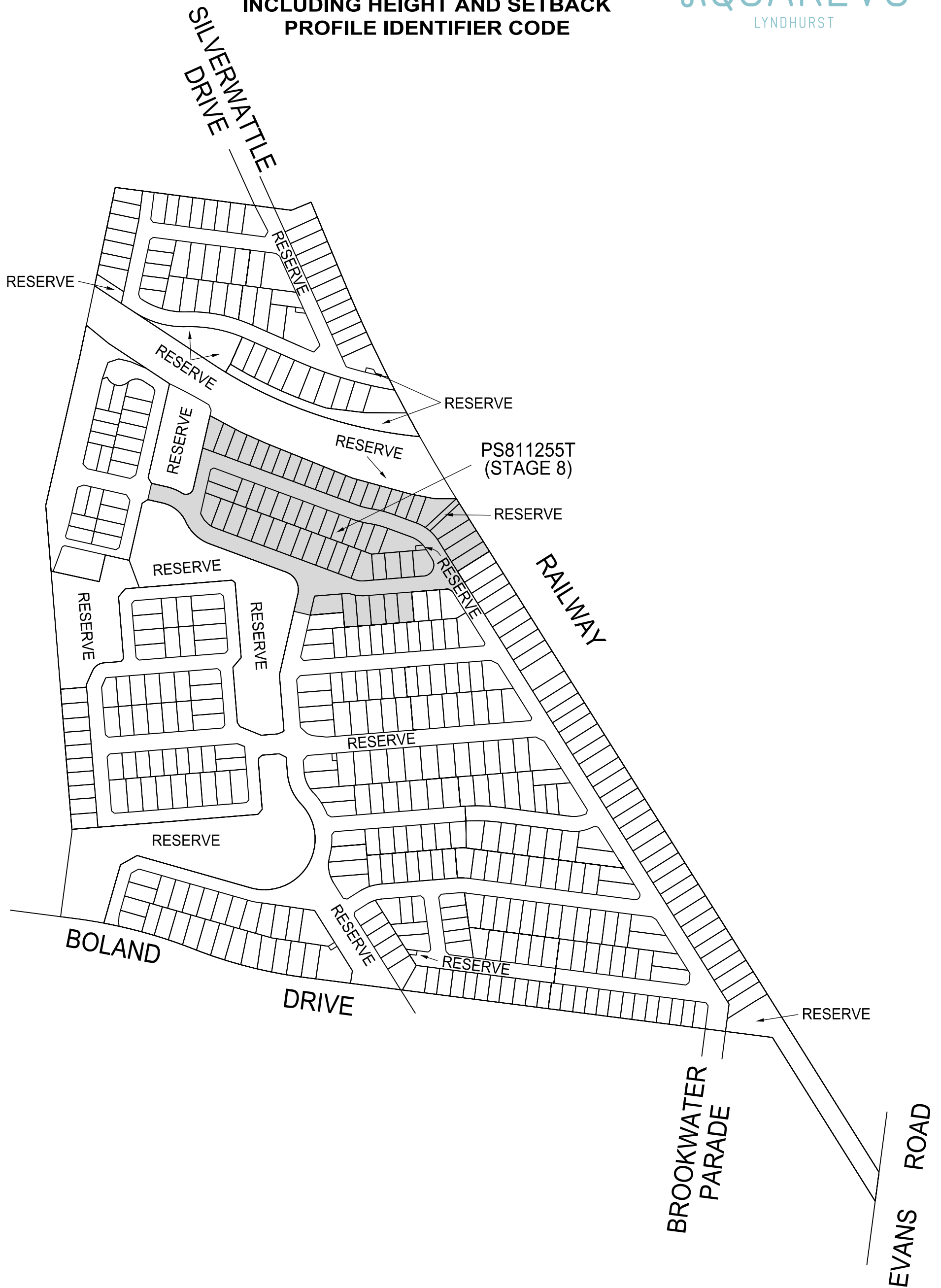
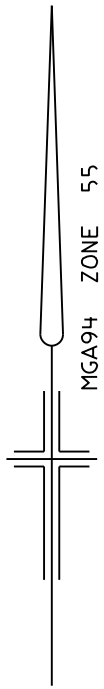
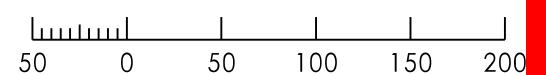


