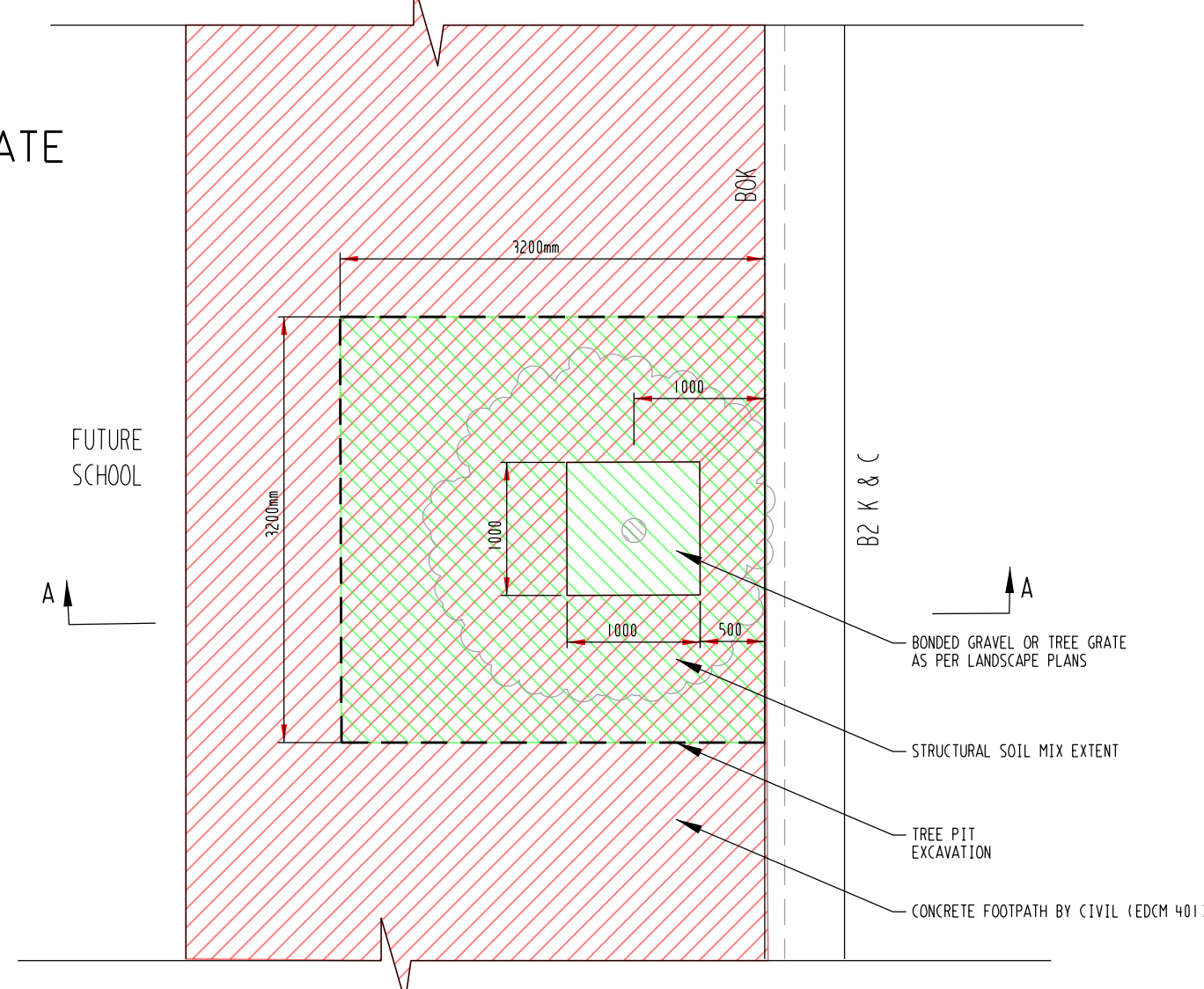
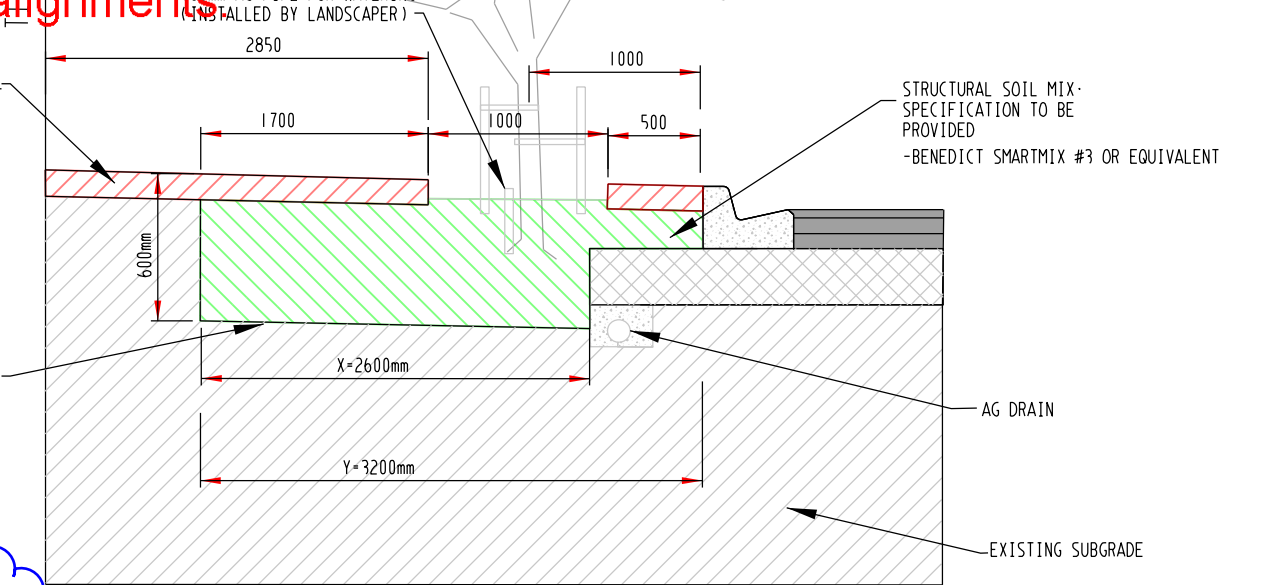


