
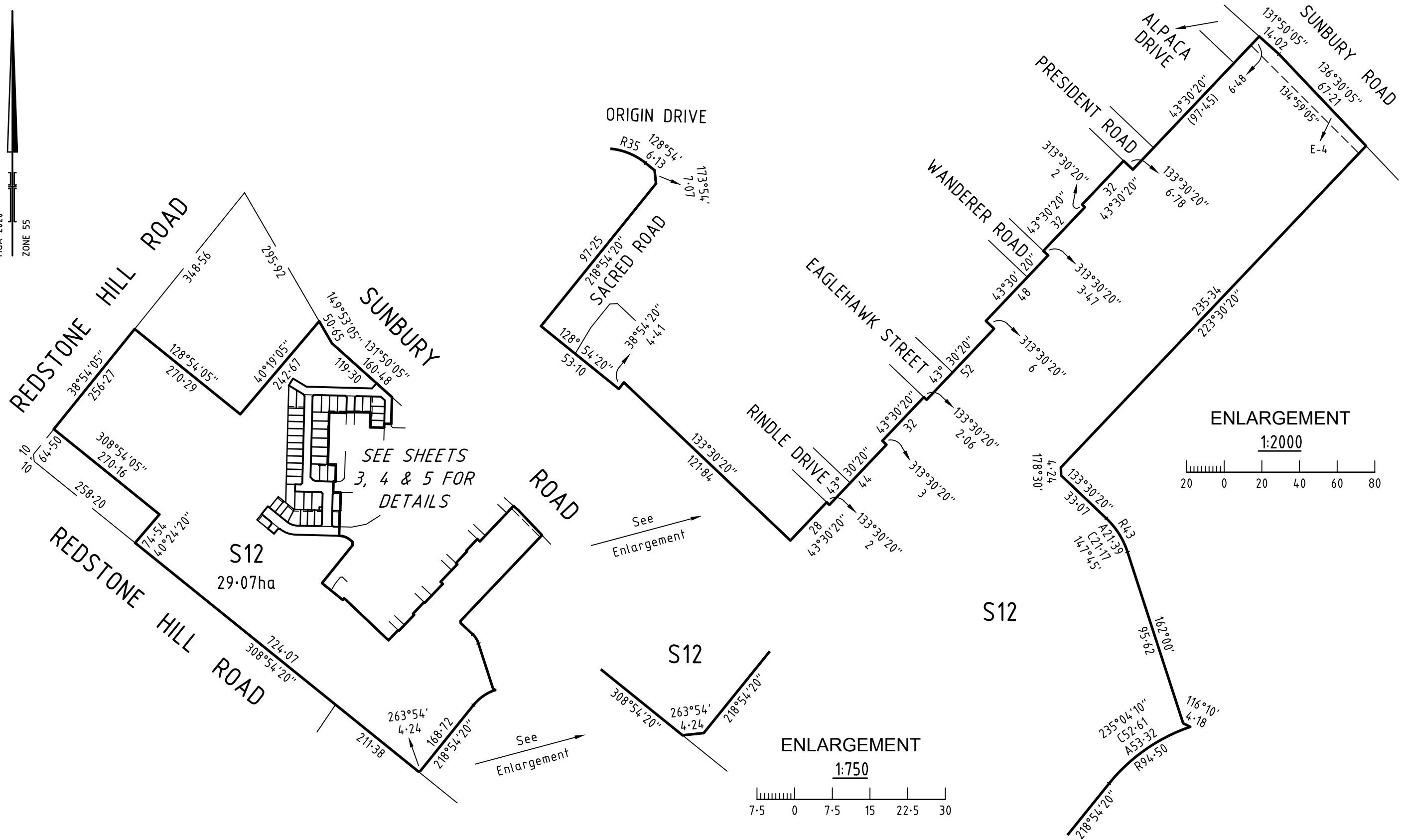
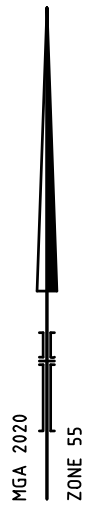
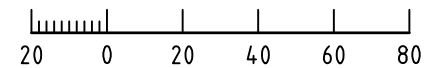


