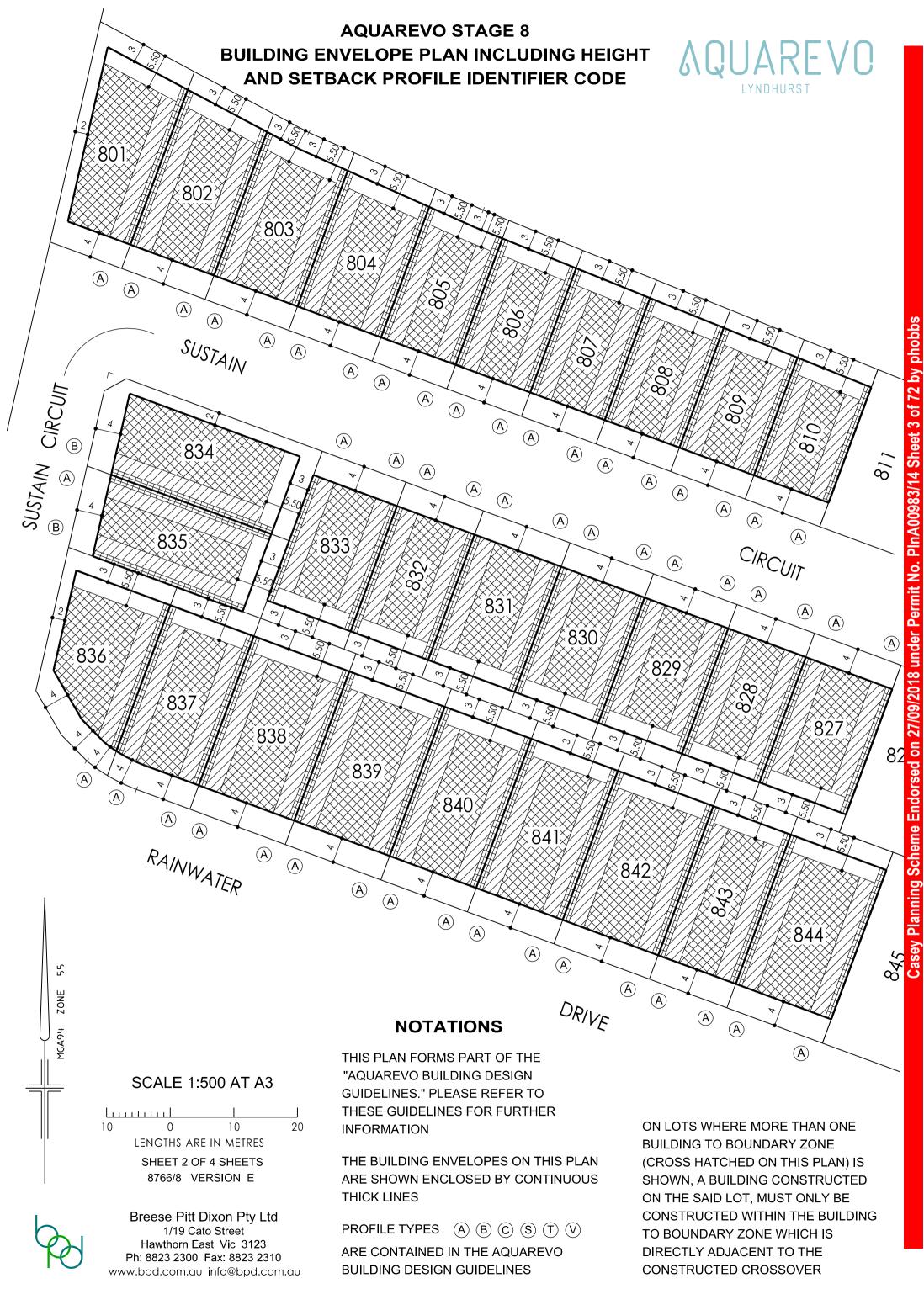
SHEET 1 OF 4 SHEETS

8766/8 VERSION E



