

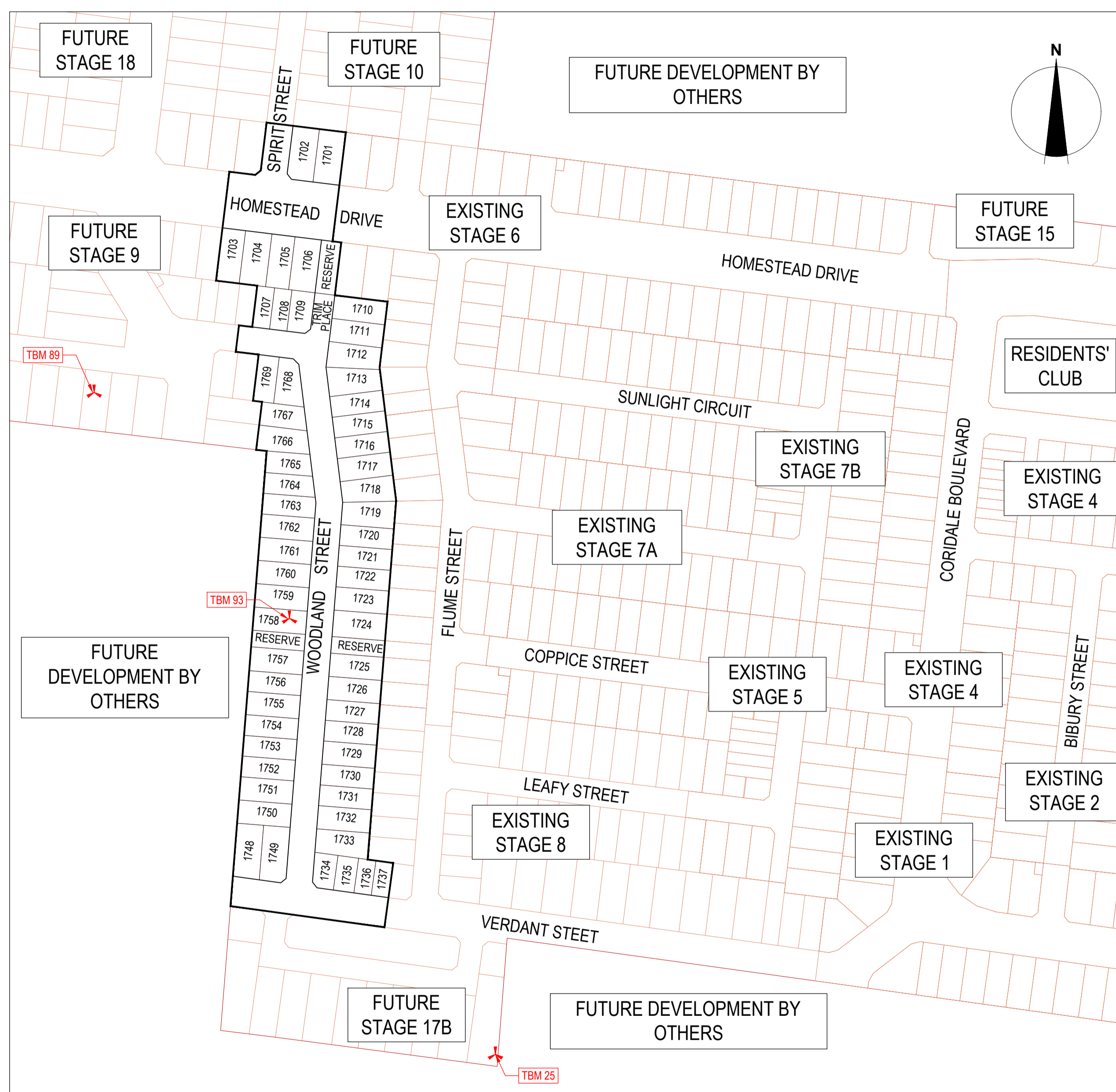
CORIDALE ESTATE

STAGE 17A

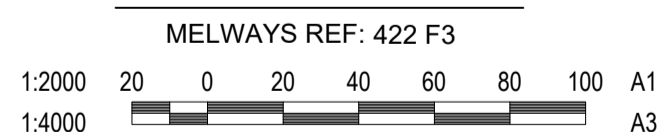
CITY OF GREATER GEELONG

GENERAL NOTES:

- THE WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT INFRASTRUCTURE DESIGN MANUAL STANDARD DRAWINGS AND GREATER GEELONG CITY COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS. WORKS TO BE CARRIED OUT TO THE SATISFACTION OF COUNCIL'S SUPERVISING OFFICER.
- THE CONTRACTOR IS RESPONSIBLE FOR SAFETY OF WORK ON SITE IN ACCORDANCE WITH APPROPRIATE LEGISLATION. THEY SHALL ERECT AND MAINTAIN ALL SHORING, PLANKING AND STRUTTING, DEWATERING DEVICES, BARRICADES, SIGNS, LIGHTS, ETC. NECESSARY TO KEEP WORKS IN A SAFE AND STABLE CONDITION, AND TO PROTECT THE PUBLIC FROM HAZARDS ASSOCIATED WITH THE WORKS.
- THE CONTRACTOR SHALL:
 - COMPLY WITH THE 'SAFETY PRECAUTIONS IN TRENCHING OPERATIONS' (CODE OF PRACTICE No.8, 1998)
 - NOTIFY WORK SAFE OF HIS INTENTION TO COMMENCE TRENCHING OPERATIONS WHERE TRENCHES ARE 1.5 METRES OR DEEPER.
 - ENSURE THAT THE MINE MANAGER OR HIS DEPUTY AS REQUIRED BY THE REGULATIONS IS IN ATTENDANCE WHEN TRENCHING OPERATIONS ARE IN PROGRESS.
- THE CONTRACTOR IS TO NOTIFY COUNCIL AND ALL SERVICE AUTHORITIES SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE LOCATION OF EXISTING SERVICES SHOULD BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCING ANY EXCAVATION BY CONTACTING ALL RELEVANT SERVICE AUTHORITIES. ANY EXISTING SERVICES SHOWN ON THE DRAWINGS ARE OFFERED AS A GUIDE ONLY AND ARE NOT GUARANTEED AS CORRECT.
- REDGUM TREES MARKED ON THE APPROVED PLANS FOR REMOVAL MUST BE REMOVED IN ACCORDANCE WITH COUNCIL'S PLANNING PERMIT. NO EXCAVATION SHALL BE CARRIED OUT WITHIN THE TREE PROTECTION ZONE OF ANY EXISTING TREE WITHOUT WRITTEN APPROVAL FROM COUNCIL'S ENVIRONMENT DEPARTMENT.
- ALL ROAD CHAINAGES ARE MEASURED ALONG THE ROAD CENTRELINE EXCEPT KERB RETURNS AND COURTHEADS, WHERE LIP OF KERB CHAINAGES ARE SPECIFIED. ALL DIMENSIONS AND RADII ARE GIVEN TO THE LIP OF KERB. DO NOT SCALE OFF THESE DRAWINGS, WRITTEN DIMENSIONS ONLY SHALL BE USED.
- ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
- ALL EXCAVATED OR FILLED AREAS OUTSIDE THE ROAD RESERVES TO BE STRIPPED OF TOPSOIL AND STOCKPILED PRIOR TO EARTHWORKS COMMENCING. THESE AREAS SHALL BE RESURFACED WITH A 150mm LAYER OF TOPSOIL AS SPECIFIED.
- NO TOPSOIL TO BE REMOVED FROM SITE.
- NO FILL OR STOCKPILING OF MATERIAL IS TO BE PLACED ON ANY RESERVE UNLESS DIRECTED BY THE SUPERINTENDENT.
- FILLING ON ALLOTMENTS AND UNDER ROAD PAVEMENTS TO HAVE LEVEL 1 SUPERVISION IN ACCORDANCE WITH AS3798-1996. INDIVIDUAL LOT CERTIFICATES ARE TO BE PROVIDED TO THE SUPERINTENDENT.
- FILLING UNDER DRIVEWAYS AND FOOTPATH IS TO BE APPROVED BY THE SUPERINTENDENT AND CONSTRUCTED IN LAYERS 150mm DEPTH. COMPACTION ACHIEVING A MINIMUM DENSITY RATIO OF 98% (STANDARD) IN ACCORDANCE WITH AS1289 CLAUSE 5.1.1.
- CUT AND FILL BATTER SLOPES ARE NOT TO EXCEED 1 in 6 UNLESS SHOWN OTHERWISE.
- ALL DRAINAGE PIPES ARE TO BE SPIGOT-SOCKET RUBBER RING JOINTED UNLESS STATED OTHERWISE.
- ALL DRAINAGE TRENCHES UNDER PARKING BAYS, DRIVEWAYS, FOOTPATHS AND BEHIND KERB & CHANNEL, SHALL BE BACKFILLED WITH CRUSHED ROCK AS SPECIFIED.
- ALL PIPES UNDER ROADS SHALL BE BACKFILLED WITH 2% STABILIZED SAND TO SPRINGLINE. ABOVE THIS POINT, PROVIDE 20mm NOM. SIZE CLASS 3 FINE CRUSHED ROCK (WETMIX) COMPACTED TO 98% MODIFIED COMPACTION IN 150mm MAXIMUM LAYER.
- PROPERTY INLETS AS PER INFRASTRUCTURE DESIGN MANUAL (IDM) STANDARD DRAWING SD 520 ARE TO BE LOCATED 1.0m FROM LOW SIDE BOUNDARY UNLESS SHOWN OTHERWISE.
- ALL HOUSE DRAIN CONNECTIONS ARE TO BE LOCATED NO CLOSER THAN 6.0m FROM THE SIDE BOUNDARY OR FROM EASEMENT ALONG THE SIDE BOUNDARY UNLESS NOTED OTHERWISE AND CONNECTED DIRECTLY TO UNDERGROUND DRAIN OR PIT. HOUSE DRAIN LOCATION TO BE MARKED (50mm STAMPED IMPRESSION) ON THE TOP OF THE KERB.
- SUBSOIL DRAINS SHALL BE INSTALLED BEHIND OR BELOW ALL KERB AND CHANNEL.
- CONDUIT LOCATIONS ARE SUBJECT TO AMENDMENT AND CONDUITS SHALL NOT BE LAID UNTIL WRITTEN APPROVAL IS GIVEN BY THE SUPERINTENDENT. CONDUITS TO BE EXTENDED TO PROPERTY LINE AND ARE REQUIRED WHEN CONNECTIONS EXTEND UNDER ROAD PAVEMENT, FOOTPATH OR OTHER INFRASTRUCTURE. BOTH KERBS ARE TO BE MARKED (50mm STAMPED IMPRESSION) WITH THE LETTERS E (ELECTRICAL), G (GAS), T (TELEPHONE), W (WATER) AND C (COUNCIL COMMUNICATION) ABOVE CONDUIT LOCATION.
- ALL SERVICING TRENCHES UNDER ROADS, DRIVEWAYS, FOOTPATHS ETC. ARE TO BE BACKFILLED & COMPACTED WITH F.C.R. IN THE CASE OF TRENCHES UNDER ROADS WHERE BACKFILLING HAS NOT ACHIEVED THE SPECIFIED COMPACTION OR SHOWS EXCESSIVE MOVEMENT UNDER PROOF ROLLING, THE BACKFILLING SHALL BE REMOVED AND REPLACED WITH 2% STABILISED COMPACTED F.C.R.
- NO COMMUNICATION PITS ARE TO BE LOCATED IN THE FOOTPATH.
- VEHICULAR CROSSINGS TO BE LOCATED CLEAR OF DRAINAGE PITS, SEWER MAINTENANCE HOLES AND EXISTING TREES. VEHICLE CROSSINGS TO BE 1m FROM PROPERTY BOUNDARY OR EASEMENT UNLESS OTHERWISE SHOWN. VEHICULAR CROSSINGS TO BE CONSTRUCTED AS PER CITY OF GREATER GEELONG 'DESIGN NOTES No.4' DATED AUGUST 2012 & IDM STANDARD DRAWINGS SD205 to SD265.
- ALL PEDESTRIAN CROSSINGS TO BE IN ACCORDANCE WITH INFRASTRUCTURE DESIGN MANUAL SD200.
- ALL STREET SIGNS TO BE IN ACCORDANCE WITH INFRASTRUCTURE DESIGN MANUAL STANDARD DRAWINGS. STREET SIGNS TO BE ATTACHED TO LIGHT POLES USING 'SINGLE DIRECTION COLLAR' OR '90° RIGHT ANGLE COLLAR' UNLESS SHOWN OTHERWISE.
- ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHOULD BE TO AS1742.2 AND AS1742.1 STANDARD RESPECTIVELY. TEMPORARY LINEMARKING TO BE PLACED DURING MAINTENANCE PERIOD PRIOR TO PLACEMENT OF WEARING COURSE. FINAL LINEMARKING TO BE LONG LIFE ROAD MARKING WITH LONGITUDINAL LINES IN THERMOPLASTIC AND TRANSVERSE MARKINGS IN COLD APPLIED.
- UPON COMPLETION OF CONSTRUCTION THE WHOLE SITE SHALL BE CLEANED, GRADED, ALL RUBBISH REMOVED AND LEFT IN A CLEAN AND TIDY CONDITION TO THE SATISFACTION OF THE SUPERINTENDENT.
- ALL AREAS OF SUBDIVISION EXPOSED OF VEGETATION, INCLUDING NATURE STRIPS, LOTS AND RESERVES ARE TO BE FULLY GRASSED BY HYDRO MULCHING, WATERED AND MAINTAINED, UNTIL THE END OF MAINTENANCE PERIOD.
- ALL SUMPS IN PRECAST CONCRETE PITS ARE TO BE FILLED WITH CONCRETE FLUSH TO THE INVERT LEVEL OF THE OUTLET PIPE, UNLESS APPROVED OTHERWISE BY THE COUNCIL WORKS INSPECTOR.
- CITY OF GREATER GEELONG REQUIRES CCTV OF ALL DRAINAGE PIPES AND PITS, PRIOR TO THE ISSUE OF THE STATEMENT OF COMPLIANCE.
- ALL CONCRETE WORKS ARE TO BE PROVIDED IN ACCORDANCE WITH CITY OF GREATER GEELONG DESIGN NOTE 12 REQUIREMENTS INCLUDING THE CONSTRUCTION OF ALL FOOTPATH WITH A MINIMUM OF 32MPa CONCRETE.



