



# Sherwood Grange

Design Guidelines

MAY 2023

# Contents

<b>1.</b>	<b>THE SHERWOOD GRANGE VISION</b>	<b>3</b>	<b>6.</b>	<b>EXTERNAL CONSIDERATIONS</b>	<b>14</b>
1.1	Purpose Of The Guidelines	3	6.1	Access And Driveways	14
<b>2.</b>	<b>HOW TO READ THIS DOCUMENT</b>	<b>4</b>	6.2	Fences	14
2.1	Mandatory Design Controls	4	6.3	Sustainability	15
2.2	Operation Of The Design Guidelines	4	6.4	Letterboxes	15
2.3	Construction Of Your Home	4	6.5	General	15
<b>3.</b>	<b>APPROVAL PROCESS</b>	<b>5</b>	6.6	Landscaping And Tree Protection	17
3.1	Process For Approval	5	6.7	Retaining Wall Controls	17
3.2	Re-Submission	6	6.8	Construction Management	18
3.3	Approval	6	6.9	Broadband Network	19
3.4	Building Permit	6	<b>7.</b>	<b>NOTES AND DEFINITIONS</b>	<b>19</b>
3.5	Construction	6	7.1	Notes On Restrictions	19
<b>4.</b>	<b>SITING &amp; ORIENTATION</b>	<b>7</b>	7.2	General Definitions	19
4.1	Considerations	7	7.3	Additional Definitions	19
4.2	Land Use	7	<b>8.</b>	<b>BUILDING ENVELOPES</b>	<b>20</b>
4.3	House Orientation	7			
4.4	Site Views	7			
4.5	Dwelling Articulation	7			
4.6	Building Envelopes And Setbacks	8			
4.7	Building Height	9			
4.8	Slope Considerations	9			
4.9	Site Coverage	10			
<b>5.</b>	<b>BUILT FORM</b>	<b>11</b>			
5.1	Architectural Style	11			
5.2	Materials And Colours	11			
5.3	Dwelling Size	11			
5.4	Two Storey Dwellings	12			
5.5	Corner Allotments	12			
5.6	Energy Efficiency	12			
5.7	Roofs	12			
5.8	Garages	13			
5.9	Overshadowing	13			
5.10	Privacy And Overlooking	13			



# Sherwood Grange

## 1. The Sherwood Grange Vision

Welcome to Sherwood Grange the newest community to be added to ever increasing list of high-quality developments by Villawood, that will set a new benchmark for residential living. Sherwood Grange is a boutique community located in an exclusive pocket of Sunbury, surrounded by nature reserves and sweeping views down to Emu Bottom Wetlands.

The vision for Sherwood Grange is defined by the lush landscape, open parklands, walking trails amongst established trees, substantial new plantings and meandering paths through the uniquely designed residential neighbourhood. A large nature reserve leading down to the beautiful Jacksons Creek valley floor will be enhanced, providing beautiful vistas and walking environments, as well as protecting the homes of the local wildlife and indigenous vegetation.

Taking precedence from neighbouring Sherwood Rise, the area will be characterised by a sense of generosity in the streetscapes, contributed by extended setbacks and lush front gardens. The curvilinear nature of the surrounding streetscapes is mimicked in the urban form and takes full advantage of the topographic and undulating nature of the land to ensure view lines are maximised.

Sherwood residents will have the opportunity to experience life in balance and harmony, within an exceptional landscape, adorned by nature in proximity and the amenity located within historic Sunbury township.

### 1.1 PURPOSE OF THE GUIDELINES

Design Guidelines (“Guidelines”) have been developed with the principal aim to create a coherent vision for the Sherwood Grange community. Established to enhance the lifestyle and liveability of the community for residents, the Guidelines are designed to ensure all homes are built to a high standard, whilst encouraging a variety of cohesive housing styles, which are in harmony with the streetscape and enhance the nature environment.

The Guidelines will assist in providing you with peace of mind that your investment will be enhanced in the future, guarding against inappropriate development that may detract from the aesthetics of the community.

Each individual house design should contribute to the surrounding environment and to the community in a positive way. The Guidelines encourage homeowners to construct innovative and appropriate designs that address sustainability issues and present a unified residential image.

Villawood takes a holistic approach to sustainability to ensure continuous positive economic, environment and social outcomes, across our communities, our business and the world at large. To complement the Guidelines, residents are encouraged to build sustainable homes using online resources such as the Green Savings Calculator. These tools provide useful initiatives to help you reduce water and energy usage, which ultimately help conserve our environment and your money into the future.

The Guidelines will also provide for an approval process, which seeks to achieve an optimum outcome for purchasers within a minimum time frame. Your new home within the Sherwood Grange community awaits.



# Sherwood Grange

## 2. How to read this document

### 2.1 MANDATORY DESIGN CONTROLS

Given Sherwood Grange unique and special location, the concept plan for Sherwood Grange has been carefully designed to facilitate a more delicate form of development.

Roads typically run with contours, rather than perpendicular, providing for expansive views out over Jacksons Creek, and a softened appearance from the valley floor with trees planted in front of homes. Generous lot sizes, eclipsing those typically found in newer development areas, providing additional space for topographically sensitive housing forms and extensive planted surrounds.

To reflect these special conditions a range of mandatory residential design controls ('controls') detailed below, have been incorporated into the Lancefield Road Precinct Structure Plan implemented by the Victorian Planning Authority. The Guidelines have been developed to compliment these controls, but where there are inconsistencies the following table is to prevail.