**AQUAREVO STAGE 8  
BUILDING ENVELOPE PLAN  
INCLUDING HEIGHT AND SETBACK  
PROFILE IDENTIFIER CODE**

**AQUAREVO**  
LYNDHURST



SCALE 1:4000 AT A3



LENGTHS ARE IN METRES

SHEET 1 OF 4 SHEETS

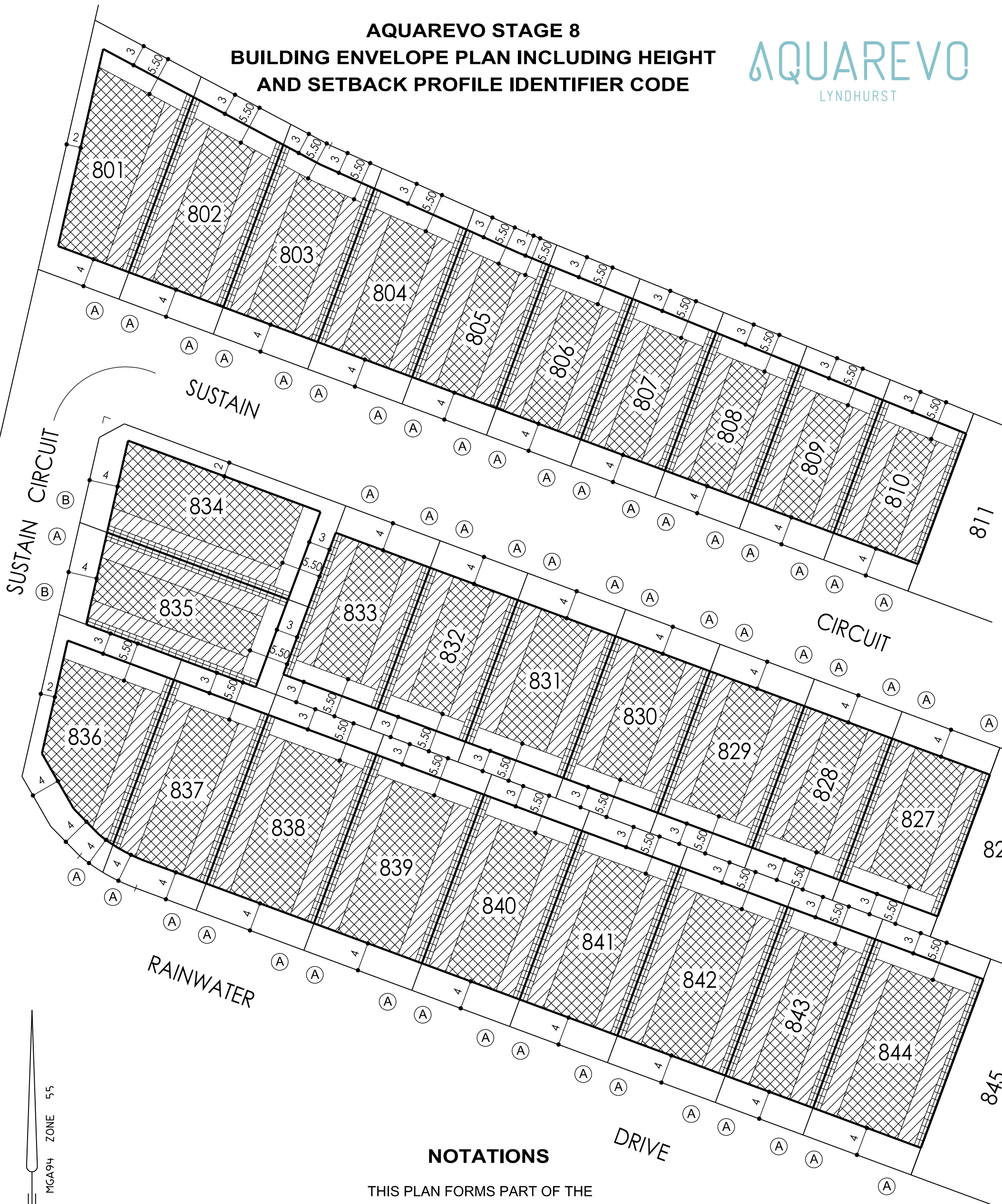
8766/8 VERSION E



Breese Pitt Dixon Pty Ltd  
1/19 Cato Street  
Hawthorn East Vic 3123  
Ph: 8823 2300 Fax: 8823 2310  
www.bpd.com.au info@bpd.com.au