LOCALITY PLAN



TBM POINTS & LOCATIONS				
Name	Type	Easting	Northing	RL
TBM 25	STAR PICKET	269303.2500	5788943.9400	20.6700
TBM 93	STAR PICKET	269179.4100	5789206.1400	20.8400
TBM 89	STAR PICKET	269061.9400	5789342.0200	19.6300

PSM POINTS & LOCATIONS				
Name	Easting	Northing	RL	
MORANGHURK PM17	270000.0000	5790220.0000	14.0400	
MORANGHURK PM122	269845.0320	5788675.9690	15.9270	
MORANGHURK PM128	269998.2110	5790198.2930	13.6170	

Sheet List Table		
Drawing No.	Drawing Title	Revision
R100	COVER SHEET	AC
R200	LAYOUT PLAN - 1	AC
R201	LAYOUT PLAN - 2	AC
R300	INTERSECTION DETAILS - 1	AC
R301	INTERSECTION DETAILS - 2	AC
R400	ROAD LONGITUDINAL SECTIONS - 1	AC
R401	ROAD LONGITUDINAL SECTIONS - 2	AC
R500	ROAD CROSS SECTIONS - 1	AC
R501	ROAD CROSS SECTIONS - 2	AC
R502	ROAD CROSS SECTIONS - 3	AC
R503	ROAD CROSS SECTIONS - 4	AC
R504	ROAD CROSS SECTIONS - 5	AC
R505	ROAD CROSS SECTIONS - 6	AC
R506	ROAD CROSS SECTIONS - 7	AC
R600	DRAINAGE LONGITUDINAL SECTIONS - 1	AC
R601	DRAINAGE LONGITUDINAL SECTIONS - 2	AC
R602	DRAINAGE LONGITUDINAL SECTIONS - 3	AC
R603	DRAINAGE LONGITUDINAL SECTIONS - 4	AC
R604	DRAINAGE LONGITUDINAL SECTIONS - 5	AC
R605	DRAINAGE PIT SCHEDULE	AC
R700	TYPICAL DETAILS	AC
R701	CROSS OVER DETAILS	AC
R800	SIGNAGE & LINEMARKING PLAN - 1	AC
R801	SIGNAGE & LINEMARKING PLAN - 2	AC
R900	MUNICIPAL RESERVE DETAIL PLAN - 1	AC
R901	MUNICIPAL RESERVE DETAIL PLAN - 2	AC

NOTE:
THE SITE OF WORKS IS SUBJECT TO THE PROVISIONS OF CULTURAL HERITAGE MANAGEMENT PLAN No.15781. ALL WORKS AND PERSONNEL MUST OBSERVE THE REQUIREMENTS OF THE MANAGEMENT PLAN AT ALL TIMES.

Bradley
SIGNED (CONSULTANT)

Alm
SIGNED (CONTRACTOR)

WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES

THE LOCATIONS OF UNDERGROUND & OVERHEAD SERVICES ARE APPROXIMATE ONLY & THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. LOCATE ALL UNDERGROUND SERVICES BEFORE COMMENCEMENT OF WORKS

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www.1100.com.au

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
2	09/08/22	CROSSOVER WIDTH CHANGES & BOLLARD CHANGES	B.LEECH	C.O'LOUGHLIN	C.O'LOUGHLIN
1	21/03/22	LOT 1717 CROSSOVER CHANGE & RESERVE FENCES AMENDED	I.HOGAN	C.ROHDE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE



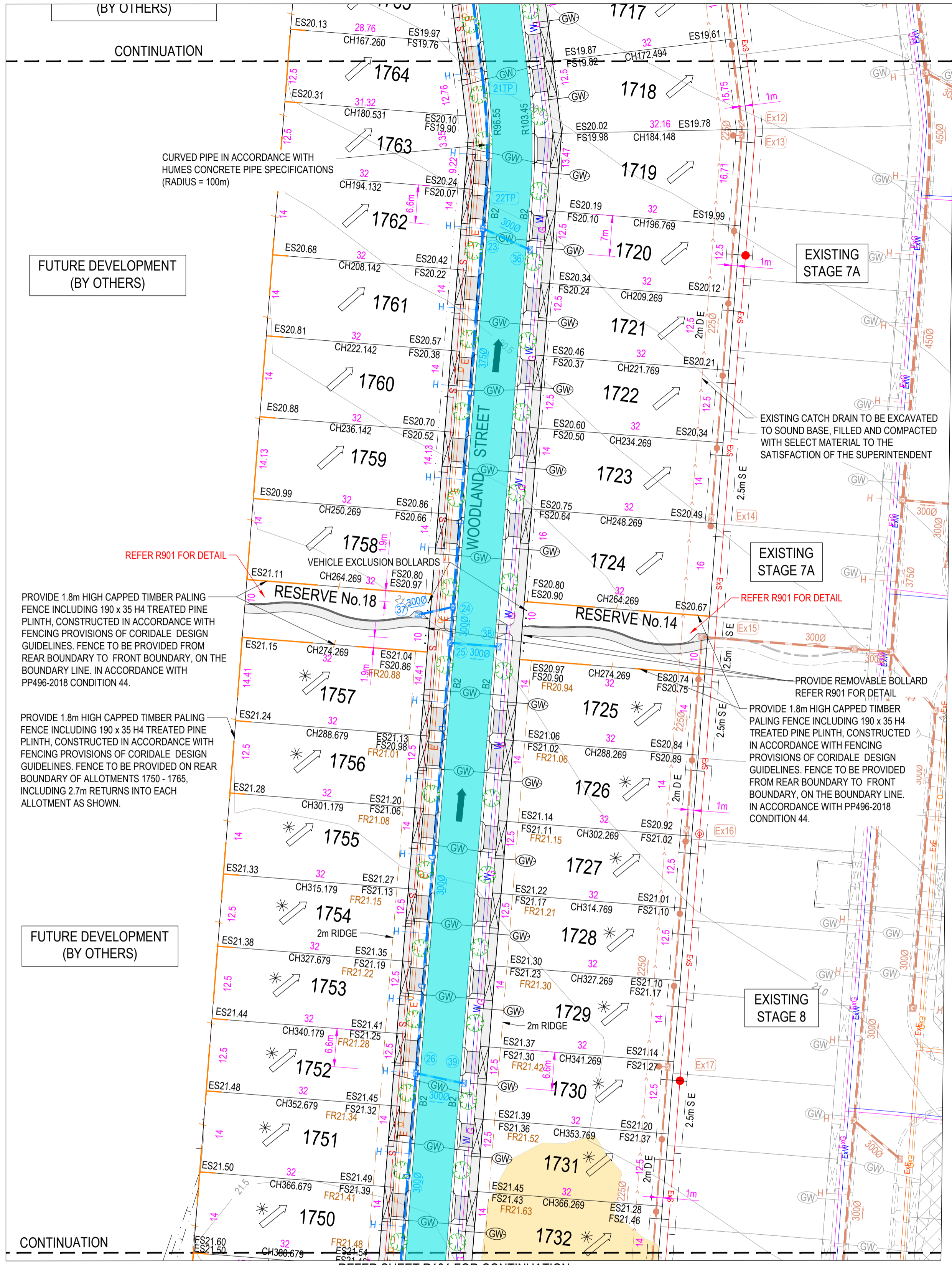
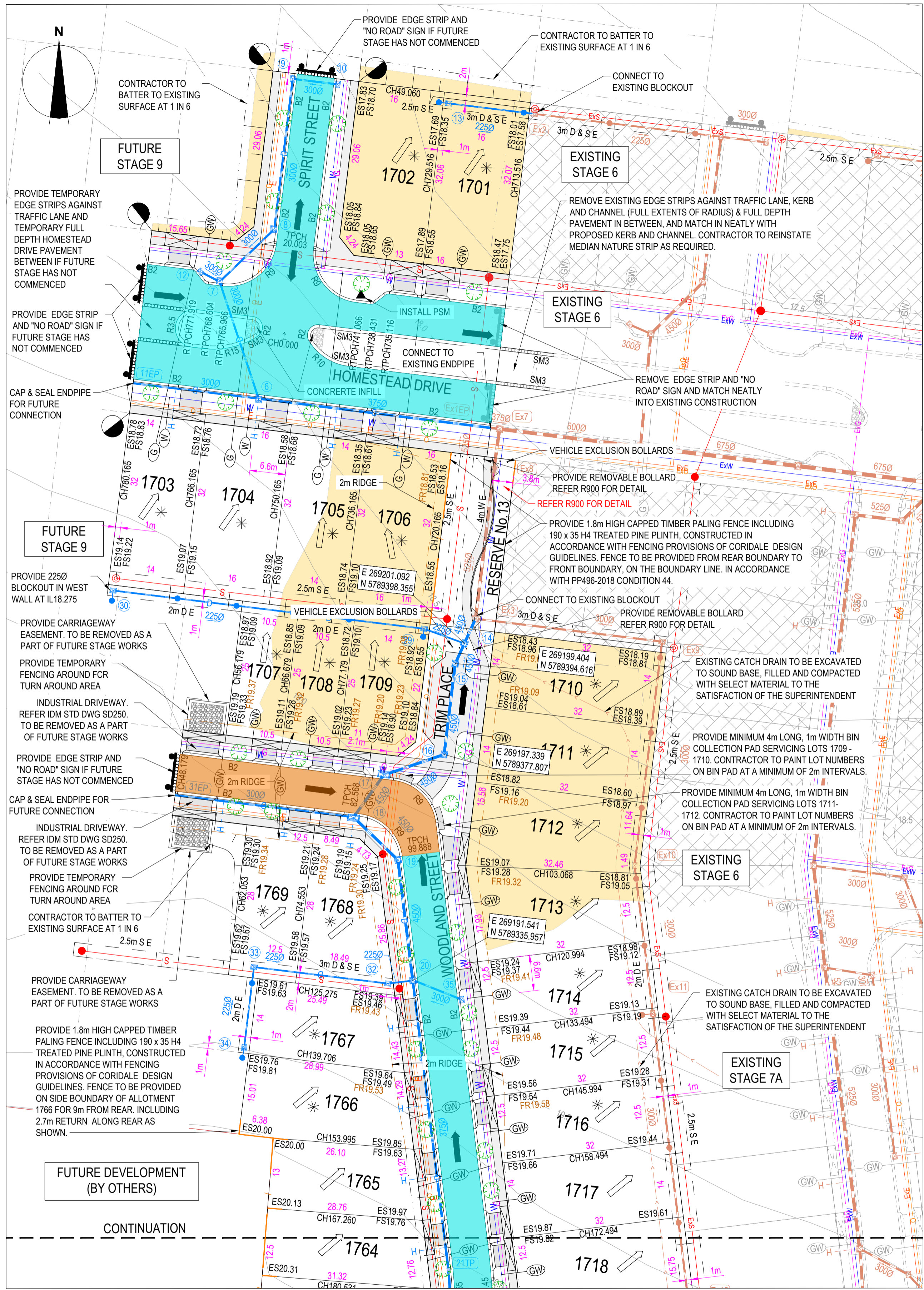
CORIDALE ESTATE - STAGE 17A
COVER SHEET

PLANNING PERMIT No: PP-496-2018

AS CONSTRUCTED

SCALE AT A1	DRAWN	DESIGNED
1:2000 @ A1	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R100	AC

P:\2018\180014_205-245 CHALLENGERS RD_LARA\180014_17\CIVIL\2_DRAWING\CADD\180014_17_R00_COVER SHEET.DWG



CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

LEGEND - LAYOUT PLAN

- STORMWATER DRAIN, PIT & PROPERTY INLET
- SWALE DRAIN
- SEWER & MAINTENANCE STRUCTURES
- HOUSE DRAIN
- SERVICE CONDUITS
- EXISTING ELECTRICITY (UNDERGROUND)
- EXISTING ELECTRICITY (OVERHEAD)
- EXISTING GAS
- EXISTING OPTIC FIBRE
- EXISTING TELSTRA
- EXISTING WATER
- EXISTING RECYCLED WATER
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- FINISHED RIDGE LINE LEVEL
- PAVEMENT TREATMENT
- STRUCTURAL FILL > 200mm DEEP
- EX. STRUCTURAL FILL > 200mm DEEP
- DIRECTION OF FALL
- OVERLAND FLOW
- ALLOTMENT TO BE GRADED EVENLY IN DIRECTION OF FALL TO LEVELS INDICATED
- CONCRETE EDGE STRIP WITH SUBSOIL DRAIN, "NO ROAD" SIGN & BARRIER
- LIMIT OF WORKS
- EXISTING TREE TO BE REMOVED
- PERMANENT SURVEY MARK
- TEMPORARY BENCH MARK
- PROPOSED DRIVEWAY
- 1.8m HIGH CAPPED TIMBER PALING FENCE INCLUDING 190 x 35 H4 TREATED PINE PLINTH
- STORM WATER PIT SETOUT POINT

- NOTES:**
- ALL VEHICLE AND PRAM CROSSING LAYBACKS, TO BE MINIMUM OF 1.0m FROM PITS.
 - ALL PRAM CROSSINGS TO BE A MINIMUM 2.0m FROM VEHICLE CROSSINGS.
 - ALL PRAM CROSSINGS TO BE DDA COMPLIANT.
 - VEHICLE EXCLUSION MEASURES BETWEEN ROAD RESERVE AND RESERVE TO FORM PART OF LANDSCAPE WORKS.
 - THE USE OF DIRECTIONAL AND HAZARD TACTILE PAVERS MUST ACCORD WITH SECTION 2.2.3.1 OF AS/NZS 1428.4:2002.
 - SEWER MAINTENANCE HOLE CONVERTER SLAB OR CONE, TO BE ROTATED TO ENSURE COVER POSITION IS CENTRALLY LOCATED WITHIN FOOTPATH.
 - CHANGES FOR SETOUT OF PROPERTY INLET POINTS, SERVICING FUTURE LOTS, ARE MEASURED FROM THE DOWNSTREAM PIT.
 - CONTRACTOR TO LOCATE ALL EXISTING ASSETS PRIOR TO COMMENCEMENT OF WORKS. ANY DAMAGE TO EXISTING ASSETS TO BE RECTIFIED AT CONTRACTORS EXPENSE.
 - CONTRACTOR TO VERIFY DEPTH OF EXISTING SERVICES, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NOTE: STREET TREE LOCATIONS SHOWN ARE INDICATIVE ONLY. ULTIMATE LOCATION IS TO BE PROVIDED/CONFIRMED BY LANDSCAPE ARCHITECTS

Bradley
SIGNED (CONSULTANT)

Alan
SIGNED (CONTRACTOR)

SERVICES OFFSET SCHEDULE

ROAD NAME	GAS		WATER		OPTIC FIBRE		ELECTRICITY		PUBLIC LIGHTING	
	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)
HOMESTEAD DRIVE	NORTH	3.10	NORTH	3.60	SOUTH	1.80	SOUTH	2.40	-	CENTRAL
VERDANT STREET	NORTH	2.10	NORTH	2.70	NORTH	3.50	NORTH	4.25	SOUTH	1.00*
WOODLAND STREET	NORTH/EAST	2.10	NORTH/EAST	2.70	SOUTH/WEST	1.85	SOUTH/WEST	2.40	SOUTH/WEST	1.00*
SPIRIT STREET	EAST	2.10	EAST	2.70	WEST	1.85	WEST	2.40	WEST	1.00*
TRIM PLACE	EAST	2.10	EAST	2.70	WEST	1.00	WEST	1.60	-	-
HAVILAH CIRCUIT (FUTURE)	WEST	2.10	WEST	2.70	WEST	3.50	WEST	4.05	WEST	1.00*
RESERVE No.13	-	-	EAST	2.70	-	-	-	-	-	-

1. * DENOTES OFFSET FROM BACK OF KERB.