BUILT FORM	REQUIREMENT
Maximum Site coverage	No more than 50% of the lot.
Maximum Building height	No more than: <ul style="list-style-type: none"><li>• 9m for sites with a slope of less than 5%; and</li><li>• 10m for sites with a slope of greater than 5%.</li></ul>
Minimum Side Boundary Setbacks*	For lots with a frontage of over 18m: <ul style="list-style-type: none"><li>• 3m on one side and 1m on the other.</li></ul> For lots with a frontage of 18m or under: <ul style="list-style-type: none"><li>• 2m on one side and 1m on the other.</li></ul>
Minimum Rear Boundary Setbacks*	For lots with a minimum depth of: <ul style="list-style-type: none"><li>• More than 34m, no part closer than 8m.</li><li>• 34m or less, no part closer than 5m.</li></ul>
Minimum Front Boundary Setback*	7m to the front building line.
Maximum Cut/Fill	Maximum fill of 1m. Maximum cut of 1.25m, unless to be entirely enclosed by the completed dwelling.

\* Normal encroachments are permitted, including garages within the build-to-boundary zone on one side only. Variations to these mandatory controls may be approved by the relevant authorities where special circumstances apply.

### 2.2 OPERATION OF THE DESIGN GUIDELINES

The Design Assessment Panel ("DAP") will be formed to oversee the implementation of the Guidelines. It will comprise an Architect and a representative of the developer. The makeup of the panel may be varied however the panel will always include at least one Architect.

All proposed building works including houses, garages, outbuildings and fencing shall be approved by the DAP prior to seeking a Planning Permit (if required) and a Building Permit.

Swimming pools and small structures under 10m<sup>2</sup> do not require DAP approval.

In considering designs, the DAP may exercise discretion to waive or relax a requirement. The Guidelines are subject to change by the developer at any time without notice. All decisions regarding these Guidelines are at the discretion of the DAP.

Preliminary designs and enquiries are welcome to ensure compliance with the Guidelines and it is recommended that you provide a copy to your builder at the earliest possible time.

### 2.3 CONSTRUCTION OF YOUR HOME

Incomplete building works must not be left for more than 3 months without work being carried out and all building works must be completed within twelve months of commencement.

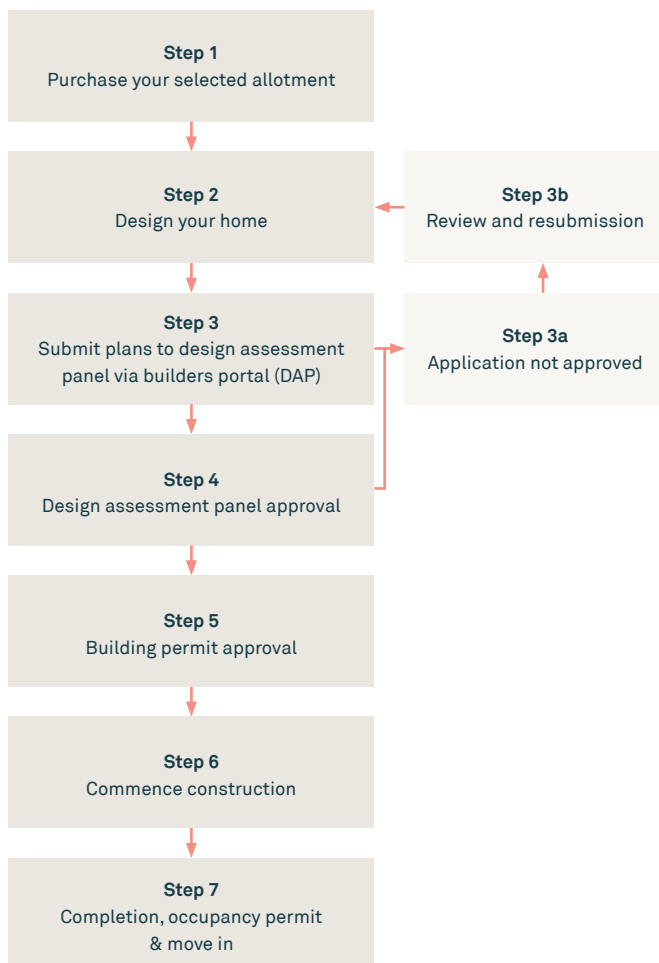
## 3. Approval Process

All documents are to be lodged via the Villawood Properties Builders Portal, this can be accessed by visiting the website [www.villawoodproperties.com.au](http://www.villawoodproperties.com.au)

General enquiries should be directed direct to the DAP via email [dap@kosaarchitects.com.au](mailto:dap@kosaarchitects.com.au)

### 3.1 PROCESS FOR APPROVAL

The process for approval of your house design depends on the size of your lot, and the details for your proposed house design. The approval process is outlined below:



#### Step 1 – Land Purchase

- Purchase your selected allotment from Villawood Properties.

#### Step 2 – Design Your Home

- Ensure your Architect, Builder or Designer understand the requirements of these Guidelines and any restrictions on the Plan of Subdivision.

#### Step 3 – Submit Plans to the Design Assessment Panel

- Submit completed design and all required documentation to the Design Assessment Panel via the Villawood Builders Portal
- Ensure your house design submission includes the following documentation:
  - Provide PDF copies in A4 or A3 format to the DAP for approval as follows:
    - o Site plan (1:200 scale) showing:
      - Setbacks from all boundaries
      - Building Envelopes
      - Existing contours
      - Proposed finished floor levels and site levels
      - External features including driveways, paths, fencing and outbuildings
      - Landscaping plan showing quantity and species, hard surfacing and any retaining wall structure
    - o House floor plans (1:100 scale)
    - o Elevations from four sides (1:100 scale)
    - o Schedule of external materials and colours. Colour swatches must be provided.
    - o Completed Check List (refer Section 8 of Guidelines)
- Note: do not include internal fit-out details such as kitchens, electrical plans etc.**
- If you are unsure of any of the requirements, please contact the DAP directly for clarification.
- If your design is considered non-conforming, you will receive notification from the DAP outlining the reasons for non-conformance. Your design will need to be revised and resubmitted in full as required.
- Applications take approximately 10 days to process, provided all documents and designs meet the Guidelines.

