 8099



ORIGINAL
SCALE
1 : 750

DIGITALLY SIGNED BY LICENSED SURVEYOR
JONATHAN TREVOR NEATE
REF 36182/Stg.8 VERSION 4

SHEET 2

ORIGINAL SHEET SIZE A3



SEE SHEET 2

Plan Number
PS 649691Y/S9



Notations:

1. The Building Envelopes on this plan are shown enclosed by continuous thick lines.
2. Profile types (A), (B), (C), (D) & (T) are contained in "Profile Diagrams" in this document.

BUILDING ENVELOPE SCHEDULE
See Plan of Subdivision PS 649691Y
SEE SHEET 1 FOR LEGEND

EASEMENT NOTATION
-WHERE A PROFILE WHEN APPLIED COVERS AN EASEMENT, THE PORTION OF THE PROFILE WITHIN THE EASEMENT CANNOT BE CONSIDERED FOR APPROVAL / BUILT UPON. THIS MAY VARY ONLY IN THE CIRCUMSTANCES WHERE BUILDING ON THE EASEMENT RECEIVES PRIOR WRITTEN CONSENT BY THE RELEVANT AUTHORITY.

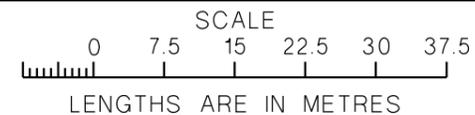
S10



WATSONS

URBAN DEVELOPMENT
CONSULTANTS & MANAGERS

5 MAIN ST, MORNINGTON PH.(03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 250 ST.KILDA RD, SOUTHBANK
PH.(03) 9697 8000, FAX (03) 9697 8099