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED	CLIENT
AC	14/09/22	AS CONSTRUCTED	B.BLEECH	M.TROUNCE	M.TROUNCE	 Suite 1, 2 Bloombsbury Street Geelong, VIC, Australia 3220
2	09/08/22	CROSSOVER WIDTH CHANGES & BOLLARD CHANGES	B.BLEECH	C.O'LOUGHLIN	C.O'LOUGHLIN	
1	21/03/22	LOT 1717 CROSSOVER CHANGE & RESERVE FENCES AMENDED	I.HOGAN	C.ROHDE	M.TROUNCE	
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE	
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE	

villawood properties
Communities Designed for Living

Coridale
LARA

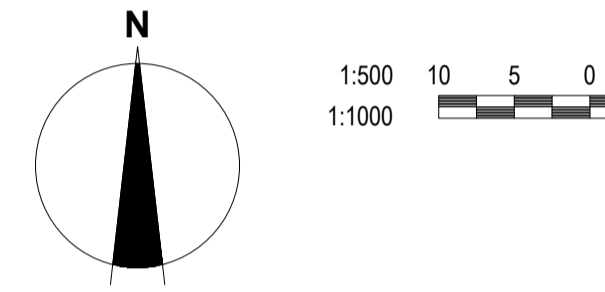
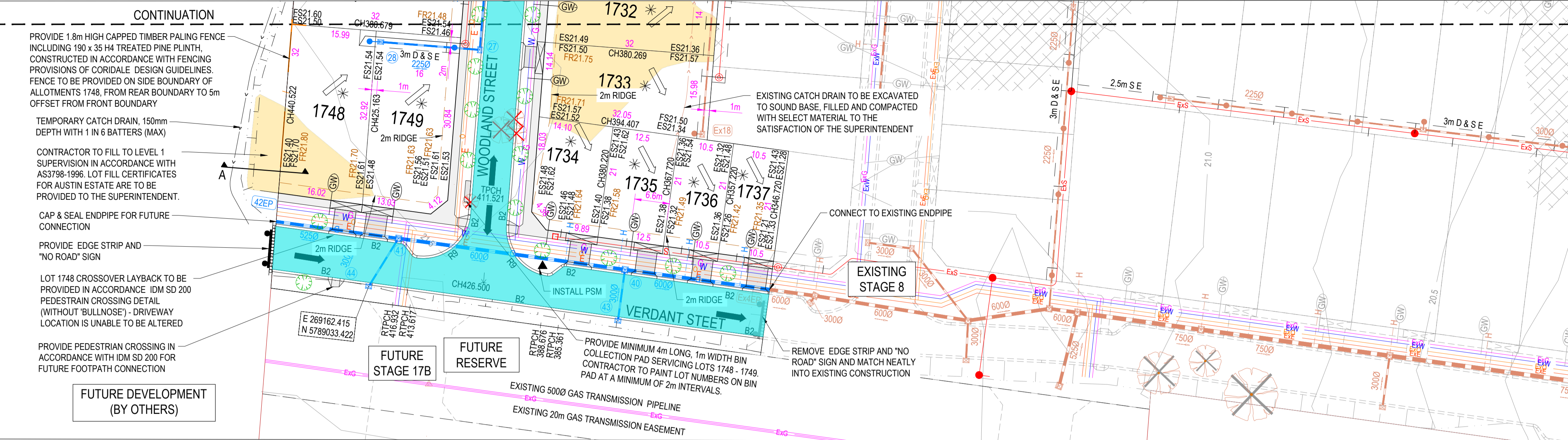
Coridale
LARA

CORIDALE ESTATE - STAGE 17A LAYOUT PLAN - 1
PLANNING PERMIT No: PP-496-2018

AS CONSTRUCTED

SCALE AT A1	DRAWN	DESIGNED
1:500 @ A1	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R200	AC

REFER SHEET R100 FOR CONTINUATION



AS CONSTRUCTED SUBGRADE IMPROVEMENT

- EXCAVATE 200mm BELOW SUBGRADE AND REPLACE WITH CAPPING MATERIAL AS INSTRUCTED BY SUPERINTENDENT.
- EXCAVATE 100mm BELOW SUBGRADE AND REPLACE WITH CAPPING MATERIAL AS INSTRUCTED BY SUPERINTENDENT.

WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES

The locations of underground & overhead services are approximate only & their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works

