

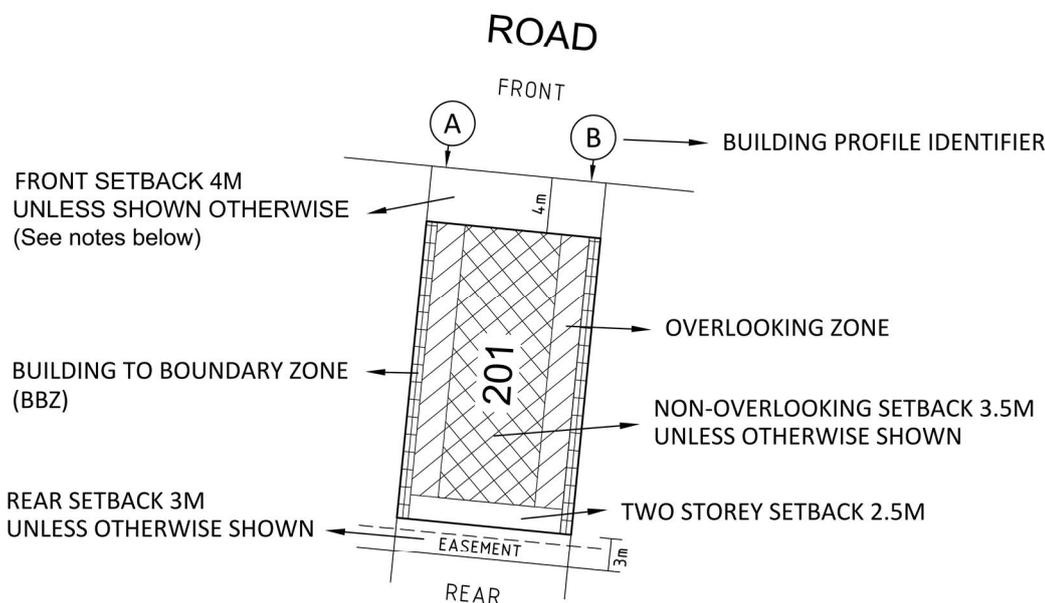
Memorandum of common provisions
Section 91A Transfer of Land Act 1958

Diagrams and plans:

BUILDING ENVELOPE PLAN

LEGEND

EXAMPLE OF TYPICAL BUILDING ENVELOPE SETBACKS



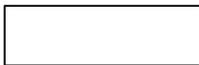
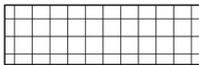
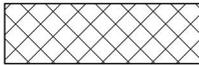
NOTATIONS

- The front and side setbacks are measured to the outermost walls of the buildings.
- Garages must be setback a minimum of 5.0m from the front street boundary unless otherwise noted.
- Walls less than 1.0m from the boundary must be within 200mm of the boundary.
- Two storey setback within the building envelope at the rear of the properties is 2.5m
- Building to Boundary Zone to one boundary only.

ADDITIONAL NOTATIONS (for Lots marked with *):

- With the exception of garages with access from a laneway, garages must be located or setback behind the front facade of the home.

Refer "Diagrams and Plans" in this document for further definitions.