<b>PLAN OF SUBDIVISION</b>			EDITION 1	<b>PS 828173B/S4</b>
<b>LOCATION OF LAND</b> PARISH: BULLA BULLA TOWNSHIP: - SECTION: 25 CROWN ALLOTMENT: 2 (PART) CROWN PORTION: - TITLE REFERENCE: C/T VOL .... FOL ...  LAST PLAN REFERENCE: PS 828173B/S3, LOT S11  POSTAL ADDRESS: 675 SUNBURY ROAD, (at time of subdivision) SUNBURY, VIC. 3429  MGA 2020 CO-ORDINATES: E: 302 190                      ZONE: 55 (of approx centre of land in plan)    N: 5836 150				
<b>VESTING OF ROADS AND/OR RESERVES</b>			<b>NOTATIONS</b>	
IDENTIFIER	COUNCIL / BODY / PERSON		Land being subdivided is enclosed within thick continuous lines.  Lots 1 to 300 and S1 to S11 (all inclusive) have been omitted from this plan.	
ROAD R-4 RESERVE No.6	HUME CITY COUNCIL JEMENA ELECTRICITY NETWORKS (VIC) LIMITED			
<b>NOTATIONS</b>			None of the easements and rights mentioned in sub-section (2) of Section 12 of the Subdivision Act 1988 are implied over any of the land in this plan.  <b>LOTS ON THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS</b> For details of Owners Corporation(s) including; Purpose, Responsibility and Entitlement and Liability see Owners Corporation Search Report, Owners Corporation Rules and Owners Corporation Additional Information.	
DEPTH LIMITATION: DOES NOT APPLY				
<b>SURVEY:</b> This plan is based on survey  <b>STAGING:</b> This is a staged subdivision Planning Permit No. P22160  This survey has been connected to permanent marks No(s). 18, 33, 35 & 36 In Proclaimed Survey Area No. -				
<b>EASEMENT INFORMATION</b>				
LEGEND: A - Appurtenant Easement    E - Encumbering Easement    R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of
E-1	SEWERAGE	SEE DIAG	THIS PLAN	WESTERN REGION WATER CORPORATION
E-1	DRAINAGE	SEE DIAG	THIS PLAN	HUME CITY COUNCIL
E-2	SEWERAGE	SEE DIAG	THIS PLAN	WESTERN REGION WATER CORPORATION
E-3	DRAINAGE	SEE DIAG	THIS PLAN	HUME CITY COUNCIL
E-4	ELECTRICITY	SEE DIAG	INSTRUMENT 1932287	S.E.C.V.
<b>REDSTONE ESTATE - STAGE 3 (46 LOTS)</b>			<b>AREA OF STAGE - 3.713ha</b>	
 414 La Trobe Street PO Box 16084 Melbourne Vic 8007 T 61 3 9993 7888 spiire.com.au		SURVEYORS FILE REF: 305914SV00		ORIGINAL SHEET SIZE: A3
		Licensed Surveyor: Mark Oswald Stansfield Version: 2		SHEET 1 OF 6