DIAL 1100 BEFORE YOU DIG
www.1100.com.au

- NOTES:**
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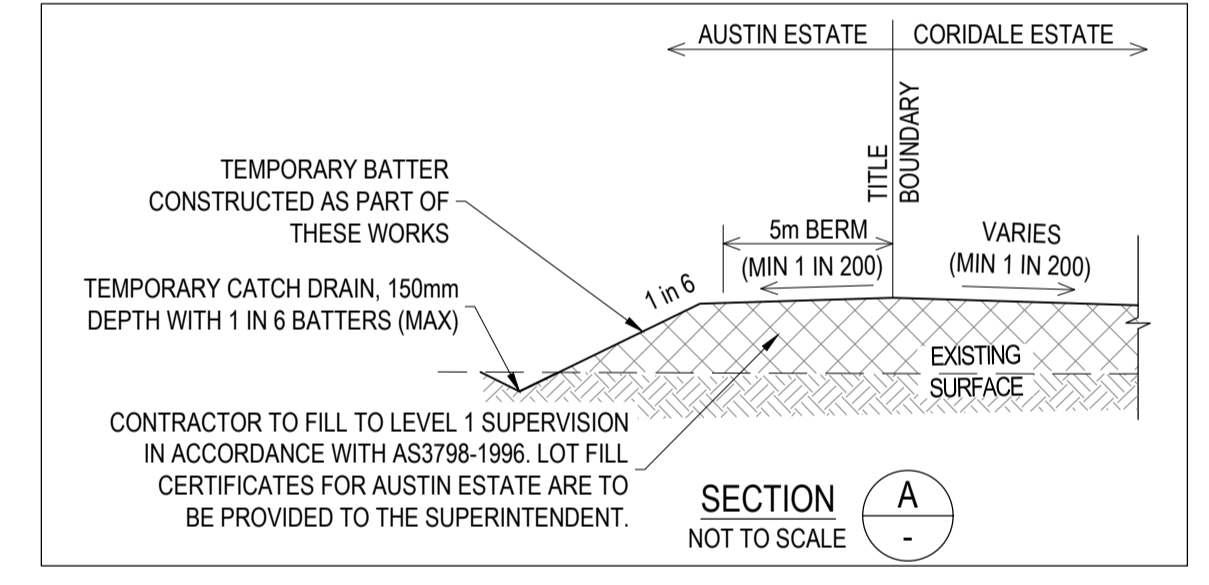
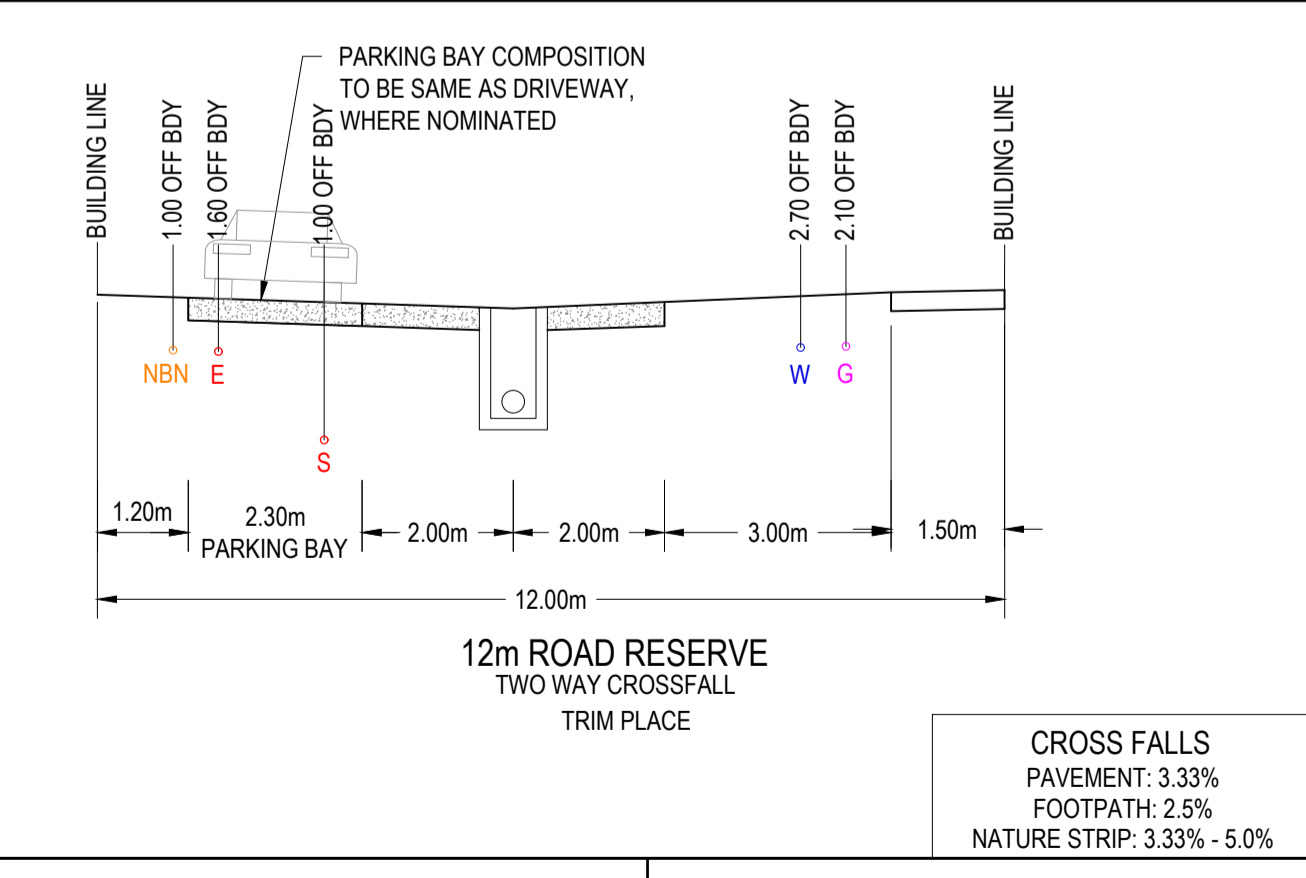
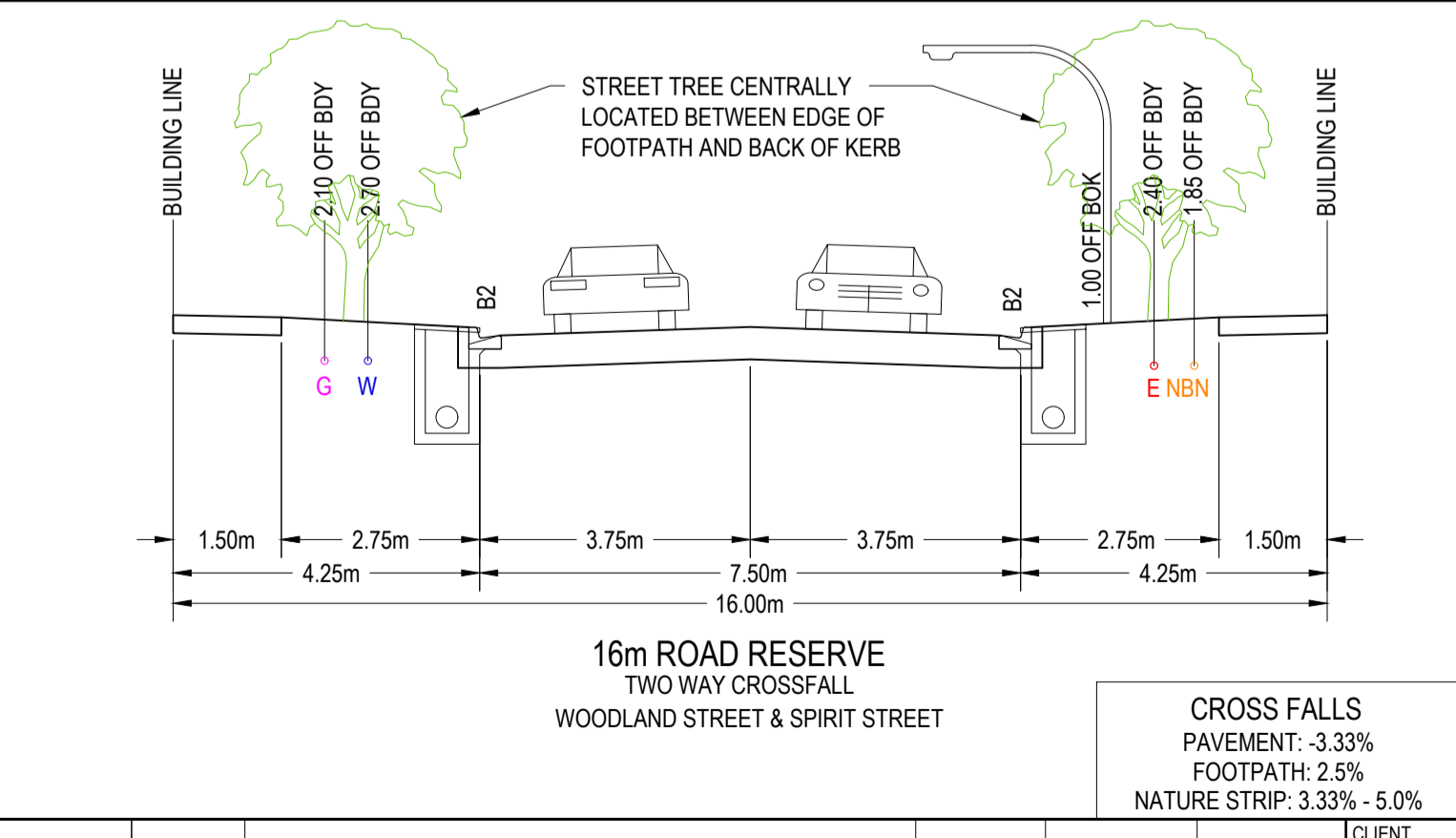
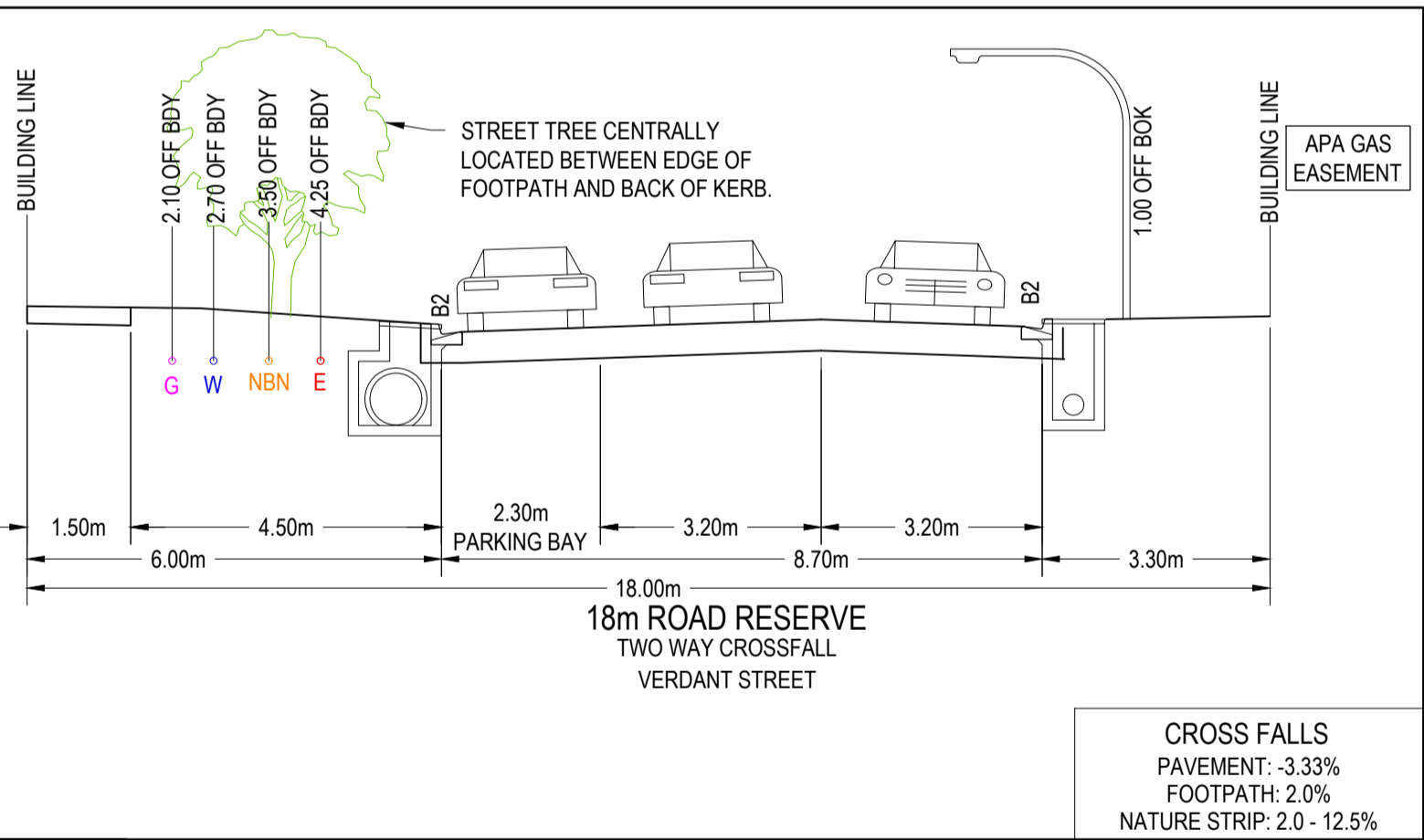
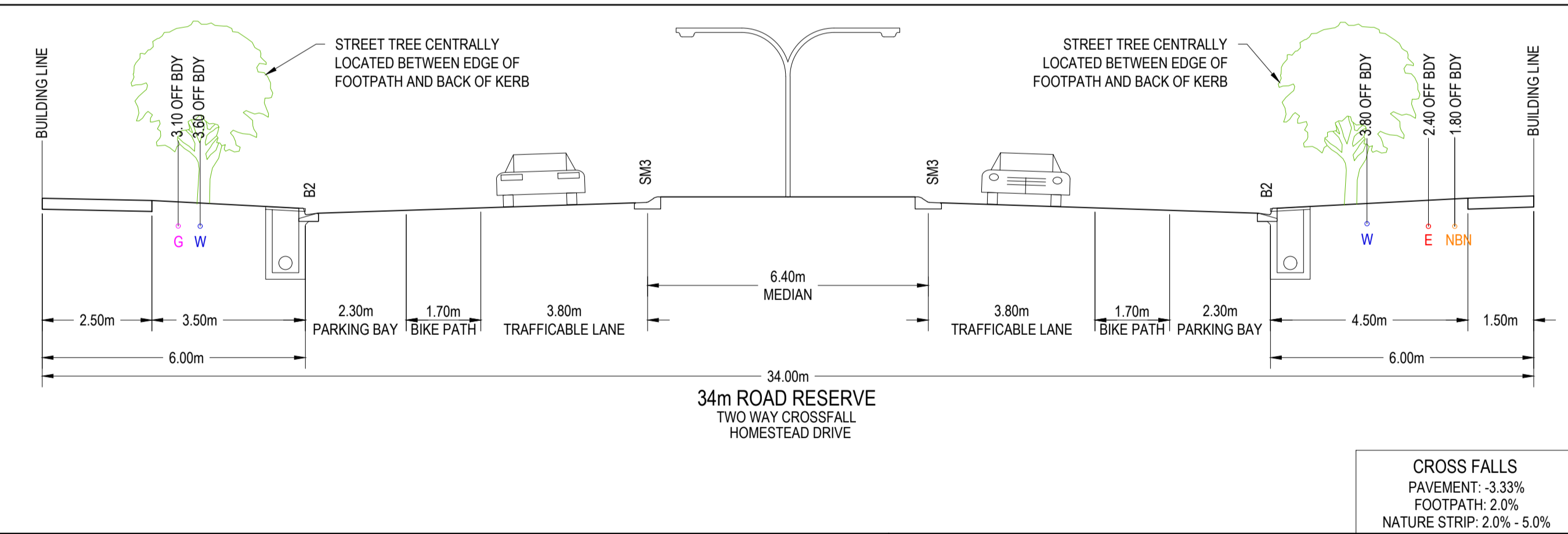
CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

LEGEND - LAYOUT PLAN

- STORMWATER DRAIN, PIT & PROPERTY INLET
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- STORM WATER PIT SETOUT POINT

WARNING
EXISTING 5000 APA GAS TRANSMISSION PIPELINE IN VICINITY OF WORKS. CONTRACTOR TO REFER TO APA CONDITIONS. WRITTEN CONSENT APPROVED FROM APA FOR WORKS WITHIN THE GAS TRANSMISSION EASEMENT

NOTE: STREET TREE LOCATIONS SHOWN ARE INDICATIVE ONLY. ULTIMATE LOCATION IS TO BE PROVIDED/CONFIRMED BY LANDSCAPE ARCHITECTS



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
1	09/08/22	CROSSOVER WIDTH CHANGES	B.LEECH	C.O'LOUGHLIN	C.O'LOUGHLIN
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE



CORIDALE ESTATE - STAGE 17A
LAYOUT PLAN - 2

PLANNING PERMIT No: PP-496-2018

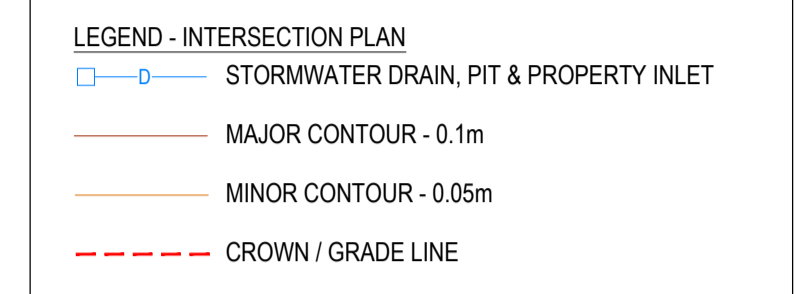
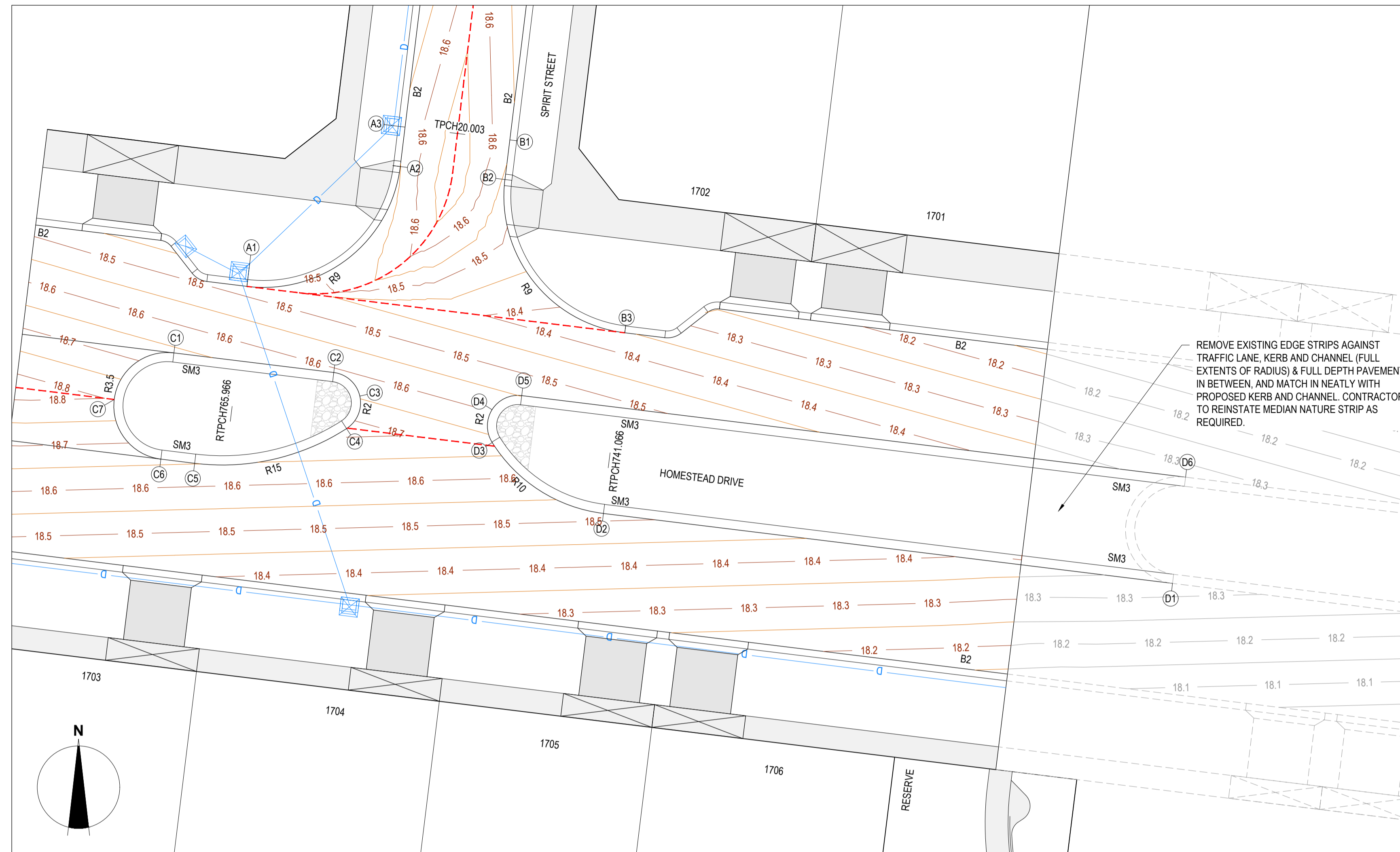
AS CONSTRUCTED

Bradon Leach
SIGNED (CONSULTANT)