#### Step 4 – Design Assessment Panel

- Notification of submission approval is received.



# Sherwood Grange

## 3. Approval Process

### Step 5 – Building Permit Approval

- Your registered building surveyor will require your home design to comply with the Restriction on the Plan of Subdivision, any applicable Memorandum of Common Provision or Building Envelope Plan and will generally require the approval documentation from the Design Assessment Panel.

### Step 6 – Commence Construction

- Construction can commence upon issuing of the building permit by the building surveyor.
- Construction must commence within 18 months of settling on your land and must be completed within 12 months of construction commencement.
- In accordance with your Contract of Sale, your land is to remain well maintained, free from rubbish and debris from the time of settlement and throughout construction.

### Step 7 – Completion, Occupancy Permit & Move In

- Your building surveyor will provide you with your Occupancy Permit upon completion of your home.
- Landscaping on your allotment is required to be completed within 120 days of issue of the Occupancy Permit.

All documentation is to be lodged via the Builders Portal on the Villawood website [www.villawoodproperties.com.au](http://www.villawoodproperties.com.au)

All enquires to:

SHERWOOD GRANGE DESIGN ASSESSMENT PANEL

c/- [dap@kosaarchitects.com.au](mailto:dap@kosaarchitects.com.au)

or telephone contact on 03 9853 3513

### 3.2 RE-SUBMISSION

Plans or documentation that does not comply with the Guidelines etc. the applicant will be notified via email through the Builders Portal. Amended documentation will need to be resubmitted for approval via the builders Portal.

Any alterations made to the resubmission other than the initial non-compliance/s should also be highlighted on the plans or an accompanying letter.

### 3.3 APPROVAL

The DAP will promptly approve plans that comply with the requirements of these Guidelines. Allow approximately 10 working days for approval.

### 3.4 BUILDING PERMIT

After approval from the DAP, you must then obtain a Building Permit from the Municipal Building Surveyor or a Private Building Surveyor.

**Note:** Design approval from the DAP does not exempt the plans from any building or statutory regulations other than the regulations that are superseded by the approved building envelopes and approved profile diagrams.

Approval must be obtained from the relevant authorities for Building Permits, build over easements and connections etc.

Report and consents cannot be requested for regulations that are covered under the approved Building Envelopes and the requirements under the MCP.

Approval by the DAP does not infer compliance under the Building Code of Australia, Rescode and other applicable planning or building regulations.

### 3.5 CONSTRUCTION

Once a Building Permit has been obtained, construction of your house may begin.

## 4. Siting & Orientation

### 4.1 CONSIDERATIONS

The siting of your home will be integral in developing the neighbourhood theme within the community. Consideration must be given to:

- Ensuring best visual presentation from the street;
- Maximising the benefits of solar access;
- Promoting energy efficiency;
- Maximising potential views of each lot owner;
- Minimising overlooking & over shadowing;
- On sloping lots, design responses that reflect the generous lot sizes available and work with the slope rather than against it, and;
- Respecting the privacy and amenity of neighbours. This includes excavations adjacent or on the side boundary.

### 4.2 LAND USE

One dwelling only is permitted per allotment. Dual occupancy and further subdivision is not allowed.

### 4.3 HOUSE ORIENTATION

Houses must face the main street frontage and present an identifiable entrance to the street. The front door may face some side street frontages, this should be verified with the DAP. Where possible, houses should be sited so that habitable rooms and private open spaces face northwards to receive maximum solar efficiency.

The site slope must be considered in conjunction with the overall orientation to achieve the best outcome.

### 4.4 SITE VIEWS

Many home sites have significant views across the community and beyond, careful consideration must be given to the location of the property, the building envelopes placed upon the site and its adjoining allotments.

Refer to the diagram below and additional detail provided at section 4.8 SLOPE CONSIDERATIONS.



### 4.5 DWELLING ARTICULATION

To ensure that dwellings constructed within the community are designed to a high quality contemporary standard, they should be designed so that front and secondary street frontage facades are well articulated. Broad flat surfaces extending greater than six (6) metres shall not be permitted.

Articulation can be achieved through a variety of ways and must incorporate at least one of the following features:

- Use of different materials and textures;
- Variable wall setbacks to the front and side street boundaries;
- Introduction of verandahs, porticos and pergolas;
- Feature gable roof, and/or
- Continuation of window styles.



Acceptable articulation



No articulation

## 4. Siting & Orientation

### 4.6 BUILDING ENVELOPES AND SETBACKS

#### Building Envelopes

Building Envelopes have been prepared for the lots in each stage at Sherwood Grange and are contained within the Memorandum of Common Provisions. The construction of buildings or associated buildings, including garages, must be contained within the Building Envelope specified for that allotment and in accordance with the Profile Diagrams.

Building regulations 73, 74, 75, 79, 81, 82, 83, 84, & 85 are superseded by the approved building envelopes

#### Setbacks

The following setbacks for houses and garages must be met.