PLANNING & ENVIRONMENT ACT 1987
WHITTLESEA PLANNING SCHEME
Planning Permit No: 716630 (Amendment)
ENDORSED PLAN
Endorsed to show compliance with Condition (s) 3
(Functional Layout Plan - Stage 7)
Sheet 1 of 2 Date: 03/12/2020

Note: Alignment of shared path in Vearings Road is to be determined with detailed design, following resolution of Stage 9 road crossings and path alignments



Please note that the primary purpose of this plan is, in part, to ensure that adequate provision is made for the spatial requirements of landscaping and civil infrastructure is made on the Plan of Subdivision. The Functional Layout Plan is not a definite statement of the required content for Construction Plans. The endorsement of this plan is an approval of the subdivision layout under the planning permit and therefore does not provide approval for items of landscaping or civil infrastructure as shown (or omitted) either for the purpose of informing elements of the layout or for clarity on the plan.

SERVICES OFFSETS AND LOCATIONS

Location	Gas	Water		Telecommunications		Electricity		BOK	Road Width	Joint Trenching	Street Classification	Street Trees
		NDW	DW	Cables	Pits	Cables	Poles					
JARDIN ROAD	2.25W	2.70W	3.20W	1.85E	1.85E/W	2.60E	1.00 BOK	4.35W 8.75E	29	G&W,FTTH&E	CONNECTOR	1.00 BOK
GLENWOOD AVENUE	4.30N	4.80N	5.30N	1.85S	1.85N/S	2.60S	1.00 BOK	7.45N 4.95S	20	G&W,FTTH&E	LEVEL 1	1.00 BOK
CARMICHAEL DRIVE	2.25S	2.70S	3.20S	1.85N	1.85N/S	2.60N	1.00 BOK	4.05N 4.35S	16	G&W,FTTH&E	LEVEL 1	1.00 BOK
CARMICHAEL DRIVE (VEARINGS)	1.80W	2.25W	2.70W	3.50W	3.50W	4.00W	1.00 BOK	4.6582E 6.05W	20.6	G&W,FTTH&E	LEVEL 1	1.00 BOK
MEADOW LANE	2.25N	2.70N	3.20N	1.85S	1.85N/S	2.50S	1.00 BOK	4.05S 4.35N	16	G&W,FTTH&E	LEVEL 1	1.00 BOK