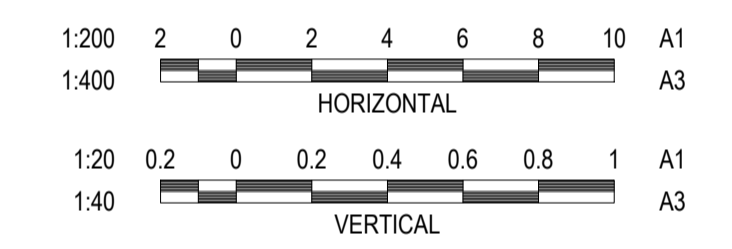
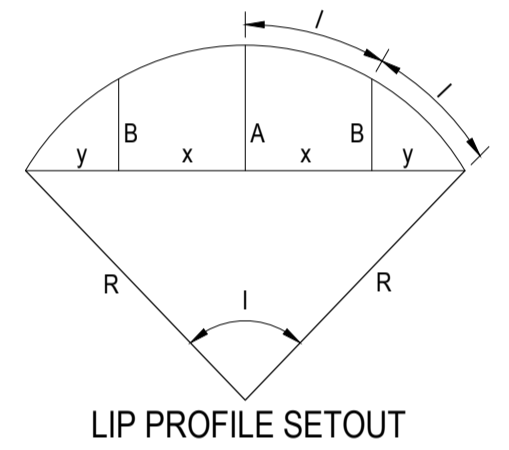
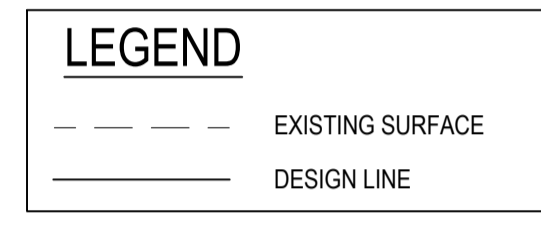
Alm
SIGNED (CONTRACTOR)

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No:	DRAWING No:	REVISION
180014.17A	R201	AC

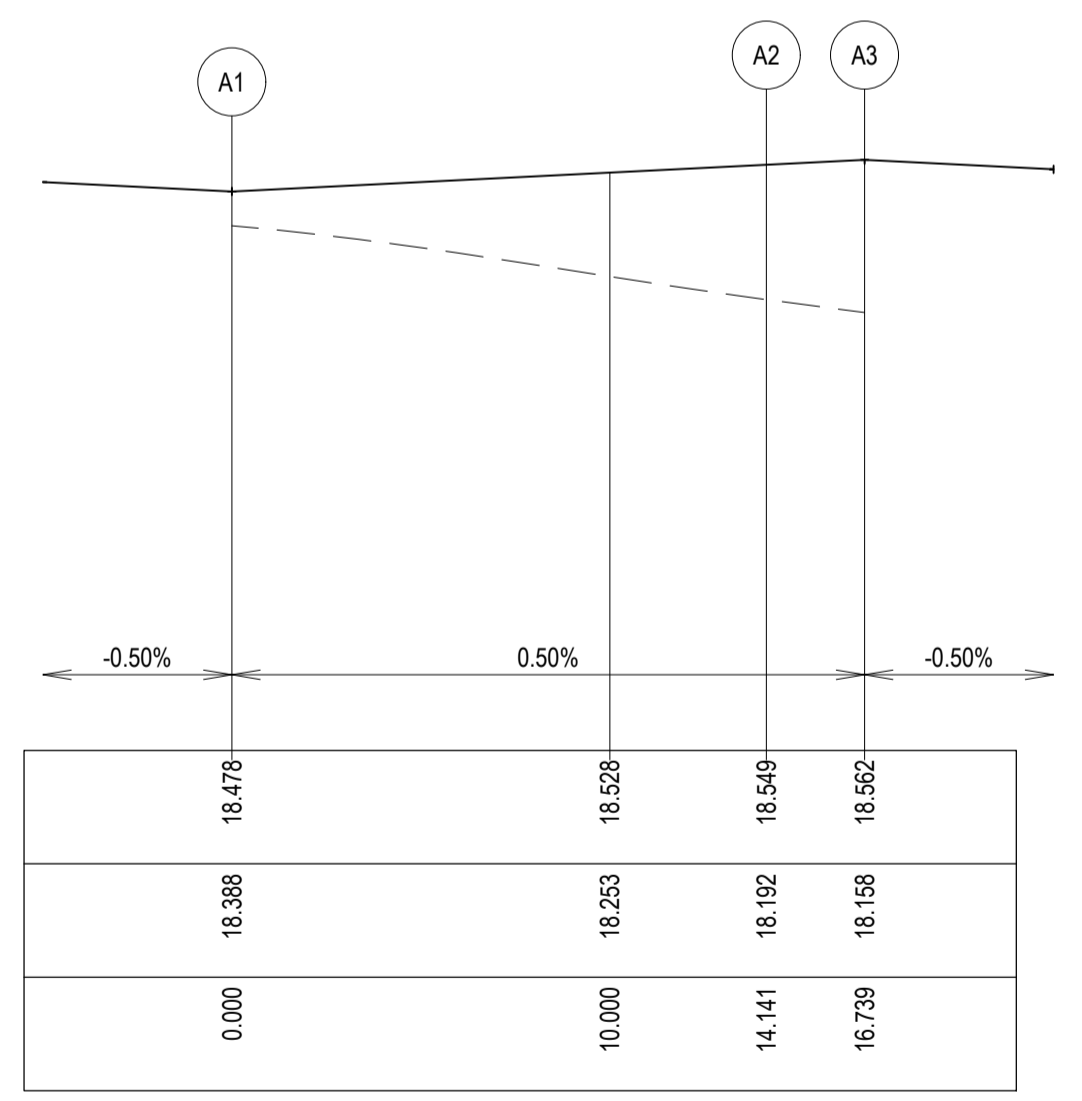
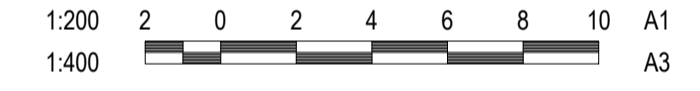
CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL



WARNING
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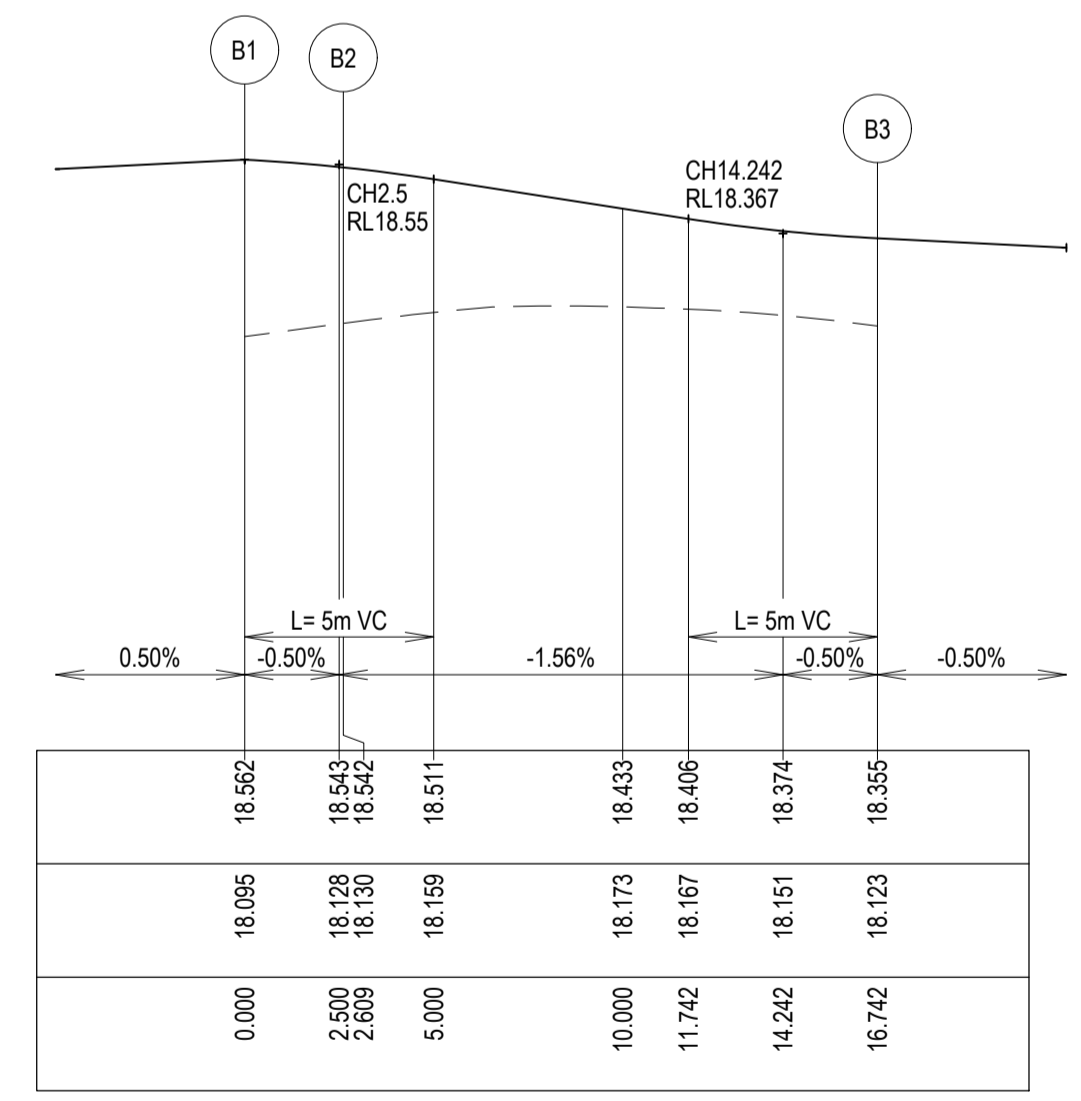
HOMESTEAD DRIVE & SPIRIT STREET INTERSECTION



ALIGNMENT A

PT NO	EASTING	NORTHING	RL
A1	269156.301	5789464.493	18.478
A2	269166.331	5789472.332	18.549
A3	269166.647	5789474.911	18.562

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
A1 - A2	90.025	9	14.141	2.637	1.952	3.445	2.92	3.535	18.514



ALIGNMENT B

PT NO	EASTING	NORTHING	RL
B1	269173.496	5789474.073	18.562
B2	269173.179	5789471.483	18.542
B3	269181.015	5789461.457	18.355

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
B2 - B3	89.975	9	14.133	2.635	1.95	3.443	2.919	3.533	18.438

ALIGNMENT C

PT NO	EASTING	NORTHING	RL
C1	269151.528	5789460.142	18.663
C2	269161.983	5789458.858	18.61
C3	269163.689	5789457.318	18.645
C4	269162.82	5789455.19	18.719
C5	269152.885	5789452.923	18.651
C6	269150.675	5789453.194	18.663
C7	269147.627	5789457.095	18.797

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
C2 - C3	70.142	2	2.448	0.363	0.27	0.603	0.547	0.612	18.617
C3 - C4	70.142	2	2.448	0.363	0.27	0.603	0.547	0.612	18.684
C4 - C5	39.715	15	10.397	0.892	0.667	2.586	2.509	2.599	18.656
C6 - C7	90	3.5	5.498	1.025	0.759	1.339	1.135	1.374	18.709
C7 - C1	90	3.5	5.498	1.025	0.759	1.339	1.135	1.374	18.709

ALIGNMENT D

PT NO	EASTING	NORTHING	RL
D1	269216.834	5789445.068	18.33
D2	269179.619	5789449.639	18.517
D3	269172.348	5789454.281	18.665
D4	269172.336	5789456.425	18.595
D5	269174.274	5789457.348	18.548
D6	269217.688	5789452.015	18.33

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
D2 - D3	51.103	10	8.919	0.978	0.73	2.211	2.102	2.23	18.571
D3 - D4	64.872	2	2.265	0.312	0.232	0.559	0.514	0.566	18.633
D4 - D5	64.872	2	2.265	0.312	0.232	0.559	0.514	0.566	18.564

Bradley
 SIGNED (CONSULTANT)
AM
 SIGNED (CONTRACTOR)

