BUILDING ENVELOPE PLAN

LEGEND

EXAMPLE OF TYPICAL BUILDING ENVELOPE SETBACKS

ROAD

FRONT

(A)   (B)   → BUILDING PROFILE IDENTIFIER

FRONT SETBACK 4M
UNLESS SHOWN OTHERWISE
(See notes below)

4m

301

BUILDING TO BOUNDARY ZONE
(BBZ)

→ OVERLOOKING ZONE

NON-OVERLOOKING SETBACK 3.5M
UNLESS OTHERWISE SHOWN

REAR SETBACK 3M
UNLESS OTHERWISE SHOWN

TWO STOREY SETBACK 2.5M

EASEMENT   3m

REAR
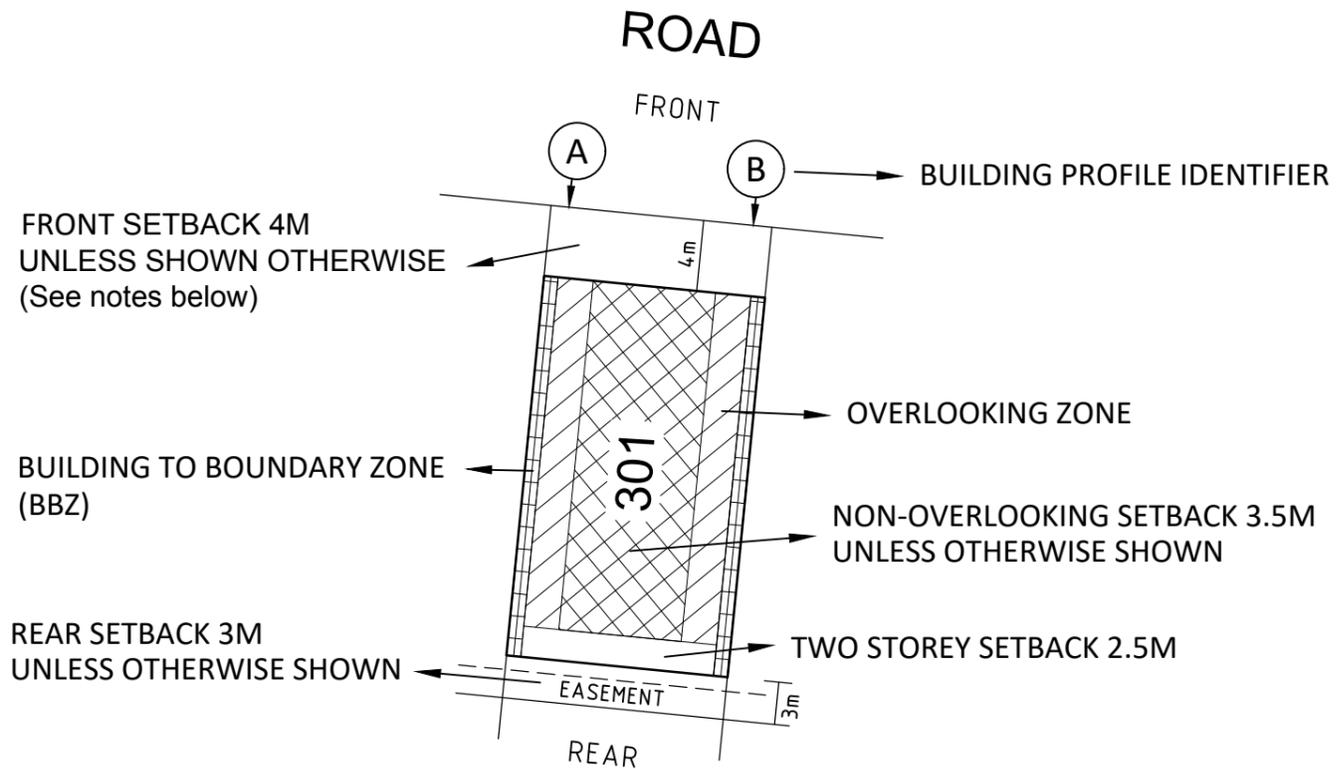
NOTATIONS

- The front and side setbacks are measured to the outermost walls of the buildings.
- Garages must be setback a minimum of 5.0m from the front street boundary unless otherwise noted.
- Walls less than 1.0m from the boundary must be within 200mm of the boundary.
- Two storey setback within the building envelope at the rear of the properties is 2.5m
- Building to Boundary Zone to one boundary only.