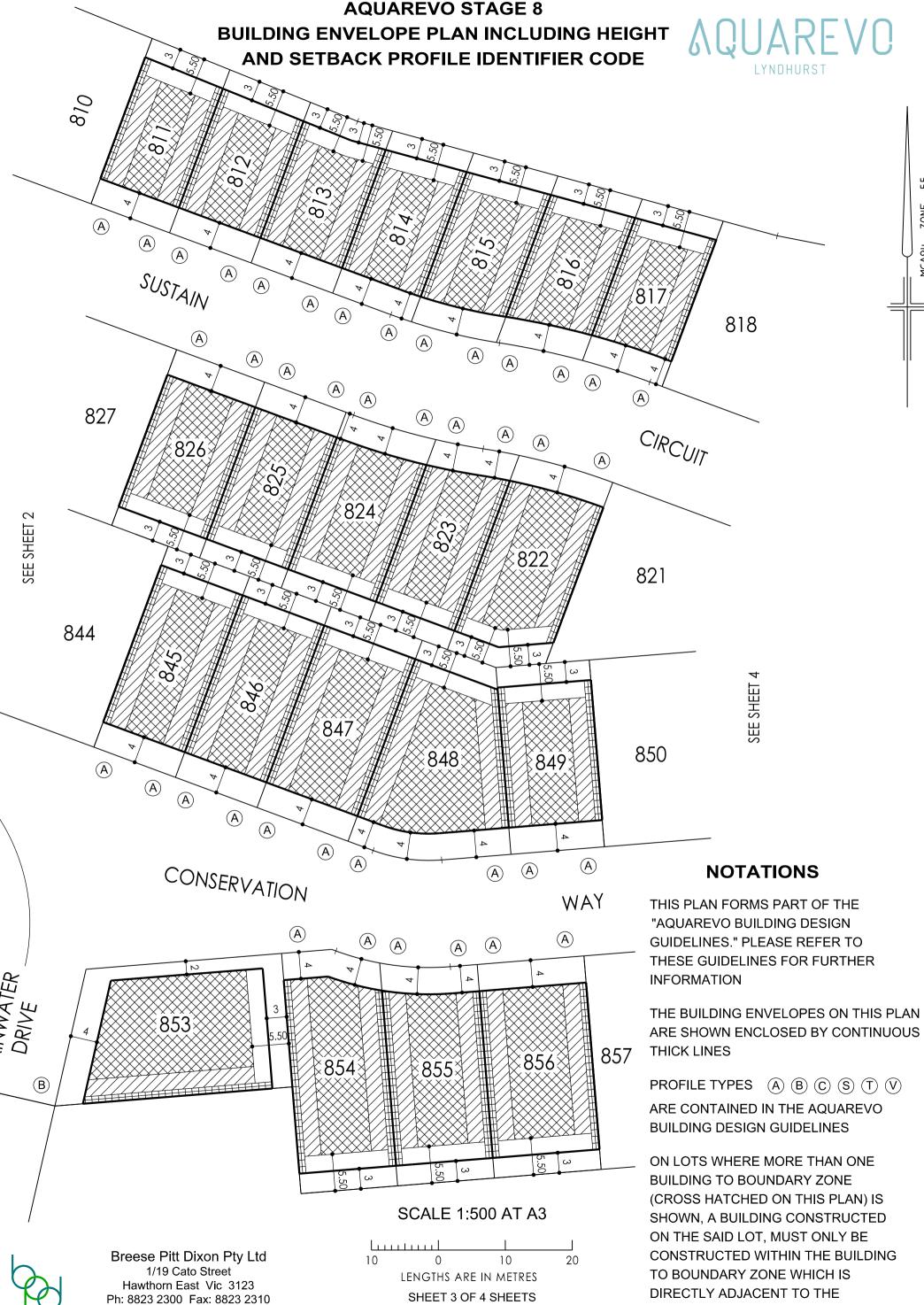
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CONSTRUCTED CROSSOVER