ORIGINAL
SCALE
1 : 750

DIGITALLY SIGNED BY LICENSED SURVEYOR
JONATHAN TREVOR NEATE
REF 36182/Stg.8 VERSION 4

SHEET 3

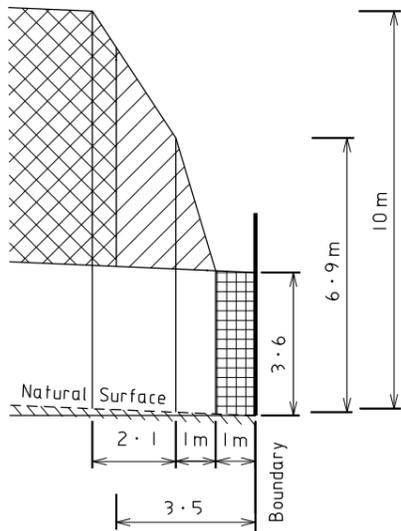
ORIGINAL SHEET SIZE A3

Plan Number

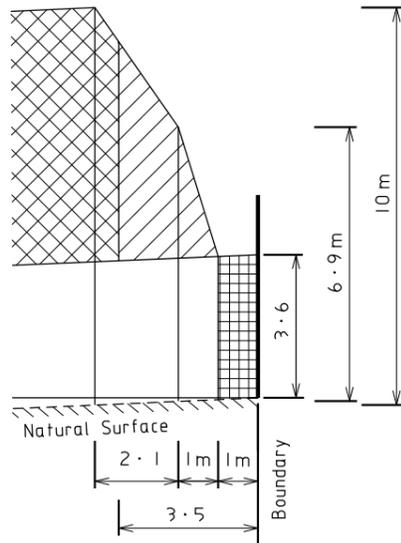
PS 649691Y/S9

PROFILE DIAGRAMS

(A) Profile

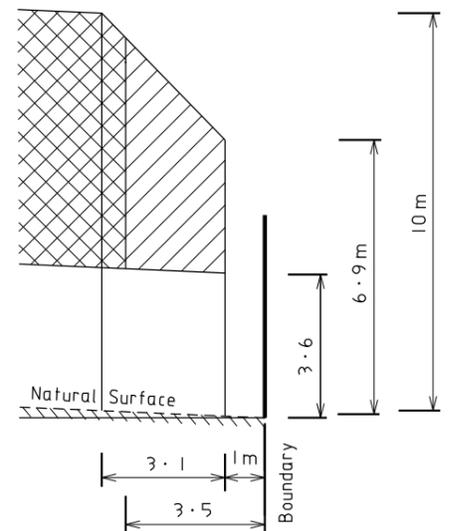


Natural surface rising from boundary



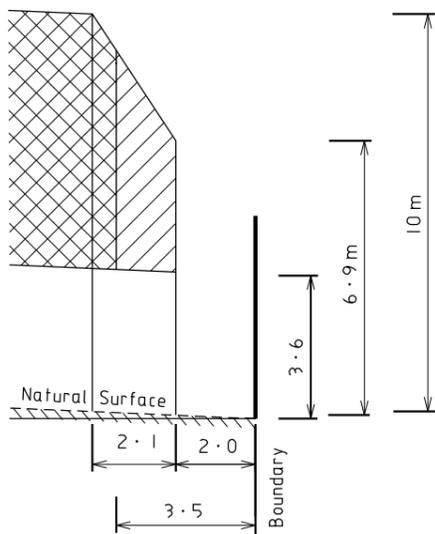
Natural surface falling from boundary

(C) Profile

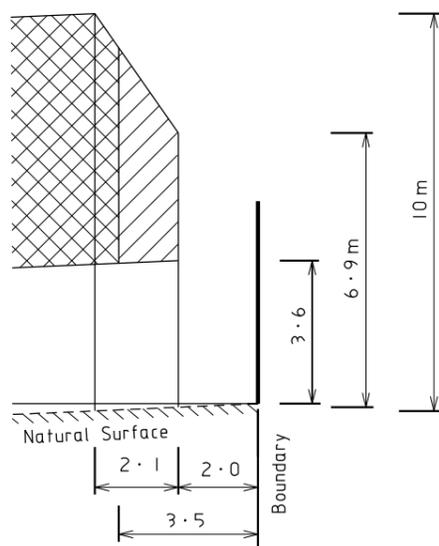


Natural surface rising from boundary

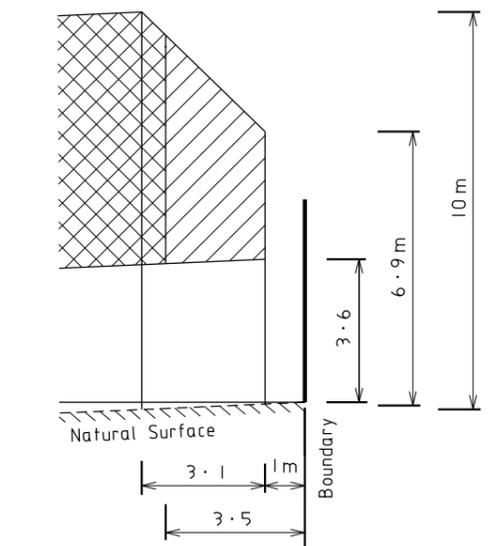
(B) Profile



Natural surface rising from boundary

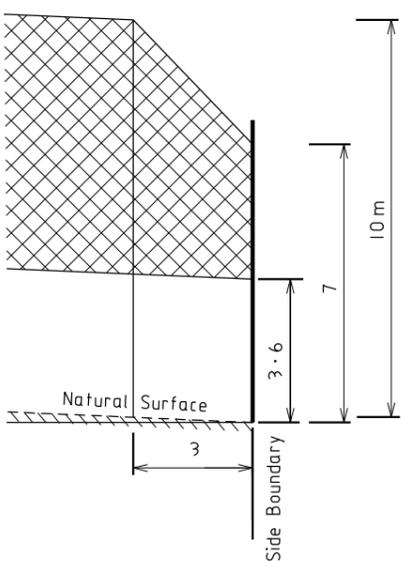


Natural surface falling from boundary

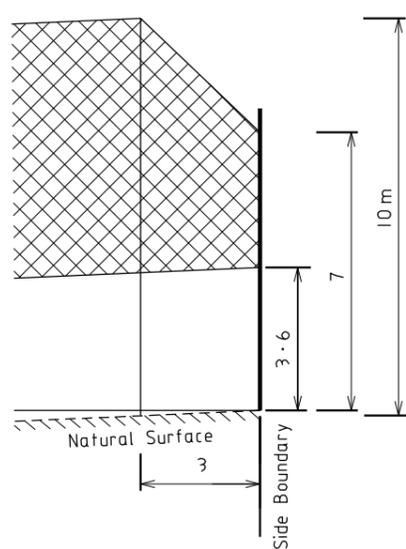


Natural surface falling from boundary

(T) Profile

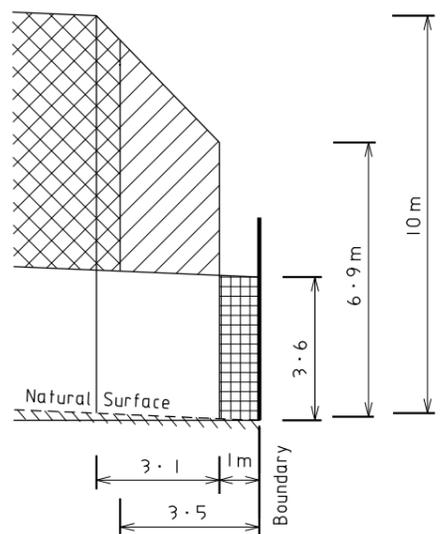


Natural surface rising from side boundary

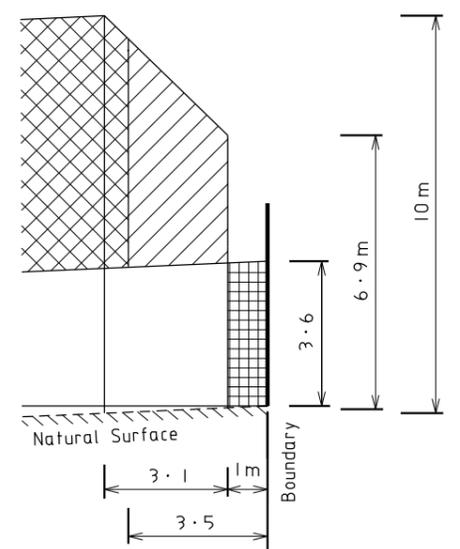


Natural surface falling from side boundary

(D) Profile



Natural surface rising from boundary



Natural surface falling from boundary



WATSONS

URBAN DEVELOPMENT
CONSULTANTS & MANAGERS

5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 250 ST.KILDA RD, SOUTHBANK
PH. (03) 9697 8000, FAX (03) 9697 8099

DIGITALLY SIGNED BY LICENSED SURVEYOR

JONATHAN TREVOR NEATE

REF 36182/Stg.8

VERSION 4

SHEET 4

ORIGINAL SHEET SIZE A3