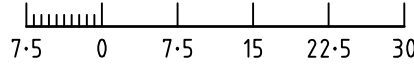
ENLARGEMENT

1:2000



ENLARGEMENT

1:750



SURVEYOR'S FILE REF: 305914SV00

SCALE 1: 7500

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

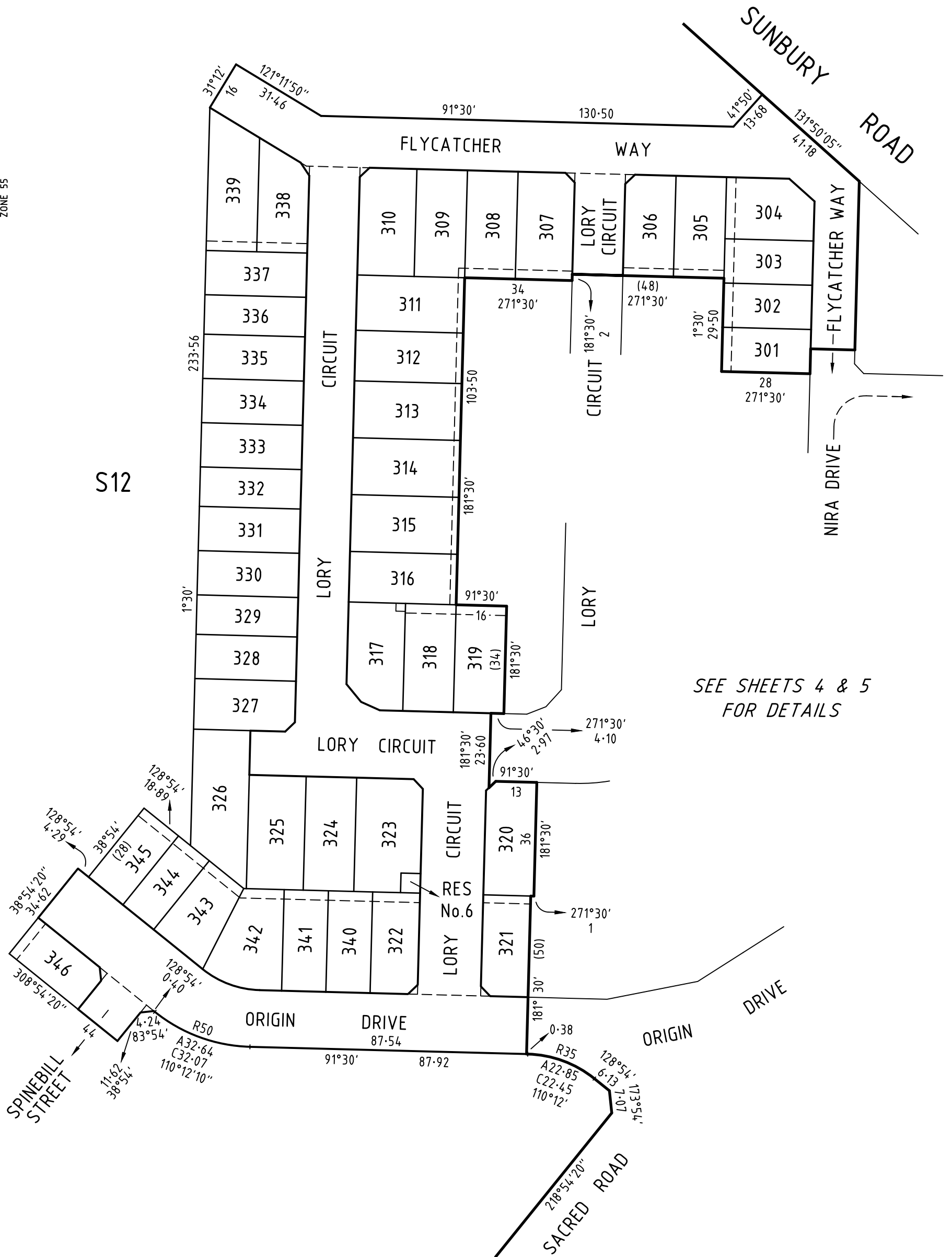
SHEET 2



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SEE SHEET 2



SEE SHEETS 4 & 5 FOR DETAILS

SEE SHEET 2

SURVEYOR'S FILE REF: 305914SV00

SCALE 1:1250  
 12.5 0 12.5 25 37.5 50  
 LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