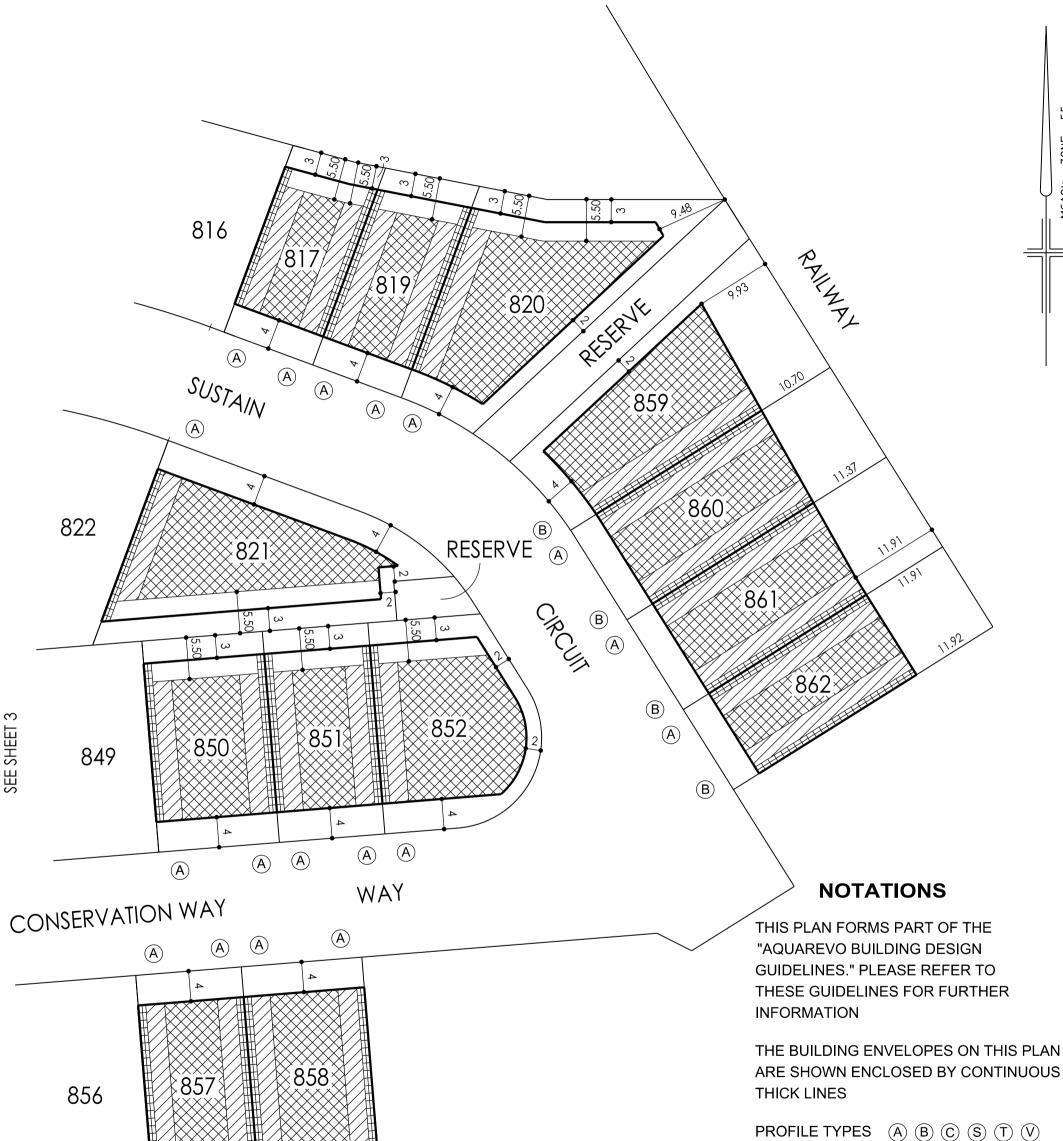
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AQUAREVO STAGE 8 BUILDING ENVELOPE PLAN INCLUDING HEIGHT AND SETBACK PROFILE IDENTIFIER CODE