**AQUAREVO STAGE 8**  
**BUILDING ENVELOPE PLAN INCLUDING HEIGHT**  
**AND SETBACK PROFILE IDENTIFIER CODE**

**AQUAREVO**  
LYNDHURST



**NOTATIONS**

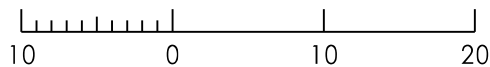
THIS PLAN FORMS PART OF THE  
"AQUAREVO BUILDING DESIGN  
GUIDELINES." PLEASE REFER TO  
THESE GUIDELINES FOR FURTHER  
INFORMATION

THE BUILDING ENVELOPES ON THIS PLAN  
ARE SHOWN ENCLOSED BY CONTINUOUS  
THICK LINES

PROFILE TYPES (A) (B) (C) (S) (T) (V)  
ARE CONTAINED IN THE AQUAREVO  
BUILDING DESIGN GUIDELINES

ON LOTS WHERE MORE THAN ONE  
BUILDING TO BOUNDARY ZONE  
(CROSS HATCHED ON THIS PLAN) IS  
SHOWN, A BUILDING CONSTRUCTED  
ON THE SAID LOT, MUST ONLY BE  
CONSTRUCTED WITHIN THE BUILDING  
TO BOUNDARY ZONE WHICH IS  
DIRECTLY ADJACENT TO THE  
CONSTRUCTED CROSSOVER