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

villawood properties
 Communities Designed for Living

creo CONSULTANTS
 Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

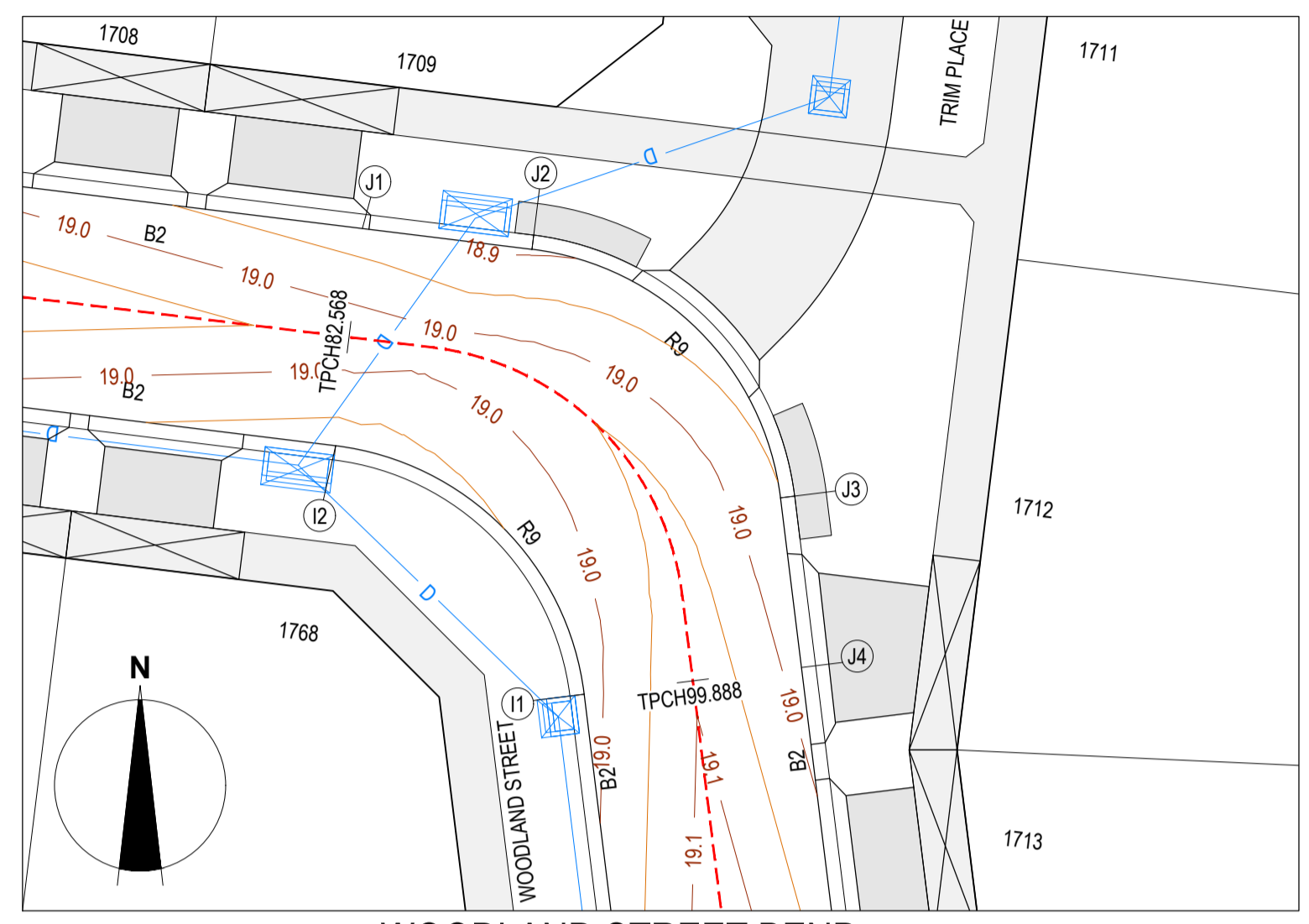
Coridale
 LARA

CORIDALE ESTATE - STAGE 17A
INTERSECTION DETAILS - 1
 PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

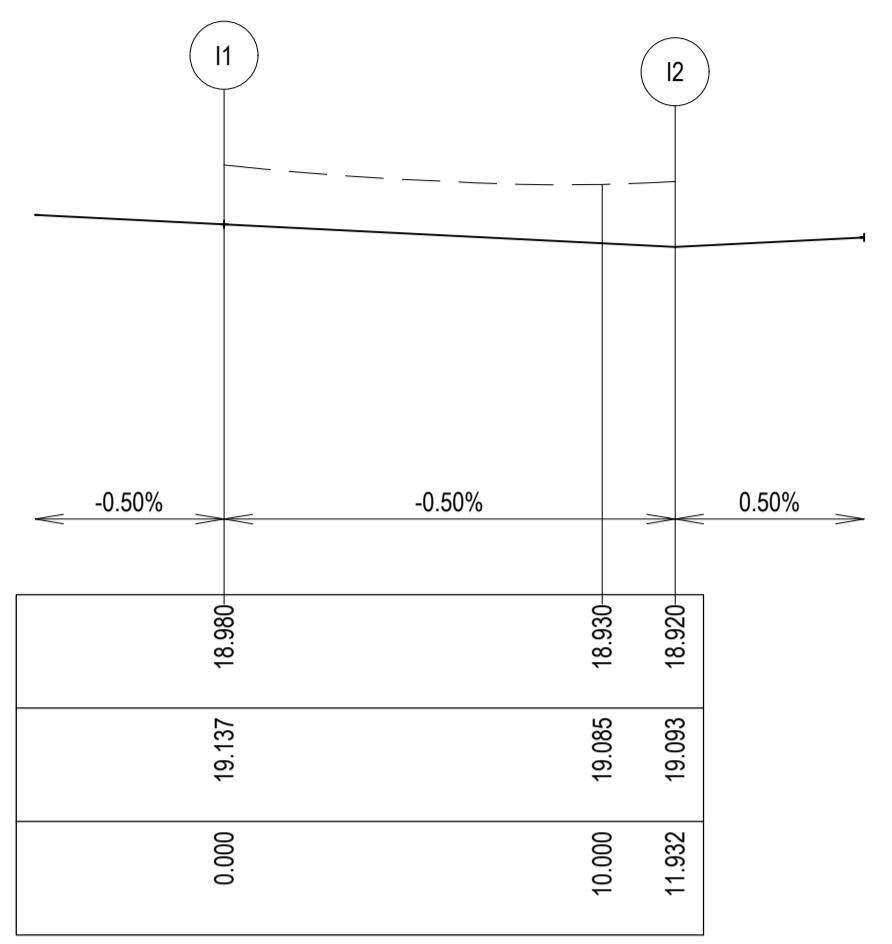
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AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R300	AC

CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL



WOODLAND STREET BEND
 1:200 2 0 2 4 6 8 10 A1
 1:400

VERTICAL GEOMETRY
 DATUM RL18
 DESIGN LEVEL
 EXISTING SURFACE
 CHAINAGE

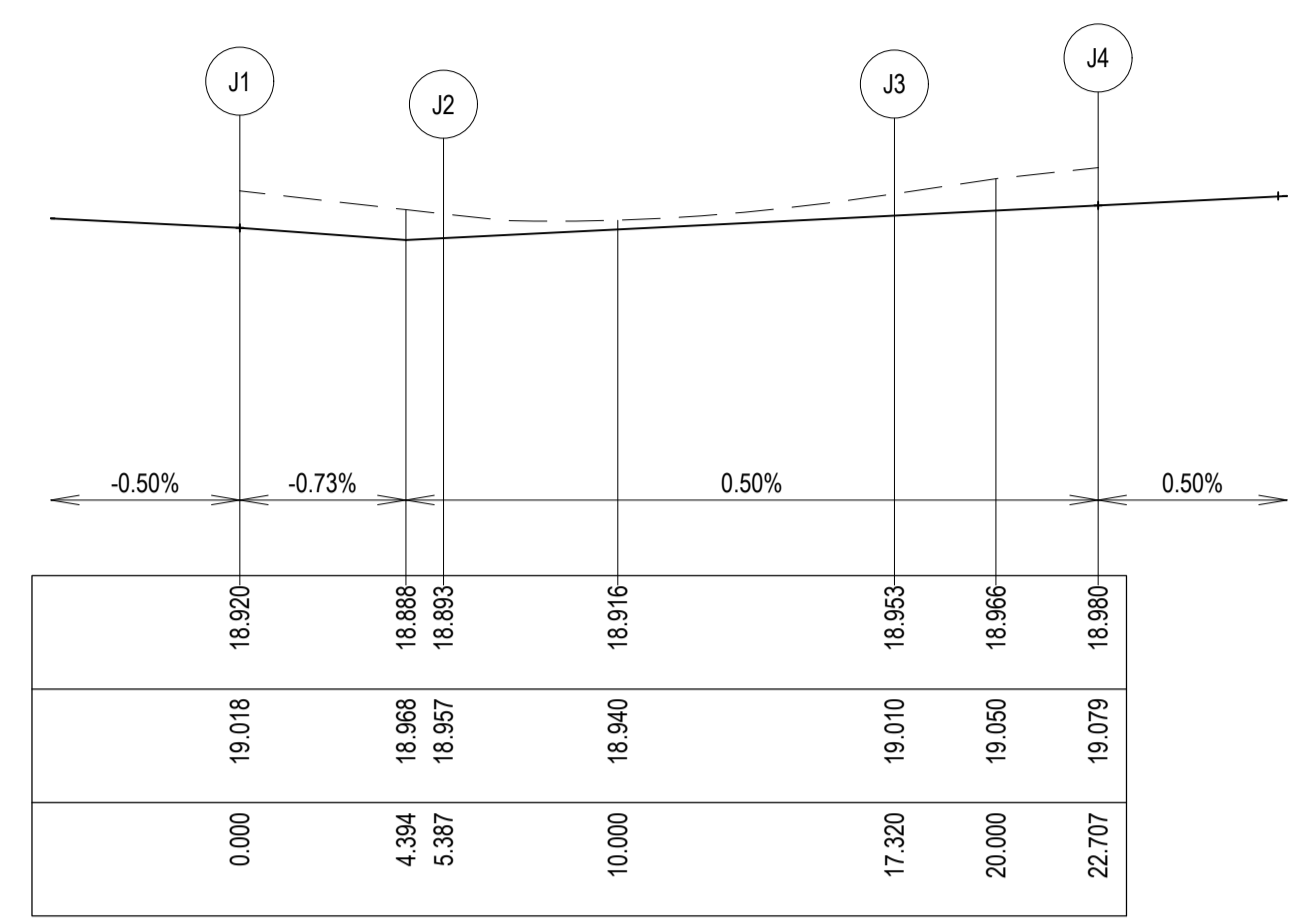


ALIGNMENT I

PT NO	EASTING	NORTHING	RL
I1	269189.606	5789358.978	18.98
I2	269181.771	5789366.809	18.92

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
I1 - I2	75.964	9	11.932	1.906	1.416	2.929	2.61	2.983	18.95

VERTICAL GEOMETRY
 DATUM RL18
 DESIGN LEVEL
 EXISTING SURFACE
 CHAINAGE



ALIGNMENT J

PT NO	EASTING	NORTHING	RL
J1	269182.612	5789373.657	18.92
J2	269187.96	5789373	18.893
J3	269195.795	5789365.169	18.953
J4	269196.454	5789359.823	18.98

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
J2 - J3	75.964	9	11.932	1.906	1.416	2.929	2.61	2.983	18.923

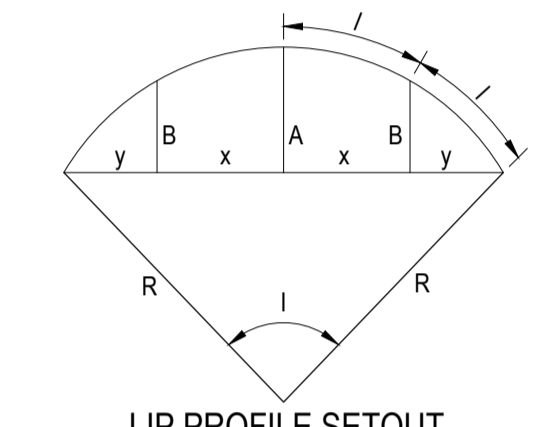
LEGEND - INTERSECTION PLAN

 STORMWATER DRAIN, PIT & PROPERTY INLET
 MAJOR CONTOUR - 0.1m
 MINOR CONTOUR - 0.05m
 CROWN / GRADE LINE

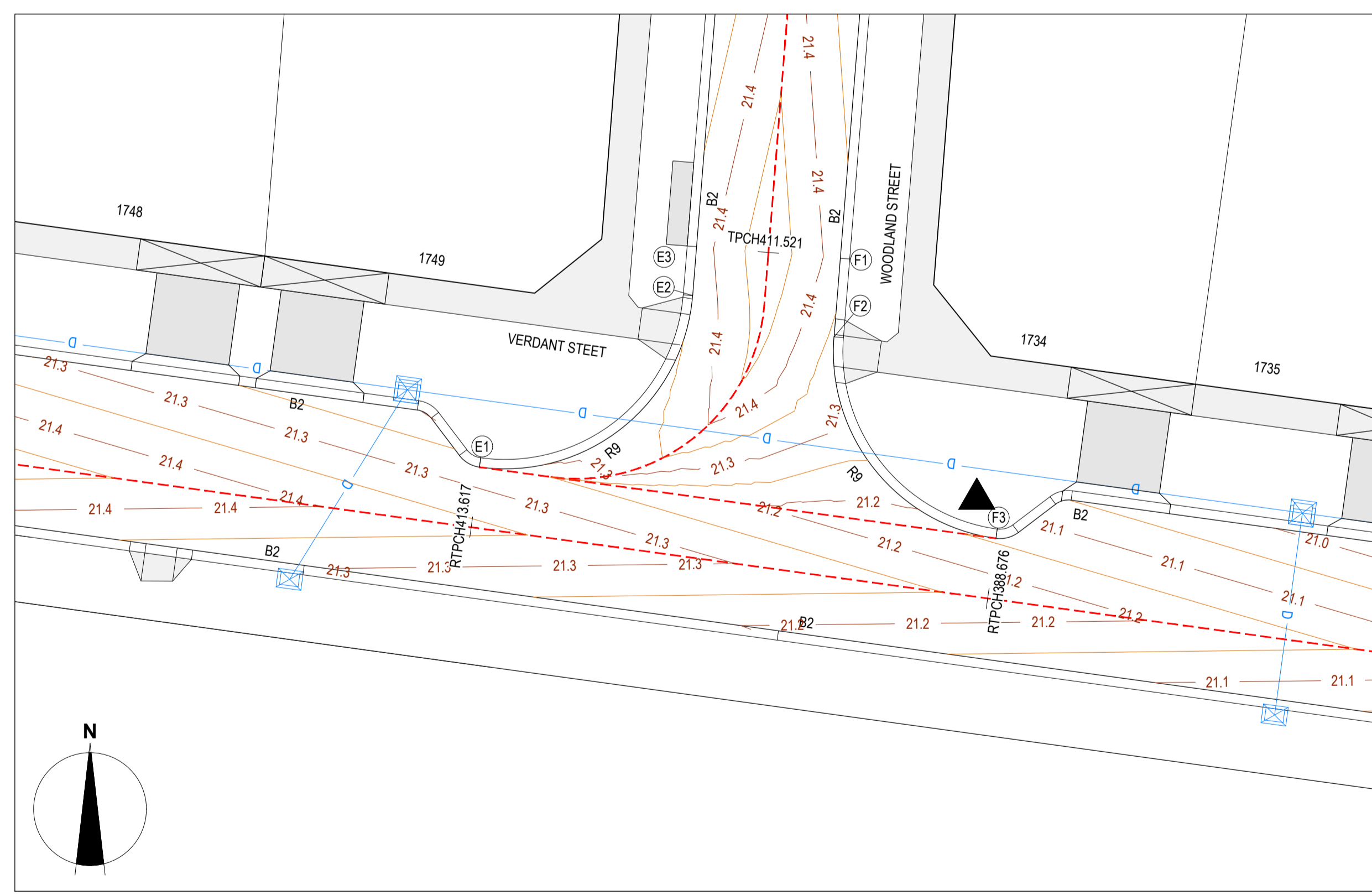
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LEGEND