ARE CONTAINED IN THE AQUAREVO
BUILDING DESIGN GUIDELINES

ON LOTS WHERE MORE THAN ONE
BUILDING TO BOUNDARY ZONE
(CROSS HATCHED ON THIS PLAN) IS
SHOWN, A BUILDING CONSTRUCTED
ON THE SAID LOT, MUST ONLY BE
CONSTRUCTED WITHIN THE BUILDING
TO BOUNDARY ZONE WHICH IS
DIRECTLY ADJACENT TO THE
CONSTRUCTED CROSSOVER

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LENGTHS ARE IN METRES
SHEET 4 OF 4 SHEETS
8766/8 VERSION E

SCALE 1:500 AT A3

PLAN OF SUBDIVISION

PLAN NUMBER
PS 811255T

SUBDIVISION ACT 1988 CREATION OF RESTRICTION

Upon registration of this plan, the following restriction is to be created.

For the purpose of description:

- (i) Primary frontage means
 - (A) In the case of a lot where only one boundary of that lot abuts a road, the boundary that abuts the road.
 - (B) In the case of a corner lot where two boundaries of a lot abut a road, the boundary with the greater offset on the building envelopes within the Aquarevo Building Design Guidelines.

RESTRICTION NUMBER: 1

THE BURDENED LOTS AND BENEFITTED LOTS OF THIS RESTRICTION ARE:

BURDENED LOT No:	BENEFITTING LOTS:
801	802
802	801, 803
803	802, 804
804	803, 805
805	804, 806
806	805, 807
807	806, 808
808	807, 809
809	808, 810
810	809, 811
811	810, 812
812	811, 813
813	812, 814
814	813, 815
815	814, 816
816	815, 817
817	816, 818
818	817, 819
819	818, 820
820	819
821	822, 849, 850, 851, 852
822	821, 823, 848, 849
823	822, 824, 847, 848
824	823, 825, 846, 847
825	824, 826, 845, 846
826	825, 827, 844, 845
827	826, 828, 843, 844
828	827, 829, 842, 843
829	828, 830, 841, 842
830	829, 831, 840, 841
831	830, 832, 839, 840

BURDENED LOT No:	BENEFITTING LOTS:
832	831, 833, 838, 839
833	832, 834, 835, 838
834	833, 835
835	833, 834, 836, 837
836	835, 837
837	835, 836, 838
838	832, 833, 837, 839
839	831, 832, 838, 840
840	830, 831, 839, 841
841	829, 830, 840, 842
842	828, 829, 841, 843
843	827, 828, 842, 844
844	826, 827, 843, 845
845	825, 826, 844, 846
846	824, 825, 845, 847
847	823, 824, 846, 848
848	822, 823, 847, 849
849	821, 822, 848, 850
850	821, 849, 851
851	821, 850, 852
852	821, 851
853	854
854	853, 855
855	854, 856
856	855, 857
857	856, 858
858	857
859	860
860	859, 861
861	860, 862
862	861

Description of Restriction:

The registered proprietor or proprietors for the time being of a lot on this plan of subdivision his/her heirs, executors, administrators and transferees shall not at any time on the said lot or any part or parts thereof;