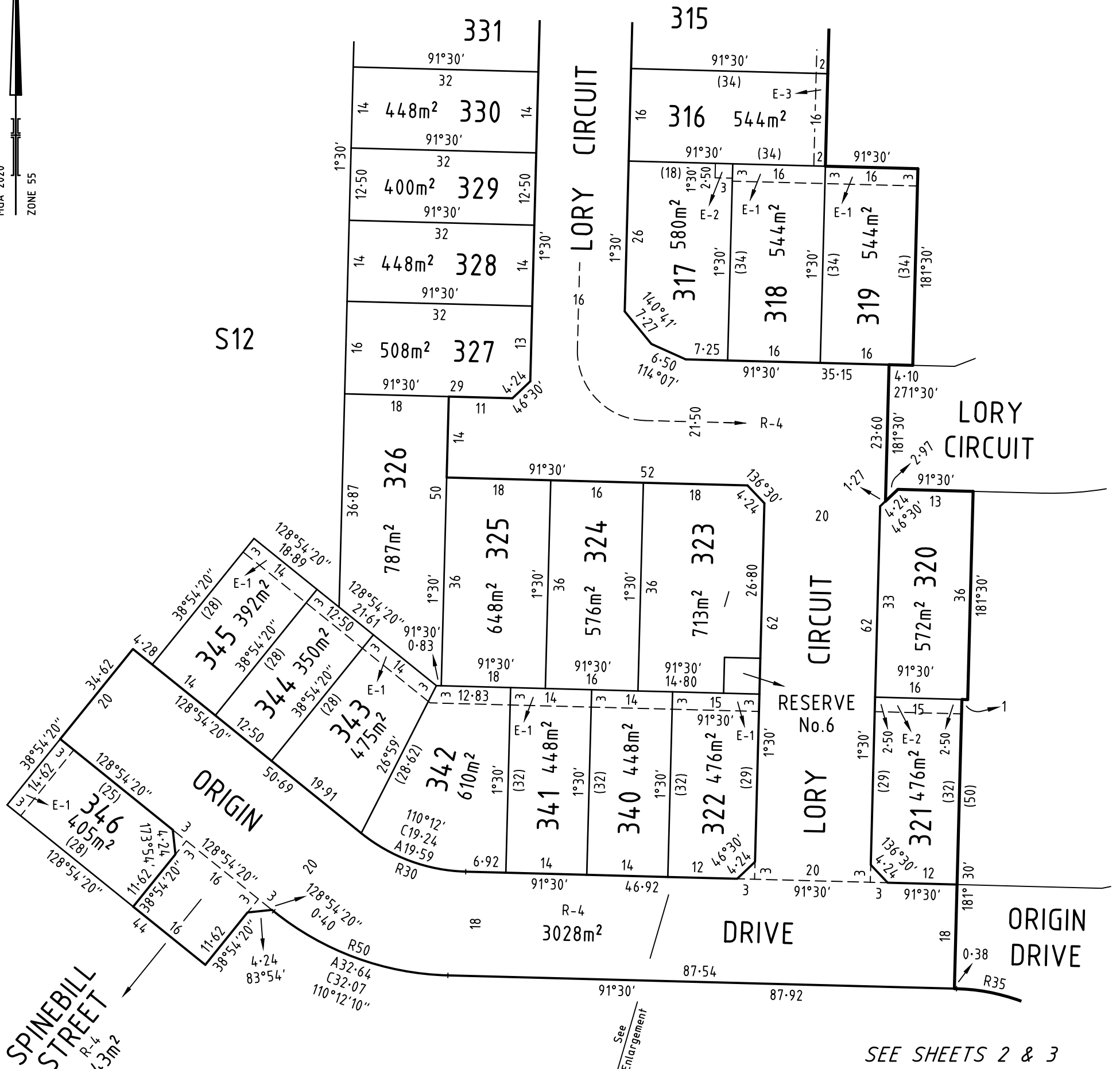
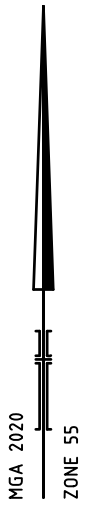
SHEET 3