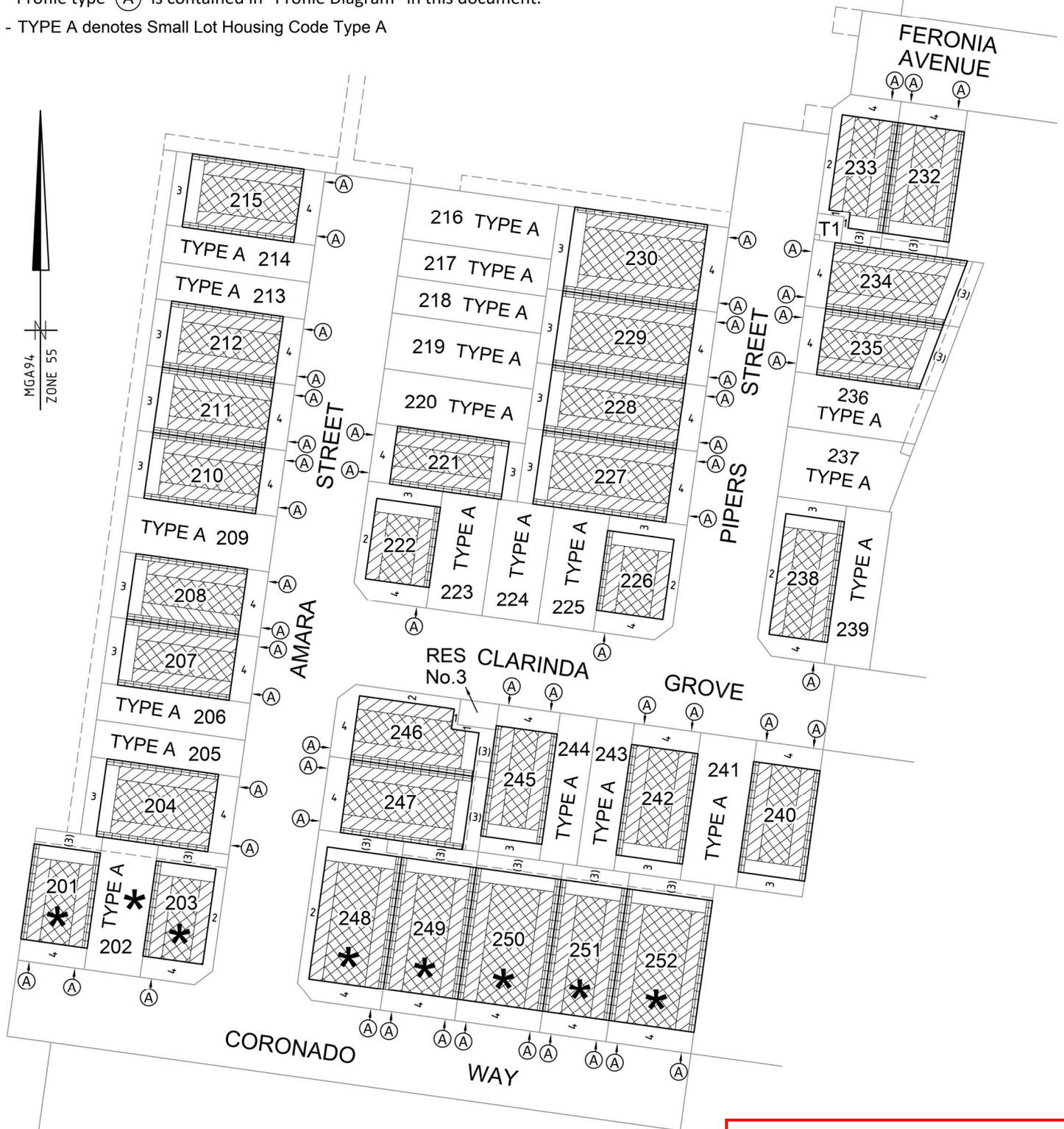
-  Single Storey Building Envelope
Note: Garages must be setback a minimum 5m from main street frontage
-  Building to Boundary Zone
-  Overlooking Zone - Habitable room windows or raised open spaces are a source of overlooking
-  Non-Overlooking Zone - Habitable room windows or raised open spaces are not a source of overlooking
-  Double Storey Building Requirement

Memorandum of common provisions

Section 91A Transfer of Land Act 1958

NOTATIONS

- Where a profile when applied covers an easement, the portion of the profile within the easement cannot be considered for approval / built upon. This may vary in the circumstances where building on the easement receives prior written consent by the relevant authority.
- The Building Envelopes on this plan are shown enclosed by continuous thick lines.
- Profile type (A) is contained in "Profile Diagram" in this document.
- TYPE A denotes Small Lot Housing Code Type A



APPROVED AMENDED PLAN
PLANNING AND ENVIRONMENT ACT 1987
WYNDHAM PLANNING SCHEME

SMC Ref: 2070s-02 Alamora Ver J
Permit No: WYP10107/17.18
Sheet: 7 of 8
Approved by: Caitlin Spratling
WYNDHAM CITY COUNCIL
Date: 12 October 2021

Memorandum of common provisions
Section 91A Transfer of Land Act 1958

PROFILE DIAGRAM

A