- (i) Build or cause to be built or allow to be built or allow to remain more than one private dwelling (which expression shall include a house, apartment, unit or flat);
- (ii) Build or cause to be built or allow to be built or allow to remain a dwelling or any other improvements, or carry out cause to be carried out or allow to be carried out any building or construction works on the lot prior to 1 January 2025 unless:
 - (A) copies of building plans, elevations, roof plan, site plan (incorporating setback from all boundaries, building envelope, existing contour, proposed finished floor levels and site levels, all proposed driveways and paths, details of fences and outbuildings and landscaping) and schedule of external colours and materials ("plans") have been submitted to the Design Assessment Panel care of Stephan P Kosa & Associates Pty Ltd 27 Church Street, Hawthorn Vic 3122 (email dap@kosaarchitects.com.au) or such other entity as may be nominated by the Design Assessment Panel from time to time;
 - (B) the plans comply with the Aquarevo Building Design Guidelines, a copy of which can be obtained from website at www.aquarevo.com.au/guidelines.htm

CONTINUED SEE SHEET 8



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SCALE		ORIGINAL SHEET SIZE A3	SHEET 7	
		REF: 8766/8	version: 9	
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LICENSED SURVEYOR: SIMON P COX

PLAN OF SUBDIVISION

PLAN NUMBER
PS 811255T

CREATION OF RESTRICTION (CONTINUED)

- (C) the Design Assessment Panel or such other entity as may be nominated by the Design Assessment Panel from time to time has given its written approval to the plans as being in accordance with the "Aquarevo Building Design Guidelines" prior to the commencement of works;
- (iii) Build or cause to be built or allow to be built or allow to remain a dwelling with a floor area of less than:
 - (A) 150 square metres in the case of a lot having an area of 500 square metres or greater; or
 - (B) 110 square metres in the case of a lot having an area of less than 500 square metres, excluding terrace allotments.
 - (C) 85 square metres in the case of terrace allotments as defined in the Design Guidelines. For the purpose of calculating the floor area of a dwelling-house the area of the garages, terraces, pergolas or verandahs shall be excluded.
- (iv) Build or cause to be built or allow to be built or allow to remain a garage;
 - (A) Which contains a garage door or doors of which the garage opening/s occupy more than 40% of the width of the primary frontage unless in the case of dwellings of two or more storeys on lots between 250 square metres and 300 square metres whereby the garage opening must not exceed 30% of the area of the front facade of the dwelling, with the area of the front facade measured from a two dimensional elevation plan excluding any roof area of the dwelling.
 - (B) Which is sited closer to the primary frontage than the dwelling-house or 5.5 metres which ever is the greater.
- (v) Build or cause to be built or allow to be built or allow to remain any fencing:
 - (A) Along a front street boundary; and
 - (B) Between the front street boundary and the building line; and
 - (C) Upon a side or rear boundary of a lot:
 - (a) A fence unless constructed of timber palings with exposed posts capped across the top of the palings; and
 - (b) A fence which does not exceed 1.8 metres in height excluding a screen erected to meet the requirements of Part 5 of the Building Regulations 2018 in relation to overlooking.
 - (c) In the case of a fence on the boundaries of Lots 820 and 859 which abut Reserve No. 1, unless the fence is a maximum of 1m in height within a 15m setback of Sustain Circuit and is a maximum of 1.8m in height and 20% transparent, from a setback of 15m from Sustain Circuit to the rear boundary of the relevant lots.
- (vi) Use the said lot in any way that is not in accordance with the "Aquarevo Building Design Guidelines."

RESTRICTION NUMBER: 2

Land to benefit: Lots 801 to 862 (both inclusive)

Land to be burdened: Lot 820 and 859 to 862 (both inclusive)

Description of Restriction:

The registered proprietor or proprietors for the time being of any burdened lot, must not construct a dwelling unless the said dwelling is constructed in such a way as to ensure the noise levels emanating from the rail corridor within any internal bedroom will not exceed 55dB LAmax during the period from 10pm to 6am on any given date.

by

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SCALE

ORIGINAL SHEET 8

REF: 8766/8 VERSION: 9

LICENSED SURVEYOR: SIMON P COX