##### (i) The Front Street

The front street setback is designated on the specified Building Envelope for each allotment. All houses must be set back from the main street frontage by the minimum distance indicated, generally 7 metres.

Garages must be located or set back behind the front facade of the home.

##### (ii) Splayed and curved street frontages

Unless noted on the plan, the minimum front setback on a splayed or curved corner between two street frontages is on an arc connecting the front street setback line to the side street setback line commencing at the points that are perpendicular to the points where the street alignment commences to arc.

Front entrances are to be easily accessible from the main street frontage.

##### (iii) The Side Boundaries

The side setback is designated on the specified Building Envelope for each allotment.

The Building Envelopes reflect mandatory design controls contained in the Lancefield Road PSP (refer section 2.1 MANDATORY DESIGN CONTROLS).

For lots with a frontage exceeding 18m, the side boundary setback is 3m on one side and 1m on the other. For lots with a frontage of 18m or under, the side boundary setback is 2m on one side and 1m on the other.

A building must be setback from a side boundary not less than the distances specified in the Building Envelope Profiles and shown on the Building Envelopes by a setback identifier code. Garages may be built to the side boundary if provided for on the Building Envelope and adjacent buildings allow. The measurements are taken from the natural surface levels to the top of the wall.

##### (iv) The Side Street Boundary

The side street setback is designated on the specified Building Envelope for each allotment.

##### (v) The Rear Boundary

Generally, a rear wall of a building not exceeding 3.6 metres in height must be set back from the rear boundary a minimum of 8 metres, and a rear wall of a building exceeding 3.6 metres in height must be set back from the rear boundary a minimum of 10 metres for lots with a greater depth than 34 metres.

On lots less than 34 metres deep no walls shall be closer than 5 metres for single storey and 7.5 metres for walls greater than 3.6 metres in height.

The maximum height of a building facing a rear boundary must not exceed the maximum building height allowed by the side envelope profile as shown in the Profile Diagrams, or a height limit for a rear setback as dimensioned on the Building Envelope plan.

##### (vi) Walls on boundaries

Unless otherwise noted on the Building Envelopes, walls and associated parts of a building within 1.0 metre of a boundary are restricted to areas within a Building to Boundary Zone (BBZ). The BBZ spans the length of the side boundary between the front and rear setbacks permitted by this Building Envelope. Total length of walls in the BBZ is limited to 60% of the length of the boundary except for terrace style lots where walls are permitted to the extent of the nominated BBZ.

Within the BBZ, the following apply:

- Walls within the Building to Boundary Zone are allowed.
- Carports and verandahs are not permitted to be built to the boundary.
- Maximum height of a wall in the BBZ is restricted to 3.6 metres.



## 4. Siting & Orientation

### (vii) Encroachments

Side, Side Street and Rear: The following may encroach into the specified setback distances by not more than 600 mm: For the purposes of these guidelines, gutters are not a measured item.

- Porches, eaves, verandahs;
- Masonry chimneys;
- Screens, but only to the extent needed to protect a neighbouring property from a direct view;
- Water tanks, and
- Heating and cooling equipment and other services.

The following may encroach into the specified setback distances:

- Landings with an area of not more than two (2) square metres and less than 0.8 metres high;
- Unroofed stairways and ramps;
- Pergolas;
- Shade sails, and
- Eaves, fascia, gutters.

**Front:** The following may encroach into the specified front street setback distances by no more than 1500 mm: For the purposes of these Guidelines, gutters are not a measured item.

- Porches and verandahs to a maximum height of 4m.
- Decks and uncovered landings of not more than two (2) square metres and less than 0.8 metres high from natural ground.
- Eaves.

### (viii) Edge Boundary

Exemptions relating to side setbacks and relating to siting matters do not apply to an Edge Boundary.

### 4.7 BUILDING HEIGHT

The maximum building height is nine (9) metres above the natural surface level for sites with a slope of less than 5% and ten (10) metres for sites with a slope of greater than 5%.

Natural ground/surface level is defined as the ground level after engineering works associated with the subdivision have been completed.

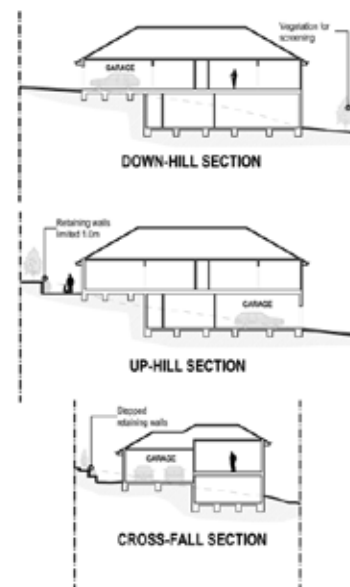
Sloping sites which may allow additional built area under the ground floor level will be considered and may be approved depending upon overall design and setback requirements. Large bulk excavations or high retaining walls are not permitted (refer 5.7 Retaining Wall Controls).

Excluding walls constructed by the developer during subdivision works, for the purpose of these Guidelines retaining walls greater than 1.25m are considered excessive. Stepped and multiple retaining walls may be required rather than one large retaining wall.

### 4.8 SLOPE CONSIDERATIONS

Houses and garages should be sited and designed to take advantage of the natural slope conditions at Sherwood Grange. Split level designs, for example, can be designed to follow the fall of the land and avoid unsightly and expensive earthworks that scar the natural landscape. Some lots have specific building envelopes to ensure that views are maintained and that adjoining lots are protected.

Unsightly cut or fill should be avoided and limited to 1.25m and



1.0m respectively. Consideration must be given to neighbour's properties. Landscaped terraces are preferred as per Clause 5.6 of the Guidelines.