NOTE: a) location of street trees TBC on landscape plans

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

LEGEND

1 IN 5 YR DRAINAGE SHOWN

OVERLAND FLOW PATH 1 IN 100 YR SHOWN

AMENDMENTS

VER	DATE	REMARKS
P5	18-11-20	COUNCIL COMMENTS
P4	05-08-20	COUNCIL COMMENTS
P3	22-06-20	JARDIN ROAD XS UPDATED
P2	07-02-20	COUNCIL COMMENTS
P1	12-11-19	ISSUE FOR APPROVAL

breese pitt dixon pty. ltd.
land surveyors
civil engineers

1/19 coto street
hawthorn east, 3123
telephone 8823 2300
fax no. 8823 2310

RATHDOWNE ESTATE
STAGE 7
FUNCTIONAL LAYOUT

MUNICIPALITY
WHITTLESEA

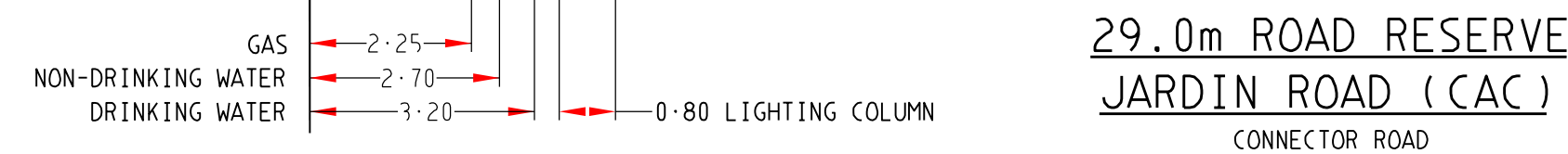
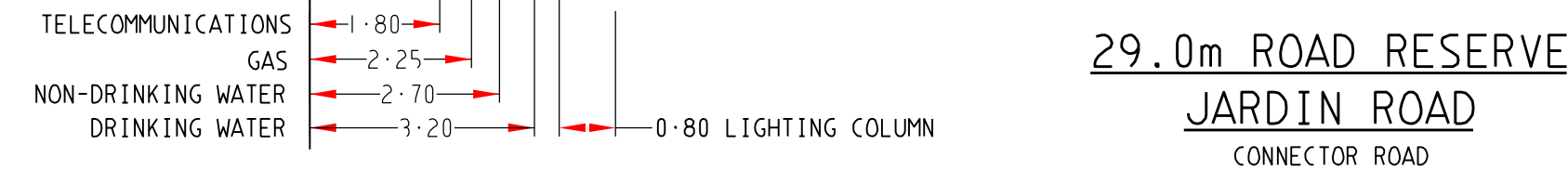
REFERENCE
9365 E/7

SHEET 1 OF 3 **P5**

VER **DATE** **REMARKS** **CHECKED** **SCALE** **DATUM** **AHD** **DATE**


NM AS SHOWN AHD NOV '19

FOR CONTINUATION REFER TO INSET TOP



SCALE HORIZONTAL 1:100
 VERTICAL 1:50

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Sheet 2 of 2 Date: 03/12/2020

AMENDMENTS					breese pitt dixon pty. ltd. land surveyors		civil engineers		1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310			
				MELWAY REF.	388-C-10	RATHDOWNE ESTATE STAGE 7 FUNCTIONAL LAYOUT				MUNICIPALITY		
P322-06-20	JARDIN ROAD XS UPDATED	SURVEY	BPD	WHITTLESEA								
P207-02-20	COUNCIL COMMENTS	DESIGN	RGW	REFERENCE								
P112-11-19	ISSUE FOR APPROVAL	DRAWN	RGW	9365 E/7								
VER	DATE	REMARKS	CHECKED	SCALE	AS SHOWN	DATUM	AHD	DATE	NOV'19	SHEET	2 OF 3	P3