SCALE 1:500 AT A3



LENGTHS ARE IN METRES

SHEET 2 OF 4 SHEETS  
8766/8 VERSION E

Breese Pitt Dixon Pty Ltd  
1/19 Cato Street

Hawthorn East Vic 3123  
Ph: 8823 2300 Fax: 8823 2310

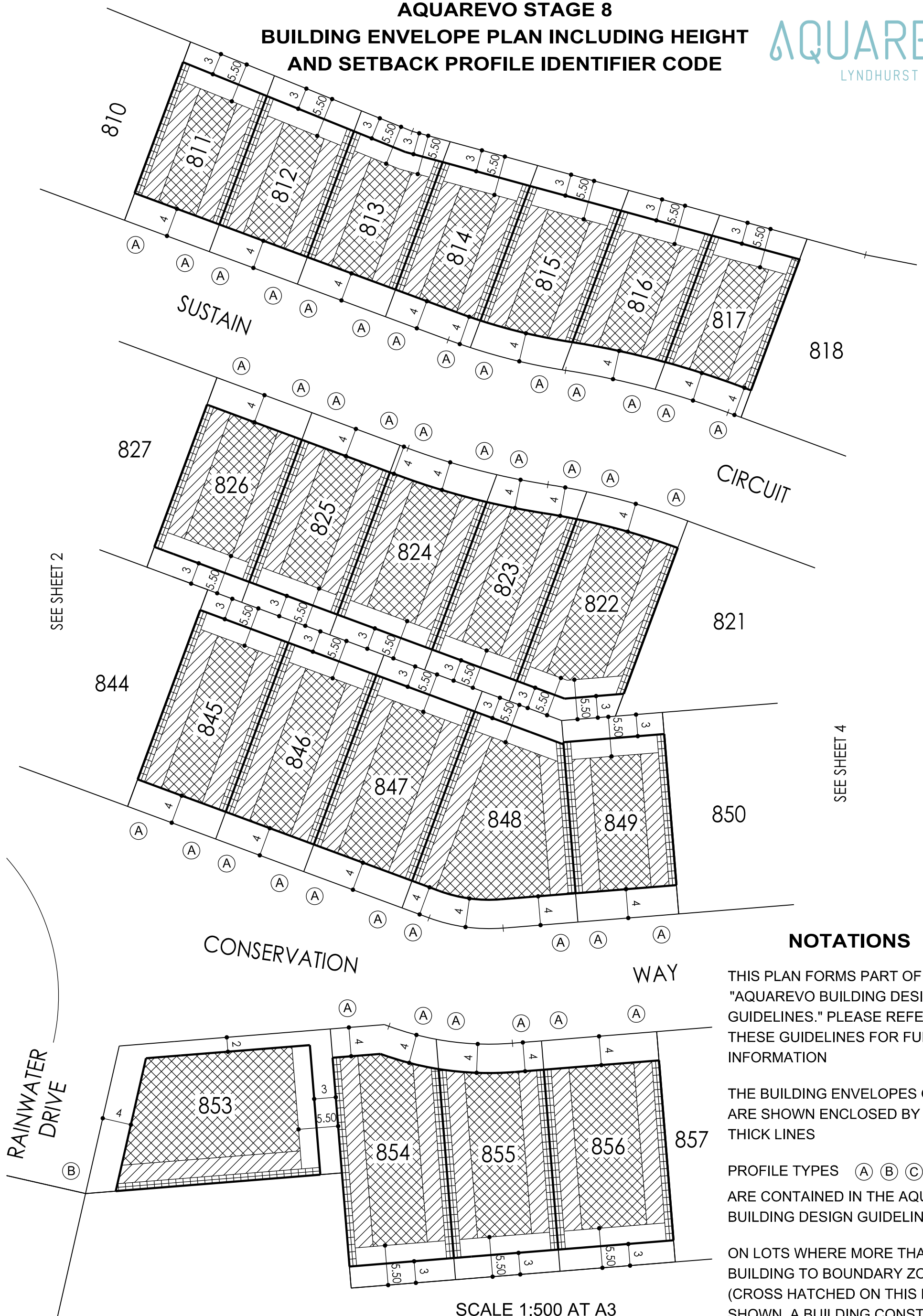
www.bpd.com.au info@bpd.com.au





**AQUAREVO STAGE 8**  
**BUILDING ENVELOPE PLAN INCLUDING HEIGHT**  
**AND SETBACK PROFILE IDENTIFIER CODE**

**AQUAREVO**  
LYNDHURST



**NOTATIONS**

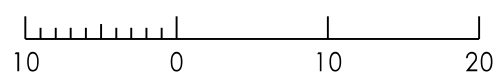
THIS PLAN FORMS PART OF THE "AQUAREVO BUILDING DESIGN GUIDELINES." PLEASE REFER TO THESE GUIDELINES FOR FURTHER INFORMATION

THE BUILDING ENVELOPES ON THIS PLAN ARE SHOWN ENCLOSED BY CONTINUOUS THICK LINES

PROFILE TYPES (A) (B) (C) (S) (T) (V) ARE CONTAINED IN THE AQUAREVO BUILDING DESIGN GUIDELINES

ON LOTS WHERE MORE THAN ONE BUILDING TO BOUNDARY ZONE (CROSS HATCHED ON THIS PLAN) IS SHOWN, A BUILDING CONSTRUCTED ON THE SAID LOT, MUST ONLY BE CONSTRUCTED WITHIN THE BUILDING TO BOUNDARY ZONE WHICH IS DIRECTLY ADJACENT TO THE CONSTRUCTED CROSSOVER