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SEE SHEET 5



S12

ORIGIN

SPINEBILL STREET

DRIVE

LORY CIRCUIT

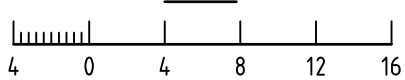
ORIGIN DRIVE

RESERVE No. 6

SEE SHEETS 2 & 3

ENLARGEMENT

1:400



323

RESERVE No. 6  
38m<sup>2</sup>

322

E-1

SURVEYOR'S FILE REF: 305914SV00

SCALE 1: 750

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

SHEET 4

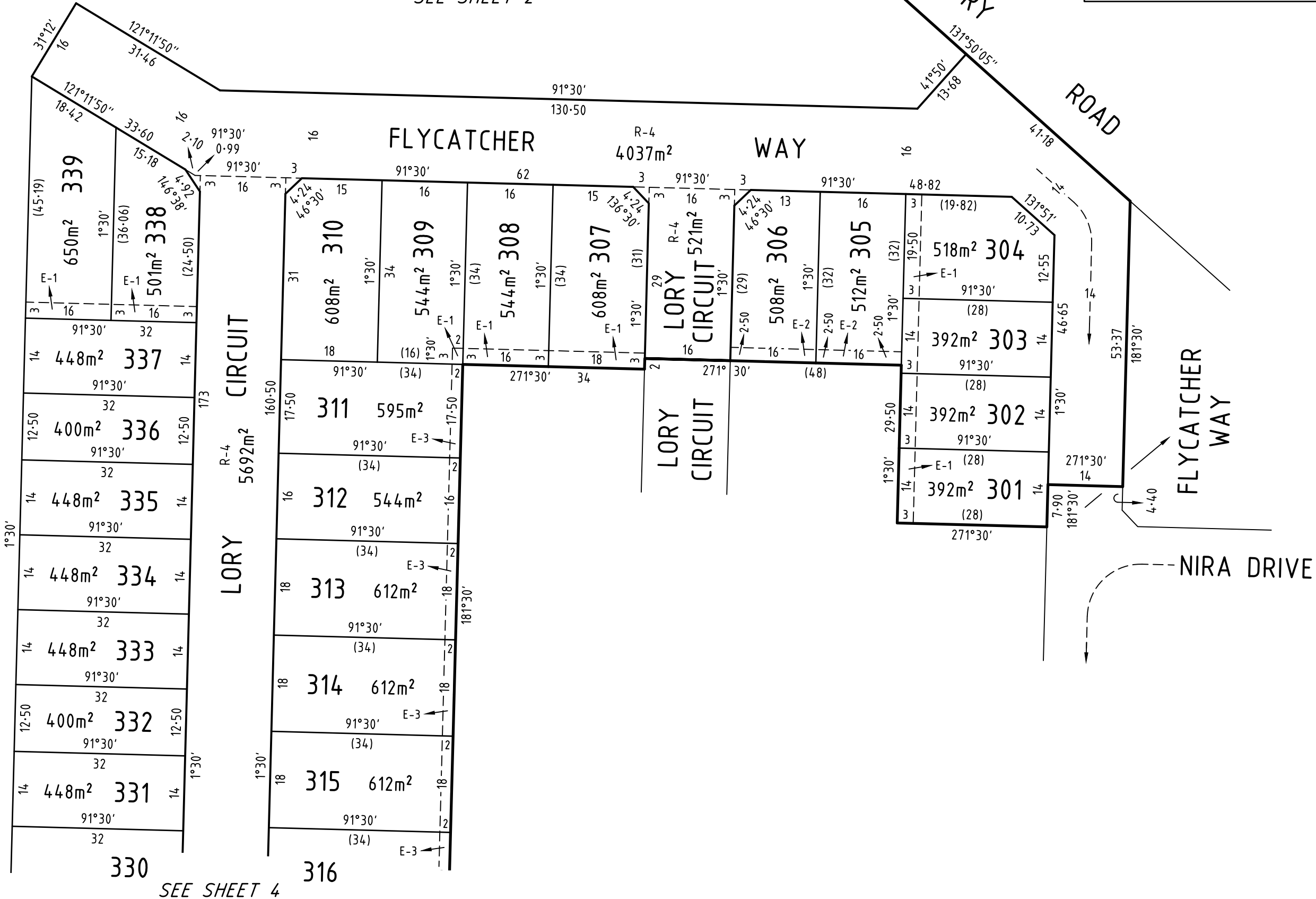
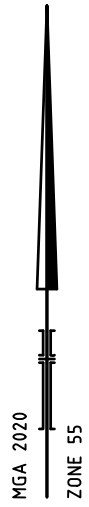


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S12  
SEE SHEET 2

SUNBURY ROAD



SURVEYOR'S FILE REF: 305914SV00

SCALE 1: 750

7.5 0 7.5 15 22.5 30

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

SHEET 5



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Version: 2

**CREATION OF RESTRICTION No.1**

The following Restriction is to be created upon Registration of this plan:

Table of Land Burdened and Land Benefited :

BURDENED LOTS	BENEFITED LOTS	BURDENED LOTS	BENEFITED LOTS
301	302	323	322, 324, 340
302	301, 303	324	323, 325, 340, 341
303	302, 304, 305	325	324, 326, 341, 342
304	303, 305	326	325, 327, 342, 343, 344
305	303, 304, 306	327	326, 328
306	305	328	327, 329
307	308	329	328, 330
308	307, 309	330	329, 331
309	308, 310, 311	331	330, 332
310	309, 311	332	331, 333
311	309, 310, 312	333	332, 334
312	311, 313	334	333, 335
313	312, 314	335	334, 336
314	313, 315	336	335, 337
315	314, 316	337	336, 338, 339
316	315, 317, 318	338	337, 339
317	316, 318	339	337, 338
318	316, 317, 319	340	322, 323, 324, 341
319	318	341	324, 325, 340, 342
320	321	342	325, 326, 341, 343
321	320	343	326, 342, 344
322	323, 340	344	326, 343, 345
		345	344

Description of Restriction:

The registered proprietor or proprietors for the time being of any burdened lot on this plan must not build or erect or allow to be built or erected any building or structure, other than a building or structure which is built or erected in accordance with the provisions of memorandum of common provisions registered in dealing no. \_\_\_\_\_ which memorandum of common provisions is incorporated into and by this plan.

This Restriction shall expire 10 years after the issue of an Occupancy Permit under the Building Act 1993 is issued for the whole of the dwelling on the burdened lot.