 EXISTING SURFACE
 DESIGN LINE

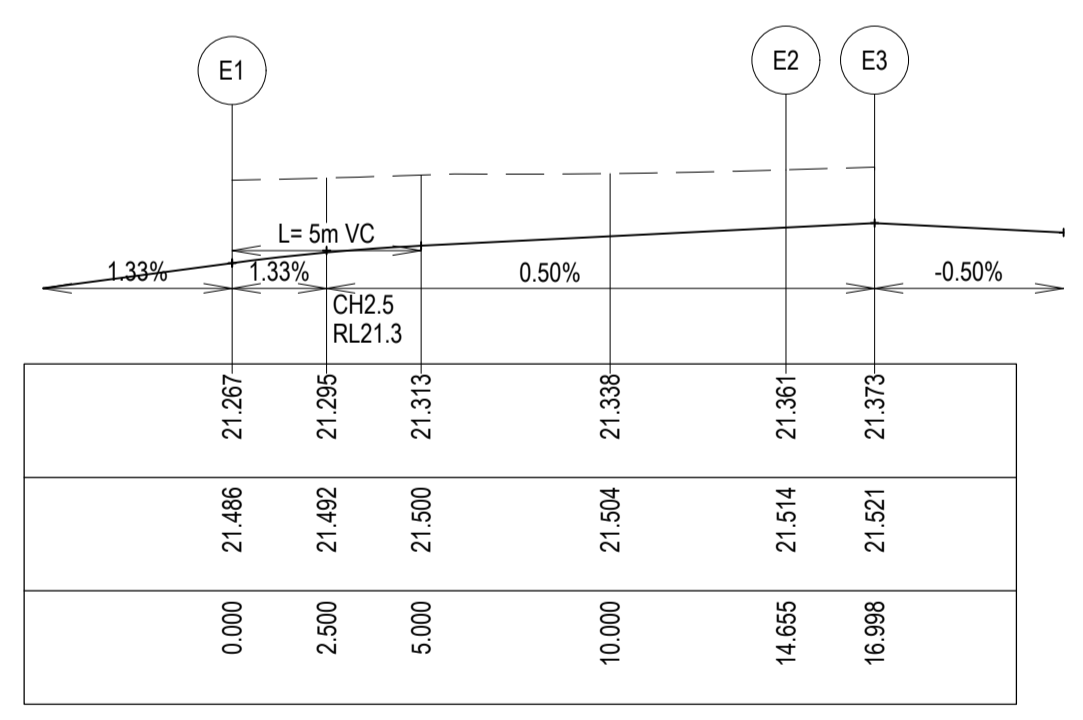


Bradley
 SIGNED (CONSULTANT)
Alm
 SIGNED (CONTRACTOR)



VERDANT STREET & WOODLAND STREET INTERSECTION
 1:200 2 0 2 4 6 8 10 A1
 1:400

VERTICAL GEOMETRY
 DATUM RL21
 DESIGN LEVEL
 EXISTING SURFACE
 CHAINAGE

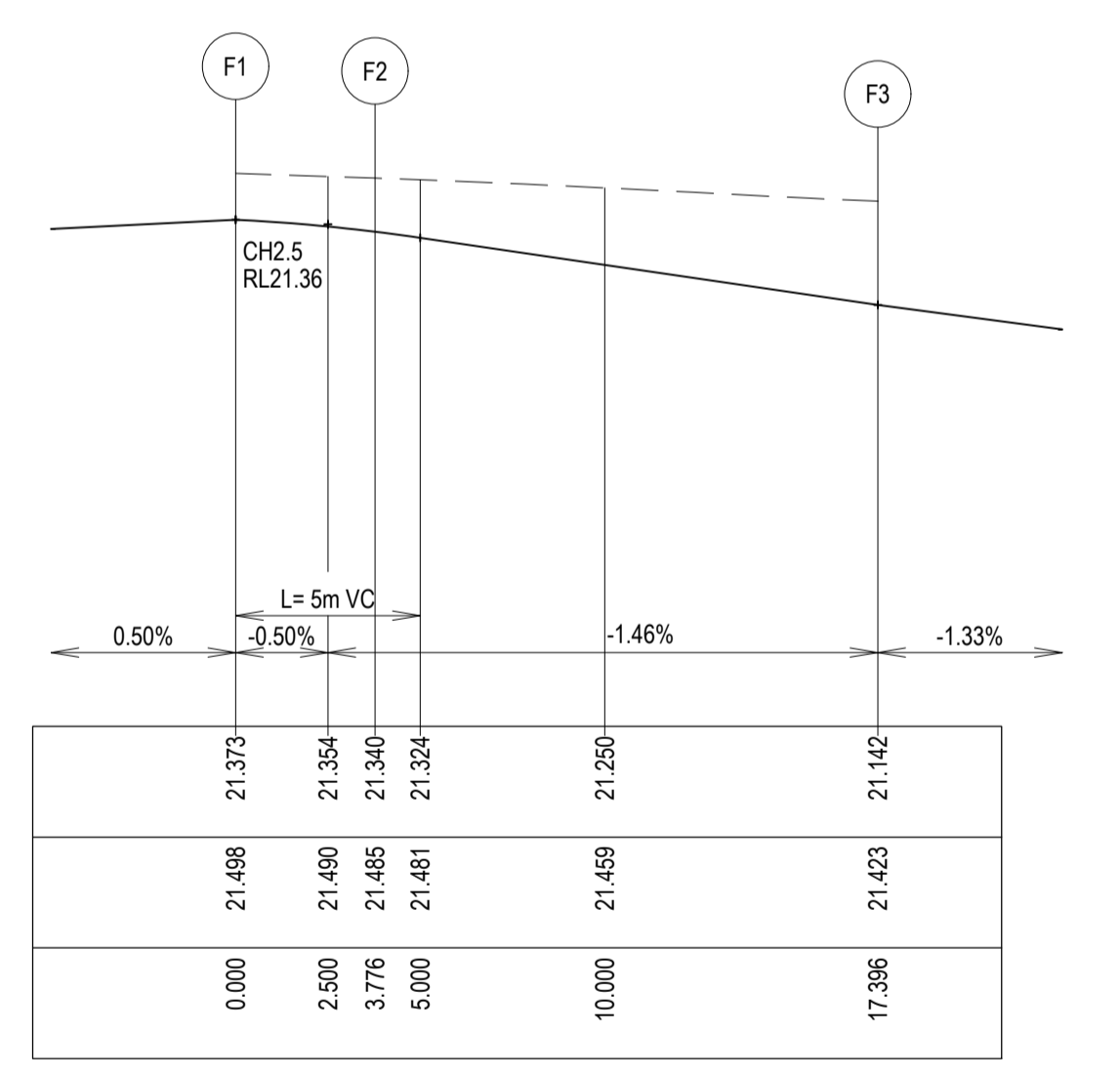


ALIGNMENT E

PT NO	EASTING	NORTHING	RL
E1	269171.493	5789038.784	21.267
E2	269181.693	5789046.986	21.361
E3	269181.878	5789049.322	21.373

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
E1 - E2	93.294	9	14.655	2.822	2.086	3.563	2.981	3.664	21.324

VERTICAL GEOMETRY
 DATUM RL20
 DESIGN LEVEL
 EXISTING SURFACE
 CHAINAGE



ALIGNMENT F

PT NO	EASTING	NORTHING	RL
F1	269188.757	5789048.775	21.373
F2	269188.457	5789045.01	21.34
F3	269196.201	5789035.381	21.142

CURVE NO	I	RAD.	ARC	A	B	X	Y	I	MID POINT RL
F2 - F3	86.706	9	13.62	2.456	1.819	3.324	2.854	3.405	21.242

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

CLIENT

Communities Designed for Living

PROJECT

Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

PROJECT

LARA

DRAWING TITLE

**CORIDALE ESTATE - STAGE 17A
 INTERSECTION DETAILS - 2**

PLANNING PERMIT No: PP-496-2018

STATUS

**ISSUED FOR
 CONSTRUCTION**

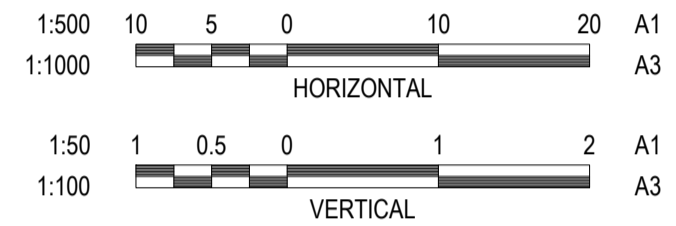
SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No:	DRAWING No:	REVISION
180014.17A	R301	AC

CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

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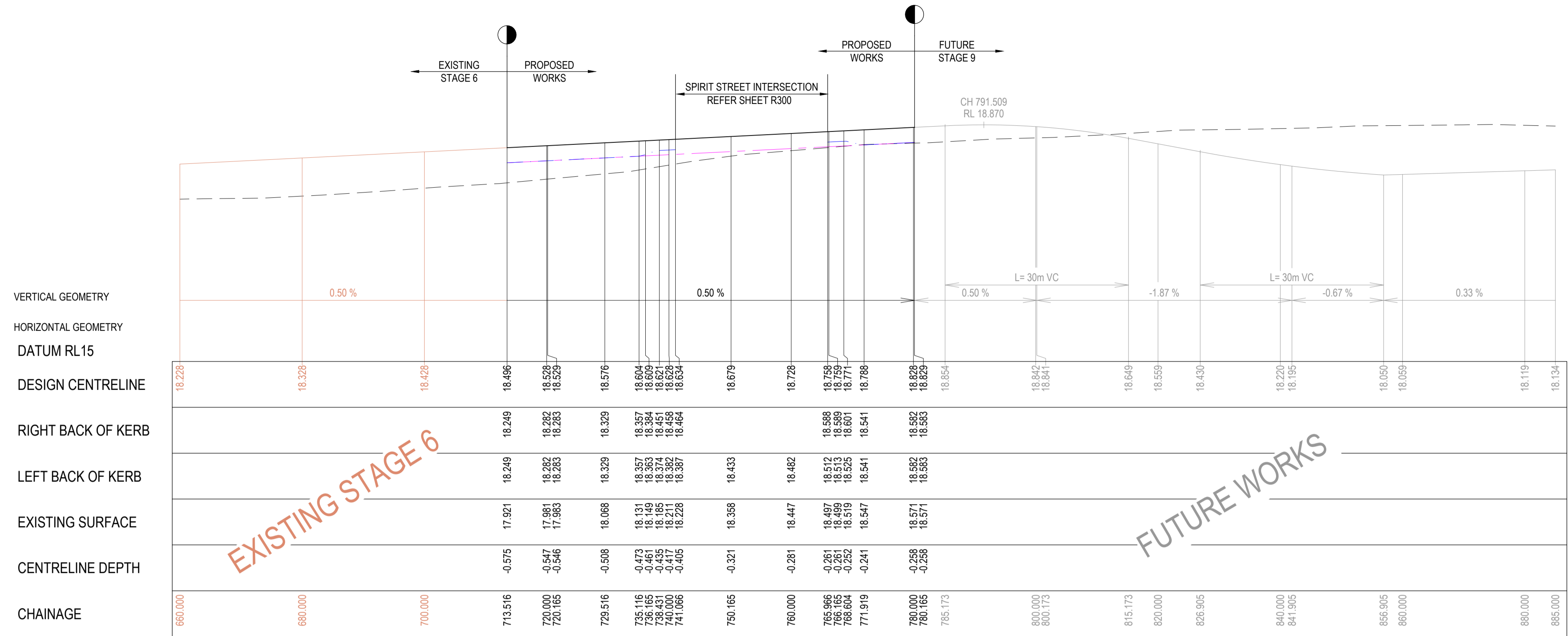
LEGEND

	EXISTING SURFACE
	DESIGN LINE
	LEFT BACK OF KERB
	RIGHT BACK OF KERB



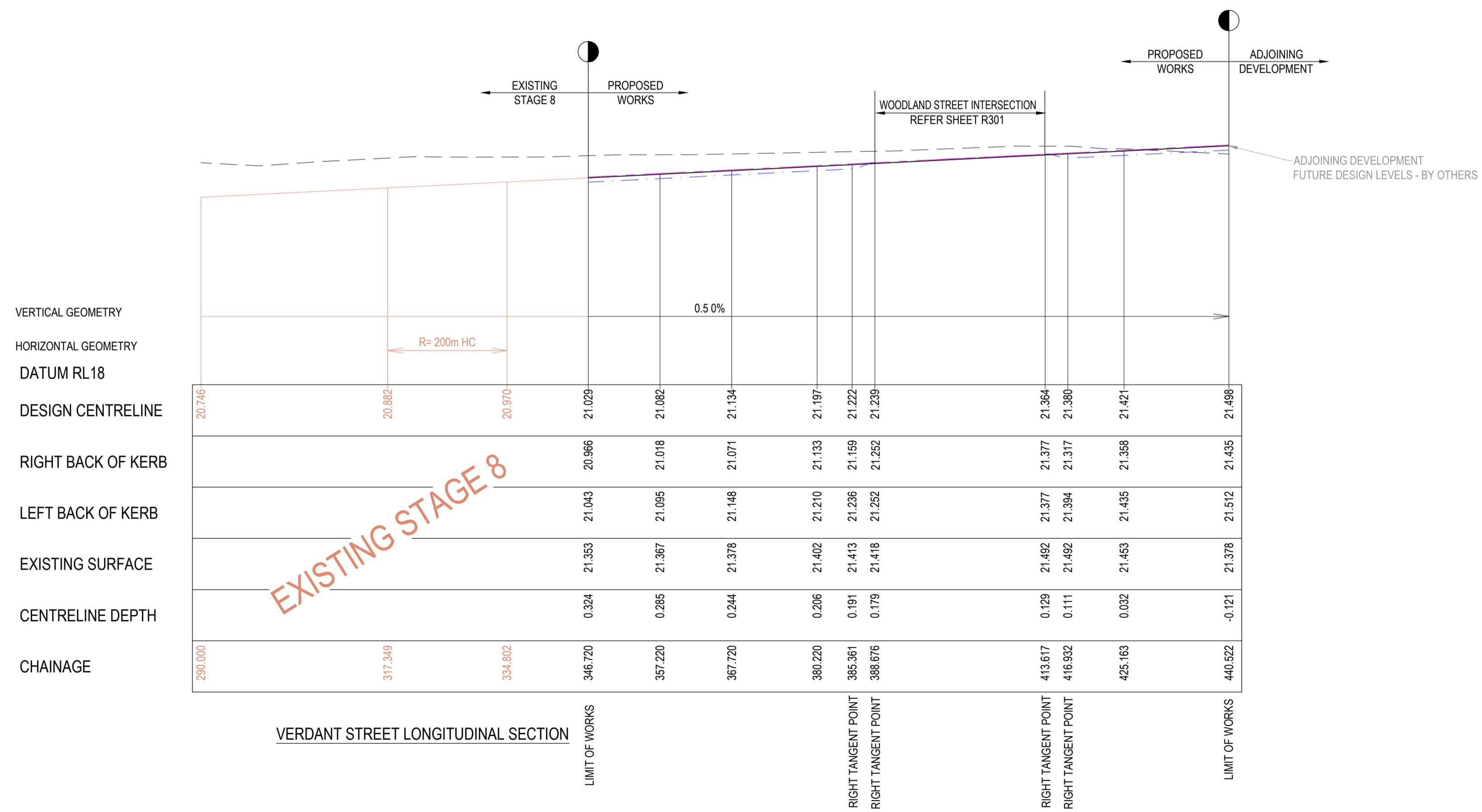
Bradley
 SIGNED (CONSULTANT)