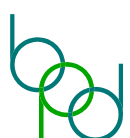
SCALE 1:500 AT A3



LENGTHS ARE IN METRES

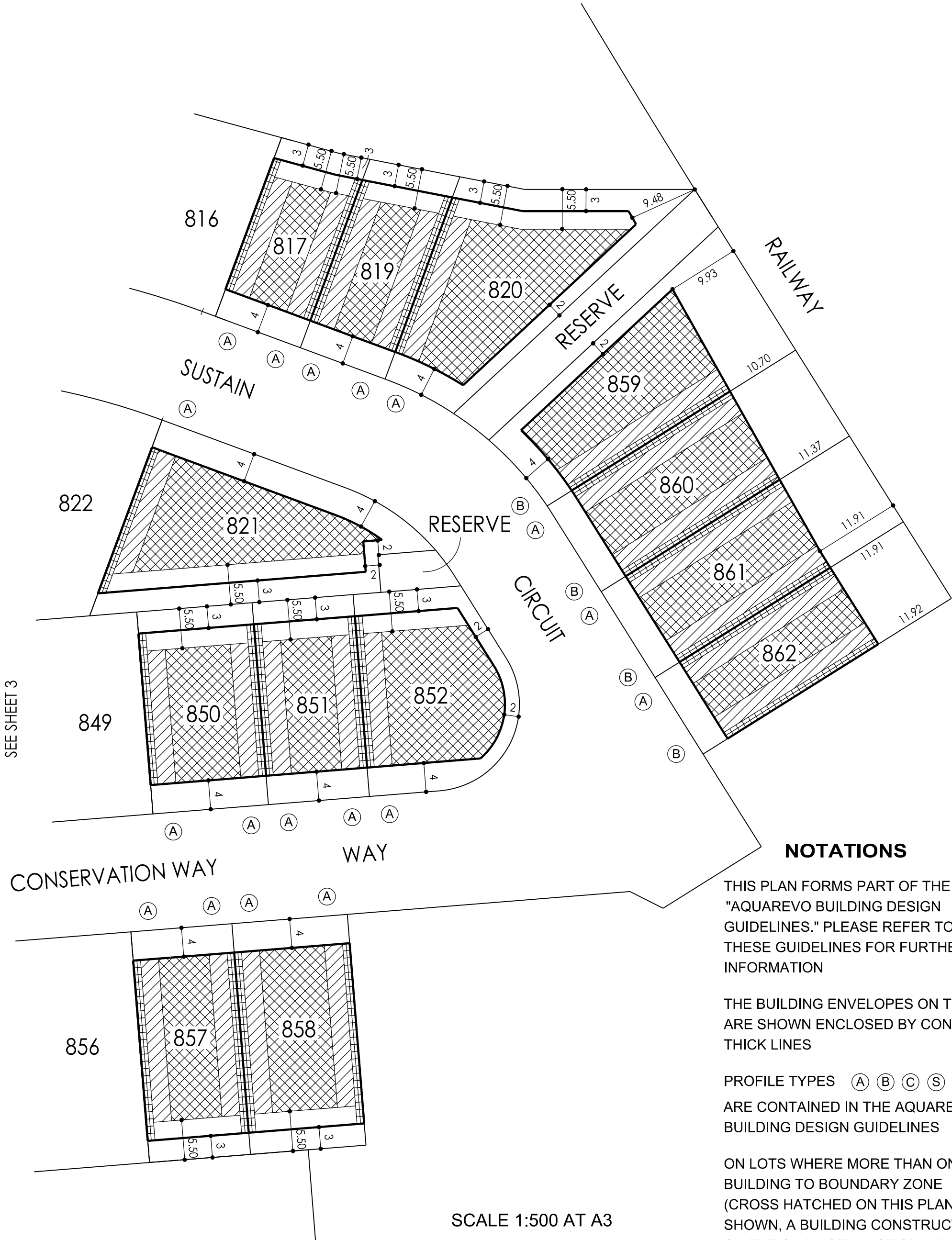
SHEET 3 OF 4 SHEETS  
8766/8 VERSION E

Breese Pitt Dixon Pty Ltd  
1/19 Cato Street  
Hawthorn East Vic 3123  
Ph: 8823 2300 Fax: 8823 2310  
www.bpd.com.au info@bpd.com.au



AQUAREVO STAGE 8  
BUILDING ENVELOPE PLAN INCLUDING HEIGHT  
AND SETBACK PROFILE IDENTIFIER CODE


AQUAREVO  
LYNDHURST



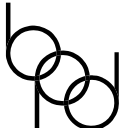
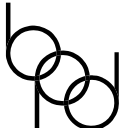
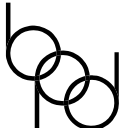
Casey Planning Scheme Endorsed on 27/09/2018 under Permit No. PlnA00983/14 Sheet 5 of 72 by phobbs



Breese Pitt Dixon Pty Ltd  
1/19 Cato Street  
Hawthorn East Vic 3123  
Ph: 8823 2300 Fax: 8823 2310  
www.bpd.com.au info@bpd.com.au

 <p> <b>Breese Pitt Dixon Pty Ltd</b>          1/19 Cato Street          Hawthorn East Vic 3123          Ph: 8823 2300 Fax: 8823 2310  <a href="http://www.bpd.com.au">www.bpd.com.au</a> <a href="mailto:info@bpd.com.au">info@bpd.com.au</a> </p>	SCALE		ORIGINAL SHEET SIZE A3	SHEET 7
	LICENSED SURVEYOR: SIMON P COX		REF: 8766/8	VERSION: 9