## 4. Siting & Orientation

### 4.9 SITE COVERAGE

Unless otherwise specified in the notations to the Building Envelopes buildings must not occupy more than 50 per cent of the lot.

In calculating site coverage, eaves, fascia and gutters not exceeding 600mm in total width, and unroofed swimming pools, terraces, patios, decks and pergolas should be disregarded. Roofed areas of terraces, patios, decks and pergolas are to be included in overall calculations.

Please be aware of the building regulations with regards to timber framed structures such as pergolas, verandahs and decks. Refer VBA's Minimum setback for decks information sheet

## 5. Built Form

### 5.1 ARCHITECTURAL STYLE

At Sherwood Grange, high standards of house design will be required, and a variety of styles are encouraged. Designs should be responsive to the individual attributes of the lot, having regard to any slope or vegetation. Designs that break the front of the dwelling into distinct visual elements will be supported.

The inclusion of projections integral to the design and style of the dwellings such as verandahs are encouraged. Further enhancement can be achieved using detail and shade in the form of pergolas and extended eaves.

Houses with identical facades may not be constructed in proximity and must be separated by a minimum of five (5) houses in any direction. The appearance of dwellings should provide a degree of richness and variety ensuring the creation of pleasant, interesting streetscapes.

Houses which have long uninterrupted expanses of wall should be avoided. Features, which may detract from the appearance of a house from the street, including small windows, obscure glass, window security shields, canvas and metal awnings, will be discouraged.



### 5.2 MATERIALS AND COLOURS

The materials and colours of the walls and roofs of houses will have a major impact on the visual quality of Sherwood Grange. The use of a combination of finishes is encouraged for the purpose of achieving a degree of individuality and interest. Three different materials are required to any elevation that faces a street. Different coloured render will only account as a maximum of two materials.

Thoughtful selection of materials and colours will achieve a degree of visual harmony between houses and will avoid colours that are out of character with neighbouring houses. For these reasons, purchasers are requested to submit roof and wall materials and colours for approval. Colours which reflect the natural tones of the environment at Sherwood Grange are recommended.

#### External Walls

- The external walls (excluding windows) are to be constructed of brick, brick veneer, texture coated material, weatherboard or other material as approved by the DAP. Colours of trims should be selected to complement the main body of the house & the natural environment.
- Dwellings are encouraged to have a mix of composite products (render, timber or textured material) to the front facade as approved by the DAP.
- Articulation to the front façade is mandatory, an entry recess is not considered a step in the façade.

#### Roofs

- The roof is to be constructed of colorbond roof material only. Roof colours which reflect the natural tones of the environment at Sherwood Grange.

### 5.3 DWELLING SIZE

The minimum dwelling size is:

- 160 square metres in the case of a lot having an area of 500 square metres or greater.

## 5. Built Form

### 5.4 TWO STOREY DWELLINGS

All two storey dwellings must be articulated to the front façade as a minimum, alternate materials are encouraged as a method of providing the visual break from a monotone and bleak façade. Treatments such as pergolas, verandahs etc. are recommended to break the line of sight. This recommendation also applies to double storey dwellings on corner allotments. Designers must consider that any dwelling is three dimensional and sight lines to side elevations are part of articulation considerations.

It is important to ensure that two-storey houses are designed and sited correctly to minimise overlooking and overshadowing. It is recommended that initial concepts for two-storey houses be discussed with the DAP.

The articulation of the front of the upper level of two-storey houses is encouraged to avoid dominating the streetscape.

### 5.5 CORNER ALLOTMENTS

The home design must address both the primary and secondary street frontages and be of a consistent architectural design.

Design elements (such as verandahs, detailing, feature windows & materials) used on the primary frontage must continue to the part of the secondary frontage that is visible from the public realm.



2 storey, corner allotment and architectural design

### 5.6 ENERGY EFFICIENCY

An energy smart home takes advantage of the sun's free warmth, light and with the inclusion of energy efficient appliances and systems, will save a great deal of energy.

Well-designed homes reduce the demand on heating and cooling. Any style of house can be energy efficient. Energy smart homes have a combination of features which work together to ensure you achieve the highest degree of comfort with minimum energy use.

Homes at Sherwood Grange must achieve a minimum 6 Star Energy Rating in accordance with the Victoria Home Energy Rating System or greater, if legislated by the building regulations. An energy rating certificate will not be required prior to DAP approval; however, a certificate will be required prior to obtaining a Building Permit.

Due to changes to the National Construction Code, new homes built after 1 October 2023 may need to achieve a minimum 7-Star rating when using the Nationwide House Energy Rating Scheme (NatHERS). You should consider whether these new requirements will apply to you.

For information about the new requirements see NCC 2022 (available at <http://ncc.abcb.gov.au>) and contact your local State building regulator. Achieving a 7-star rating may result in increased build costs.

### 5.7 ROOFS

Articulated roof shapes are preferred with hips and gable roof forms, skillion roof styles and higher degrees of pitch encouraged, although each design will be considered on its merits by the DAP. Flat roofs behind parapets are accepted. All roofs are to be colorbond.

## 5. Built Form

### 5.8 GARAGES

The garage and family car (s) have a significant impact on the streetscape. The design and location of garages should endeavour to make them an integral and unobtrusive part of the house. All homes must allow for an enclosed double garage for car accommodation.

Generally, garages must be constructed within the Building Envelope, although they may be set at a different level to the rest of the dwelling. The garage setback must be a minimum of one (1) metre back from the front building line, this also applies for entry to the garage from the side street boundary, unless otherwise noted.