ADDITIONAL NOTATIONS (for Lots marked with ✱):

- With the exception of garages with access from a laneway, garages must be located or setback behind the front facade of the home.

Refer "Diagrams and Plans" in this document for further definitions.

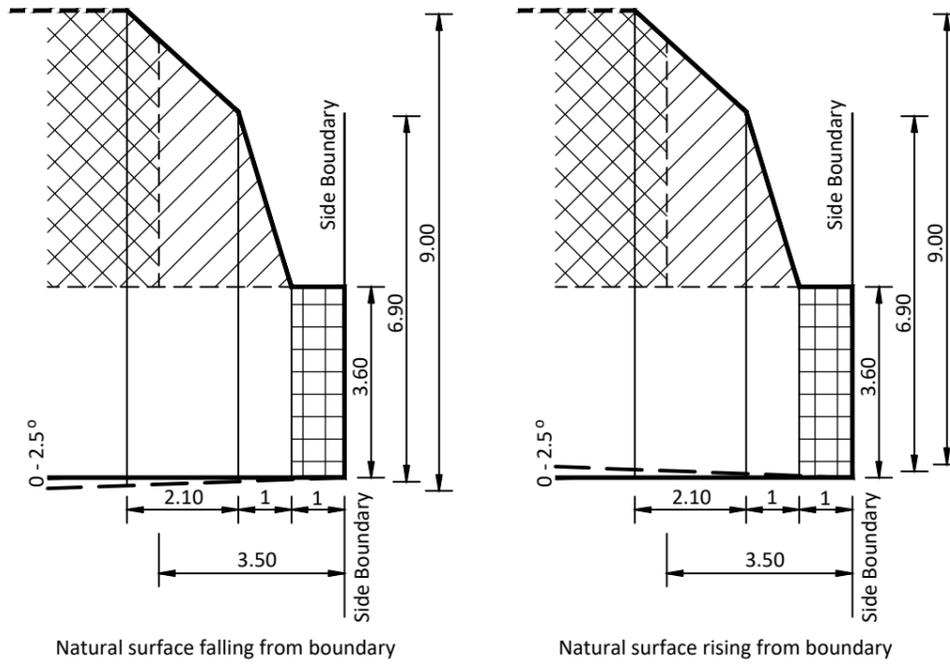|	
☐	Single Storey Building Envelope Note: Garages must be setback a minimum 5m from main street frontage
▦	Building to Boundary Zone
▨	Overlooking Zone - Habitable room windows or raised open spaces are a source of overlooking
▩	Non-Overlooking Zone - Habitable room windows or raised open spaces are not a source of overlooking
✱	Double Storey Building Requirement

NOTATIONS

- Where a profile when applied covers an easement, the portion of the profile within the easement cannot be considered for approval / built upon. This may vary in the circumstances where building on the easement receives prior written consent by the relevant authority.

- The Building Envelopes on this plan are shown enclosed by continuous thick lines.

- Profile type (A) is contained in "Profile Diagram" in this document.

- TYPE A denotes Small Lot Housing Code Type A
- TYPE B denotes Small Lot Housing Code Type B

MGA94 ZONE 55

ARAGON ROAD

ROAD

ARAGON

GIDEON LANE

CADENZA WALK

CORONADO WAY

CORONADO

WAY

311
310
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308
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302 *

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339 *
340 *   TYPE A

TYPE B * 350
TYPE B * 349
TYPE B * 348
TYPE B * 347
TYPE B * 346
TYPE B * 345
TYPE B * 344
TYPE B * 343
TYPE B * 342
TYPE B * 341

PROFILE DIAGRAM

Ⓐ

9.00

6.90

3.60

0 – 2.5°

Side Boundary

2.10 | 1 | 1

3.50

Side Boundary

Natural surface falling from boundary

9.00

6.90

3.60

0 – 2.5°

Side Boundary

2.10 | 1 | 1

3.50

Side Boundary

Natural surface rising from boundary