	PLAN OF SUBDIVISION	PLAN NUMBER PS 811255T														
<div>CREATION OF RESTRICTION (CONTINUED)</div> <div><div><div>(C) the Design Assessment Panel or such other entity as may be nominated by the Design Assessment Panel from time to time has given its written approval to the plans as being in accordance with the "Aquarevo Building Design Guidelines" prior to the commencement of works;</div><div>(iii) Build or cause to be built or allow to be built or allow to remain a dwelling with a floor area of less than:<div><div>(A) 150 square metres in the case of a lot having an area of 500 square metres or greater; or</div><div>(B) 110 square metres in the case of a lot having an area of less than 500 square metres, excluding terrace allotments.</div><div>(C) 85 square metres in the case of terrace allotments as defined in the Design Guidelines. For the purpose of calculating the floor area of a dwelling-house the area of the garages, terraces, pergolas or verandahs shall be excluded.</div></div></div><div>(iv) Build or cause to be built or allow to be built or allow to remain a garage;<div><div>(A) Which contains a garage door or doors of which the garage opening/s occupy more than 40% of the width of the primary frontage unless in the case of dwellings of two or more storeys on lots between 250 square metres and 300 square metres whereby the garage opening must not exceed 30% of the area of the front facade of the dwelling, with the area of the front facade measured from a two dimensional elevation plan excluding any roof area of the dwelling.</div><div>(B) Which is sited closer to the primary frontage than the dwelling-house or 5.5 metres which ever is the greater.</div></div></div><div>(v) Build or cause to be built or allow to be built or allow to remain any fencing:<div><div>(A) Along a front street boundary; and</div><div>(B) Between the front street boundary and the building line; and</div><div>(C) Upon a side or rear boundary of a lot:<div><div>(a) A fence unless constructed of timber palings with exposed posts capped across the top of the palings; and</div><div>(b) A fence which does not exceed 1.8 metres in height excluding a screen erected to meet the requirements of Part 5 of the Building Regulations 2018 in relation to overlooking.</div><div>(c) In the case of a fence on the boundaries of Lots 820 and 859 which abut Reserve No. 1, unless the fence is a maximum of 1m in height within a 15m setback of Sustain Circuit and is a maximum of 1.8m in height and 20% transparent, from a setback of 15m from Sustain Circuit to the rear boundary of the relevant lots.</div></div></div></div><div>(vi) Use the said lot in any way that is not in accordance with the "Aquarevo Building Design Guidelines."</div></div><div>RESTRICTION NUMBER : 2</div><div><div>Land to benefit: Lots 801 to 862 (both inclusive)</div><div>Land to be burdened: Lot 820 and 859 to 862 (both inclusive)</div><div>Description of Restriction:<div>The registered proprietor or proprietors for the time being of any burdened lot, must not construct a dwelling unless the said dwelling is constructed in such a way as to ensure the noise levels emanating from the rail corridor within any internal bedroom will not exceed 55dB LAm<sub>ax</sub> during the period from 10pm to 6am on any given date.</div></div></div></div><table><tr><td rowspan="3"><div>Breese Pitt Dixon Pty Ltd 1/19 Cato Street Hawthorn East Vic 3123 Ph: 8823 2300 Fax: 8823 2310 www.bpd.com.au info@bpd.com.au</div></td><td>SCALE</td><td></td><td>ORIGINAL SHEET SIZE A3</td><td>SHEET 8</td></tr><tr><td colspan="2">LICENSED SURVEYOR: SIMON P COX</td><td>REF: 8766/8</td><td>VERSION: 9</td></tr><tr><td colspan="4"></td></tr></table></div> <div data-bbox="25 2908 352 2956" data-label="Page-Footer"><p>Document Set ID: 12766469 Version: 1, Version Date: 20/09/2018</p></div> <div data-bbox="2039 744 2076 2223" data-label="Page-Footer"><p>Casey Planning Scheme Endorsed on 27/09/2018 under Permit No. PlnA00983/14 Sheet 7 of 72 by phobbs</p></div>				 <div>Breese Pitt Dixon Pty Ltd 1/19 Cato Street Hawthorn East Vic 3123 Ph: 8823 2300 Fax: 8823 2310 www.bpd.com.au info@bpd.com.au</div>	SCALE		ORIGINAL SHEET SIZE A3	SHEET 8	LICENSED SURVEYOR: SIMON P COX		REF: 8766/8	VERSION: 9				
 <div>Breese Pitt Dixon Pty Ltd 1/19 Cato Street Hawthorn East Vic 3123 Ph: 8823 2300 Fax: 8823 2310 www.bpd.com.au info@bpd.com.au</div>	SCALE		ORIGINAL SHEET SIZE A3		SHEET 8											
	LICENSED SURVEYOR: SIMON P COX		REF: 8766/8		VERSION: 9											