It is preferable for garages to be constructed under the main roof of the house. If garages are free standing and/or visible from the street, they should match the roof form and be constructed of the same materials as the house.

The garage may be constructed to the side boundary, depending on the location of adjacent buildings and garages relative to the side boundaries and whether permitted by the Building Envelope. Deep excavations on the boundary will not be permitted. The DAP will need to consider the impacts on adjoining lots of any excavation on or near the boundary.

Secondary garages are discouraged. The design for an additional garage would need to be discussed with the DAP and it must be disguised and out of view from the main street frontage. Only one crossover per lot is permitted.

When designing garages, consideration must be given to the screening of boats, caravans and trailers and for 'drive-through' access to the rear yard. The garage door is a major visual element of the streetscape and doors facing the street must be panelled and of a colour which complements the house. The inclusion of windows, recesses or projections in the garage door should be considered to present an interesting and integrated façade.

### 5.9 OVERSHADOWING

This item is covered within the building envelope plan and profile diagrams. Building Regulation 81, 82 and 83 is superseded by this Guideline.

### 5.10 PRIVACY AND OVERLOOKING

This item is covered within the building envelope plan and profile diagrams. Building Regulation 84 is superseded by this Guideline.

## 6. External Considerations

### 6.1 ACCESS AND DRIVEWAYS

Driveways are a major visual element at Sherwood Grange and should be constructed using materials that blend with or complement the dwelling textures and colours. Only one driveway will be permitted for each lot, unless there are special circumstances, if so, these need to be discussed and confirmed with the DAP.

Driveways must not be wider than five (5) metres at the street boundary of a lot and planting between the driveway and property boundary is encouraged.

Driveways must be constructed of brick and/or concrete pavers, coloured concrete, saw-cut coloured concrete, or concrete with exposed aggregate. Plain concrete is not permitted.



Exposed Aggregate



Dark (Charcoal) Coloured

Examples of approved driveway finished.

All driveways must be completed within three (3) months of the Occupancy Permit being issued.

### 6.2 FENCES

The objective of the DAP is to provide a degree of uniformity and thereby avoid an untidy mix of various fence standards, colours and types. To enhance the park-like character of the community, no front fencing will be permitted.

Fences must be colorbond woodland grey ridge, with black stained treated pine post, to a maximum height of 1.8 metres.

This is consistent with the estate fencing provided along the Racecourse Road frontage. A typical plan and elevation of this fence treatment is shown.

On side boundaries, fencing must commence no closer than one (1) metre behind the building line. (excluding a screen required for overlooking purposes).

All fencing must be constructed in accordance with the Restrictive Covenant as detailed on the relevant Plan of Subdivision and as approved in writing by the DAP. For the purposes of these Guidelines, the prescribed fence height of 1.8 metres to the side street, side and rear boundaries will be exempt from the provisions of the Building Regulations.

Fences permitted by the Guidelines are not deemed to overshadow the recreational private open space on the allotment.

#### Fences siding onto Waterways or abutting Jacksons Creek Valley

Fences on lots with a rear or side abuttal to the Jacksons Creek valley, waterways and some siding onto the waterway within the subdivision, require fencing that is predominantly open, low or otherwise designed to avoid long stretched of high solid fence interface to the relevant open space.



Typical boundary fencing location



Corner lot fencing

## 6. External Considerations

### 6.3 SUSTAINABILITY

#### Water Tanks

All homes must include a rainwater tank with a minimum capacity of 2,000 litres which is to be connected for use in the toilet, laundry and garden.

#### Photovoltaic Panels

All homes are to have a minimum of 3.0 kW of solar panels and a battery installed to enable the home to be partially run by sustainable energy. The location of solar panels and the battery should be shown on the plans submitted to the DAP.

#### Hot Water Systems

The main hot water system should be power boosted by a solar panel.

#### Plumbing

All tapware and appliances should be the most efficient of their type.

### 6.4 LETTERBOXES

Letterboxes should be designed to match the house using similar materials and colours and must be erected prior to occupancy permit.

The size and position of the letterbox must comply with Australia Post requirements. The street number must be clearly identifiable, suitably sized and located and must not interfere with the overall streetscape.



### 6.5 GENERAL

External fixtures must achieve the following objectives and the location must be noted on plans to be submitted to the DAP:

**Normal maintenance**, all lots are to be maintained and kept free of excessive weeds, rubbish or garbage and keep all turfed areas presentable.

No car bodies, mechanical equipment, machinery, construction equipment etc shall be stored and or left on site visible from the public realm.

**Clothes-lines, Garden Sheds, External Hot Water Services and Ducted Heating Units** must not be visible from the street.

**Solar Water Heaters** are permitted and, where possible, are to be located out of view from the street frontage. The solar panels shall be located on the roof, not on a separate frame.

#### Air-Conditioning Units

Evaporative air-conditioners must be positioned so that they are not visible from the main frontage of the dwelling. They must be painted to match the colour of the roof, be low profile units and installed as low as possible below the roof ridgeline towards the rear of the house. Wall mounted air-conditioners must be located below the eaves line, screened from public view and suitably baffled to reduce noise.



Low profile & positioned at rear.  
Acceptable



Standard unit in clear view  
of street. Not Acceptable

**Television Antennae** are not permitted as television services are available through the Opticomm Fibre Network.

**Satellite Dishes** will only be approved if located below the roofline of the house and must be screened from public view.



## 6. External Considerations

### 6.5 GENERAL CONT.

**Rainwater Tanks** must be not visible from the street frontage. No external Plumbing to a dwelling shall be visible from a street or dwelling. All plumbing on double-storey houses, except downpipes, must be internal so as not to be visible from the street or neighbouring properties.

**External lighting** including spotlights, flood lights and any lights illuminating any outdoor area are to be approved by the DAP and the use of LED or solar lighting is encouraged.

**Rubbish Bins & Recycling Bins** must be stored out of view from the street.

**Caravans, Campervans, Trailers, Boats and Commercial Vehicles.** Vehicles with a carrying capacity of one (1) tonne or more or any boat, caravan or trailer shall not be permitted to be parked on a lot so that it is visible from any street. Unregistered vehicles must be garaged. Provisions must be made for the proper screening and housing of watercraft either in the garage or behind it.

#### **Advertising Signage**

Signage is not permitted on residential lots with the following exceptions:

- Only one advertising sign will be permitted to be erected on a lot that is being advertised for resale AND only after the developer has sold ALL lots in the relevant stage.
- Display home signage will be permitted but only with the written approval of the DAP and Hume City Council.

Builders or tradespersons identification required during construction of the dwelling to a maximum size of 600mm x 600mm. Such signs must be removed within ten (10) days of the issue of the Occupancy Permit.

#### **Sheds**

Sheds should be restricted in size and must be in harmony with the other buildings. Sheds are to have a maximum wall height of 2.4 metres and a maximum ridge height of 3 metres. It is the responsibility of the purchaser to ensure that the requirements relating to location, size and height for all outbuildings adhere to governing authority requirements.

Where a lot is greater than 800m<sup>2</sup>, the DAP can consider sheds of a larger size, subject to compliance with the MCP and building envelope plan.

All sheds are to be erected with a muted/earthy tone Colorbond material.

No temporary or relocatable structures are to be erected or kept on a lot unless for use in the construction of the home.

#### **Carports**

No carports are permitted to the front of the dwelling.

#### **Pools**

Swimming Pools do not require the approval of the DAP.

#### **Window Furnishings**

Internal window furnishings which can be viewed by the public must be fitted within three months of occupancy. Sheets, blankets or similar materials for which window furnishing is not their primary use will not be permitted.



## 6. External Considerations

### 6.6 LANDSCAPING AND TREE PROTECTION

#### General Guidelines

The garden design will require careful thought to ensure that the appropriate plants are selected for the particular lot conditions.

The objective is to achieve a cohesive blend of indigenous vegetation and other landscape elements, integrating street and parkland landscaping with private gardens so that the streetscape presents as a landscaped garden.

Landscape design and plant selection should minimise the need for garden watering. No tree or shrub with a mature height greater than 3 metres should be planted closer than 2 metres to the house.

#### Front Gardens

All landscaped areas to the front of the house must be established within three (3) months of the issuing of the Occupancy Permit to ensure good presentation is achieved for the local community. The front garden should include a variety of plants, lawn, garden beds that incorporate ground covers, small to medium shrubs and at least one advanced feature tree in a 75-litre pot when planted in the ground. Artificial turf is not permitted.

The number of plants per garden varies with the size of the lots. As a guide lots, 16 metres shall have a minimum of 40 plants and (at least) one feature tree and lots greater than 16 metres to have a minimum of 50 plants and one (preferably two) feature tree(s).



Examples of acceptable landscaping treatments.

### 6.7 RETAINING WALL CONTROLS

Retaining wall design of each allotment will be integral to the estate to ensure the site's natural topographic characteristics are retained and the provision of an efficient building envelope for purchasers is achieved.

Where required, Villawood may construct retaining walls within the subject property as part of the civil construction works. Purchasers must not alter any constructed retaining walls without the DAP permission.

If property owners wish to install retaining walls to the front of the building line, the property owner must ensure that the walls match the style, material and construction of the developer constructed walls throughout Sherwood.

Due to the topography of the site many allotments may require additional retaining walls, any proposed retaining wall must adhere to the following controls:

- Retaining walls at street boundaries and within the front building setback are to be constructed out of stone or concrete with stone veneer or other similar materials approved by the DAP.
- Retaining walls must be entirely contained within the subject property and achieve a minimum 500mm setback from the title boundary for a provision for garden bed planting within the area to be retained.
- Retaining walls adjacent to the primary or secondary street frontage, or to public open space areas are preferred to steep embankments and should be kept to a maximum height of 1.0 metres (to any one "rise") and where necessary, several small terraces or tiered retaining walls are preferred.
- Retaining walls to internal rear or side boundaries must be less than 1000mm in height. Where additional retaining is required, walls must be tiered to spread the retaining height between two or more walls. A minimum 500mm wide terrace between each wall must be achieved to incorporate garden bed planting.
- Where retaining is required to existing boundaries external to the site, retaining walls must be a minimum 500mm from the existing boundary to minimise disturbance to existing vegetation.

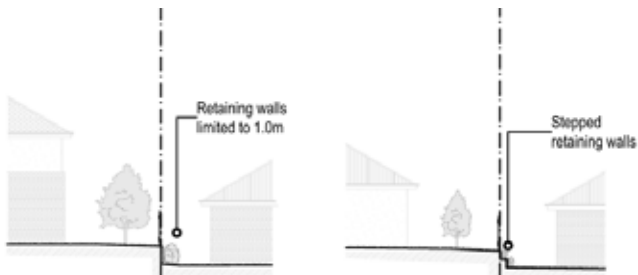
## 6. External Considerations

### 6.7 RETAINING WALL CONTROLS CONT.

- Generally, across the site a fill of one (1) metre maximum and a site cut where visible of 1.25 metres.
- Retaining walls constructed of plain concrete, or timber are not permitted in front of the building line or if visible from the street.
- Embankments should not exceed a slope of 1 in 5.
- When undertaking construction works, consideration must be given to the integrity of the adjoining properties retaining walls. Any proposal must be approved by the DAP and subsequently reviewed by a qualified building surveyor. Any alterations must adhere to the requirements of the Building Code of Australia.

### 6.8 CONSTRUCTION MANAGEMENT

During the construction period, the builder must install a temporary fence and ensure that rubbish and building waste is restrained and contained within the building site. Damage to nature strips caused during the construction period is solely the responsibility of the landowner and their builder.



Internal retaining wall



Acceptable



Not Acceptable

## 6. External Considerations

### 6.9 BROADBAND NETWORK

Sherwood Grange is an OptiComm Fibre Connected Community. This means that all homes in Sherwood Grange will have access to the OptiComm high speed broadband network. Some benefits of high-speed broadband are:

- Distribution of analogue and digital free to air television;
- Ultra-high-speed internet - even in high usage times and not affected by distance from an exchange;
- Pay TV - choice of providers, and;
- External aerials and satellite dishes are not required.

#### What you need to do to prepare for High Speed Broadband:

##### Step 1. Conduit (Pipe) Installation

Ensure your builder has installed a 25 mm white telecommunications conduit from the front boundary of your lot to the meter box location on the side of your house. Your builder will install the conduit, which will need to be installed during the construction of your home.

##### Step 2. Prepare your home to be able to distribute the Internet, Telephone, TV and other services throughout your rooms

Structured Cabling of your home is optional, but highly recommended, as it will enable you to take advantage of all features the Sherwood Grange Optical Fibre Network has to offer. It is recommended that you arrange a quote to cable your new home from your builder or OptiComm's contractors early in your construction phase or at contract negotiation as the wiring should be done at the frame stage of construction. Structured Cabling is an additional cost to the conduit and customer connection.

##### Step 3. Connection to the Optical Fibre Network

When you have received your Certificate of Occupancy or are about two (2) weeks before you move in, call OptiComm's Customer Connection Information Desk on 1300 137 800 to arrange the connection to the Optical Fibre Network.

The typical customer connection cost is \$550.00 incl. GST and includes the following services:

- Installation of Optical Network Terminal and the Power Supply Unit (back-up battery not included);
- Access to Free to Air Digital and Analogue (if available) TV signals, and;
- Access to Foxtel Pay TV signals (resident to arrange for Foxtel connection at their cost).

##### Step 4. Contact a Retail Internet and Telephone Service Provider

Finally, the last step involves contacting a Retail Service Provider to arrange the connection of your Retail Internet and Telephone Services (see details over page). You will be contracting the Retail Service Provider to provide the Internet and Telephone Services over the OptiComm Wholesale Network.

Hints when discussing your requirements:

- Tell them you are in an OptiComm Fibre Community
- Make sure you tell them you are at Sherwood Grange
- Make sure you give them your full address
- Tell them whether you have moved in yet
- Advise them whether you have had OptiComm install the Optic Fibre and Hardware in the enclosure near your meter box - this will affect the time it takes to connect services
- If speaking with Foxtel make sure you tell them you are in an OptiComm Fibre Estate and the "ONT" (Optical Network Terminal) is installed

For further information please refer to:  
[www.opticomm.net.au](http://www.opticomm.net.au)

## 7. Notes and Definitions

### 7.1 NOTES ON RESTRICTIONS

- Ground level after engineering works associated with the subdivision is to be regarded as natural ground level.
- In the case of a conflict between the Building Envelope plan or Profile Diagrams and these written notations, the specifications in the written notations prevail.
- Buildings must not cover registered easements unless provided for by the easement.

### 7.2 GENERAL DEFINITIONS

If not defined above, the words below shall have the meaning attributed to them in the document identified:

In the Building Act 1993:

- Building
- Lot

In Part 5 of Building Regulations 2018:

- Clear to the sky
- Height
- Private open space
- Recreational private open space
- Raised open space
- Setback
- Site coverage
- Window
- Single dwelling
- North (true north)

In the Victoria Planning Provisions, 31 October 2002:

- Frontage (Clause 72)
- Dwelling (Clause 74)
- Habitable room (Clause 72)
- Storey (Clause 72)

### 7.3 ADDITIONAL DEFINITIONS

#### Edge Boundary

Edge Boundary means the boundary or part of a boundary of a lot on the Plan of Subdivision that abuts a lot, which is not shown on the Plan of Subdivision. An Edge Boundary lot is marked “E” on the Building Envelope plan.

#### Front street or Main Street frontage

Front Street means the street or road that forms the frontage to the lot concerned. Where there is more than one road which adjoins a lot or where it may be otherwise unclear, the Front Street may be identified by the letter “F” in the Building Envelope Plan or will be as agreed in writing by the DAP.

#### Side boundary

A boundary of a lot that runs between and connects the street frontage of the lot to the rear boundary of the lot.

#### Street

For the purposes of determining street setbacks, street means any road other than a lane, footway, alley or right of way.

#### Standard lot

A single lot that accommodates a freestanding house detached from adjoining houses and of an individual style.

## 8. Building Envelopes

Building regulations 73, 74, 75, 79, 81, 82, 83, 84, & 85 are superseded by the Approved Building Envelopes.

To be read in conjunction with Building Envelope Profiles and the Plan of Subdivision for relevant stage.











[sherwoodgrange.com.au](http://sherwoodgrange.com.au)