AM
 SIGNED (CONTRACTOR)



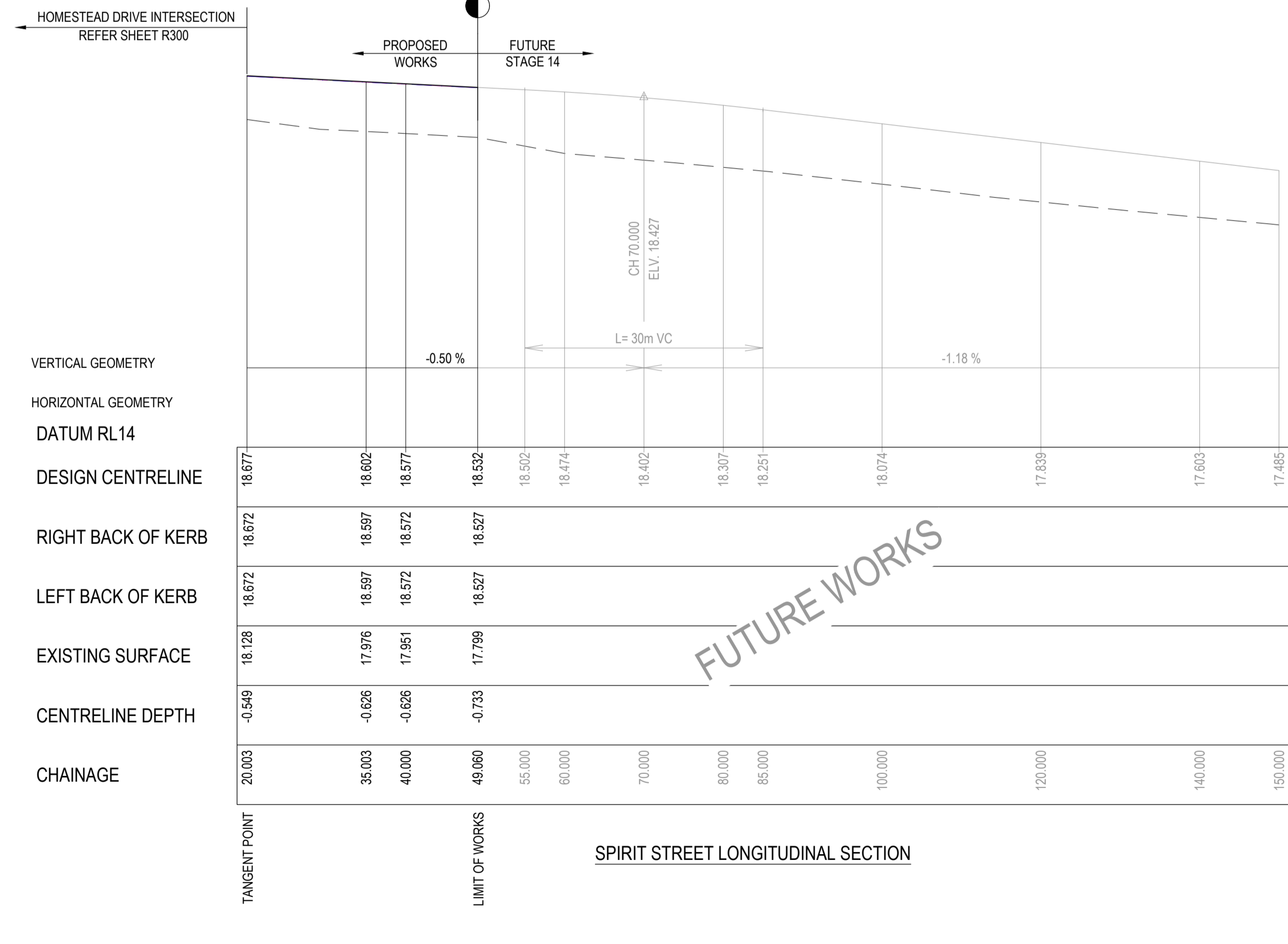
VERTICAL GEOMETRY	HORIZONTAL GEOMETRY	DATUM RL15	DESIGN CENTRELINE	RIGHT BACK OF KERB	LEFT BACK OF KERB	EXISTING SURFACE	CENTRELINE DEPTH	CHAINAGE
0.50 %		18.228	18.228	18.249	18.249	17.921	-0.328	660.000
		18.328	18.328	18.282	18.282	17.981	-0.347	680.000
		18.428	18.428	18.283	18.283	17.983	-0.445	700.000
		18.496	18.496	18.329	18.329	18.068	-0.427	713.516
		18.528	18.528	18.357	18.357	18.131	-0.371	720.000
		18.529	18.529	18.364	18.364	18.149	-0.415	720.165
		18.576	18.576	18.374	18.374	18.219	-0.417	729.516
		18.604	18.604	18.387	18.387	18.228	-0.405	735.116
		18.609	18.609	18.392	18.392	18.228	-0.461	736.165
		18.628	18.628	18.394	18.394	18.228	-0.281	736.165
		18.634	18.634	18.401	18.401	18.228	-0.252	740.000
		18.679	18.679	18.433	18.433	18.358	-0.241	750.165
		18.728	18.728	18.447	18.447	18.447	-0.258	760.000
		18.758	18.758	18.512	18.512	18.497	-0.258	765.165
		18.759	18.759	18.512	18.512	18.497	-0.258	765.165
		18.771	18.771	18.501	18.501	18.519	-0.241	768.604
		18.788	18.788	18.541	18.541	18.547	-0.258	771.919
		18.828	18.828	18.582	18.582	18.571	-0.258	780.000
		18.829	18.829	18.583	18.583	18.571	-0.258	780.165
		18.854	18.854	18.582	18.582	18.571	-0.258	785.173
		18.882	18.882	18.582	18.582	18.571	-0.258	800.000
		18.884	18.884	18.582	18.582	18.571	-0.258	800.173
		18.649	18.649	18.559	18.559	18.559	-0.258	815.173
		18.559	18.559	18.430	18.430	18.430	-0.258	820.000
		18.430	18.430	18.220	18.220	18.195	-0.258	826.905
		18.220	18.220	18.195	18.195	18.195	-0.258	840.000
		18.195	18.195	18.059	18.059	18.059	-0.258	841.905
		18.059	18.059	18.119	18.119	18.119	-0.258	856.905
		18.059	18.059	18.119	18.119	18.119	-0.258	860.000
		18.119	18.119	18.134	18.134	18.134	-0.258	885.000
		18.134	18.134				-0.258	885.000

HOMESTEAD DRIVE LONGITUDINAL SECTION



VERTICAL GEOMETRY	HORIZONTAL GEOMETRY	DATUM RL18	DESIGN CENTRELINE	RIGHT BACK OF KERB	LEFT BACK OF KERB	EXISTING SURFACE	CENTRELINE DEPTH	CHAINAGE
0.50 %	R=200m HC	20.746	20.746	20.966	20.966	21.029	0.283	290.000
		20.882	20.882	21.043	21.043	21.383	0.501	317.349
		20.970	20.970	21.085	21.085	21.367	0.392	334.802
		21.029	21.029	21.133	21.133	21.402	0.373	346.720
		21.082	21.082	21.148	21.148	21.378	0.230	357.220
		21.134	21.134	21.210	21.210	21.418	0.286	367.220
		21.197	21.197	21.252	21.252	21.418	0.220	380.220
		21.222	21.222	21.317	21.317	21.492	0.275	385.361
		21.239	21.239	21.377	21.377	21.492	0.211	388.676
		21.364	21.364	21.435	21.435	21.463	0.028	413.617
		21.380	21.380	21.452	21.452	21.463	0.028	416.932
		21.421	21.421	21.452	21.452	21.463	0.028	425.163
		21.498	21.498	21.512	21.512	21.378	-0.121	440.522

VERDANT STREET LONGITUDINAL SECTION



VERTICAL GEOMETRY	HORIZONTAL GEOMETRY	DATUM RL14	DESIGN CENTRELINE	RIGHT BACK OF KERB	LEFT BACK OF KERB	EXISTING SURFACE	CENTRELINE DEPTH	CHAINAGE
-0.50 %		18.672	18.672	18.527	18.527	18.128	-0.544	20.003
		18.602	18.602	18.597	18.597	17.976	-0.626	35.003
		18.577	18.577	18.572	18.572	17.951	-0.626	40.000
		18.532	18.532	18.527	18.527	17.799	-0.733	49.060
		18.502	18.502	18.502	18.502	17.799	-0.703	55.000
		18.474	18.474	18.474	18.474	17.799	-0.685	60.000
		18.402	18.402	18.402	18.402	17.799	-0.604	70.000
		18.307	18.307	18.307	18.307	17.799	-0.508	80.000
		18.251	18.251	18.251	18.251	17.799	-0.452	85.000
		18.074	18.074	18.074	18.074	17.799	-0.275	100.000
		17.839	17.839	17.839	17.839	17.799	-0.040	120.000
		17.603	17.603	17.603	17.603	17.799	0.196	140.000
		17.485	17.485	17.485	17.485	17.799	0.314	150.000

SPIRIT STREET LONGITUDINAL SECTION

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

villawood
 properties
 Communities Designed for Living

creo
 CONSULTANTS
 Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

Coridale
 LARA

CORIDALE ESTATE - STAGE 17A
ROAD LONGITUDINAL SECTIONS - 1
 PLANNING PERMIT No: PP-496-2018

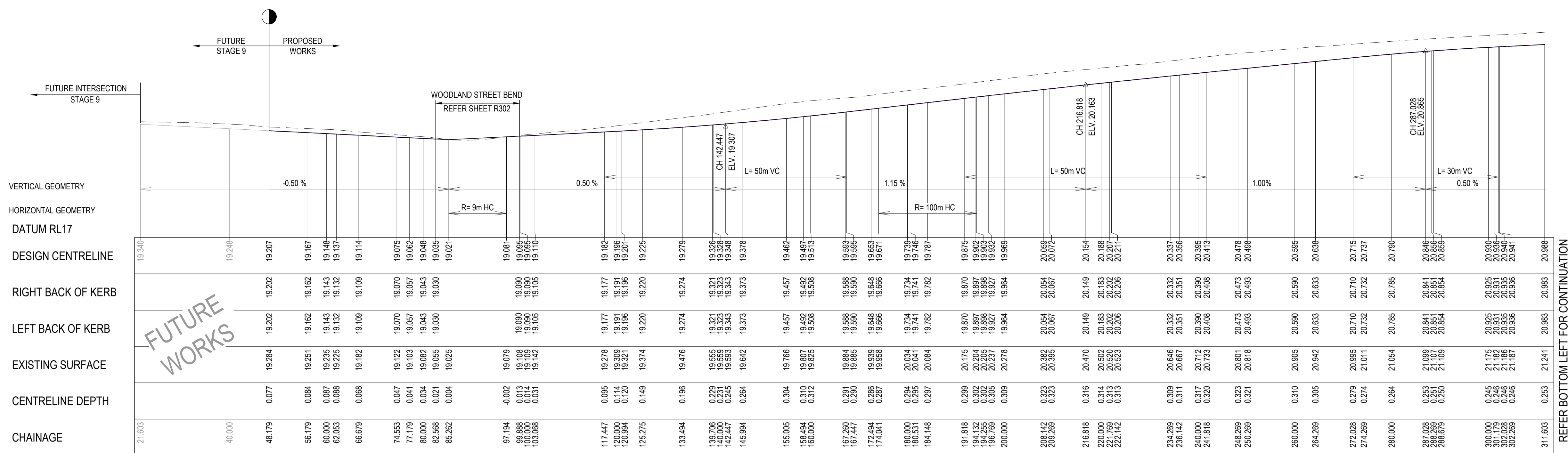
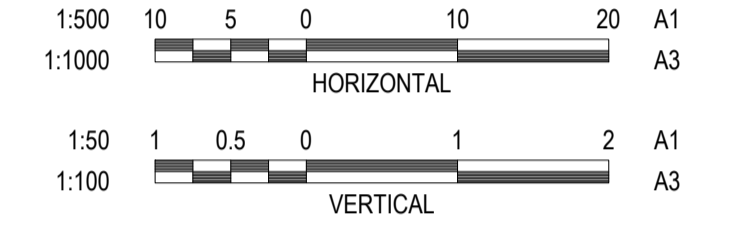
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R400	AC

CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

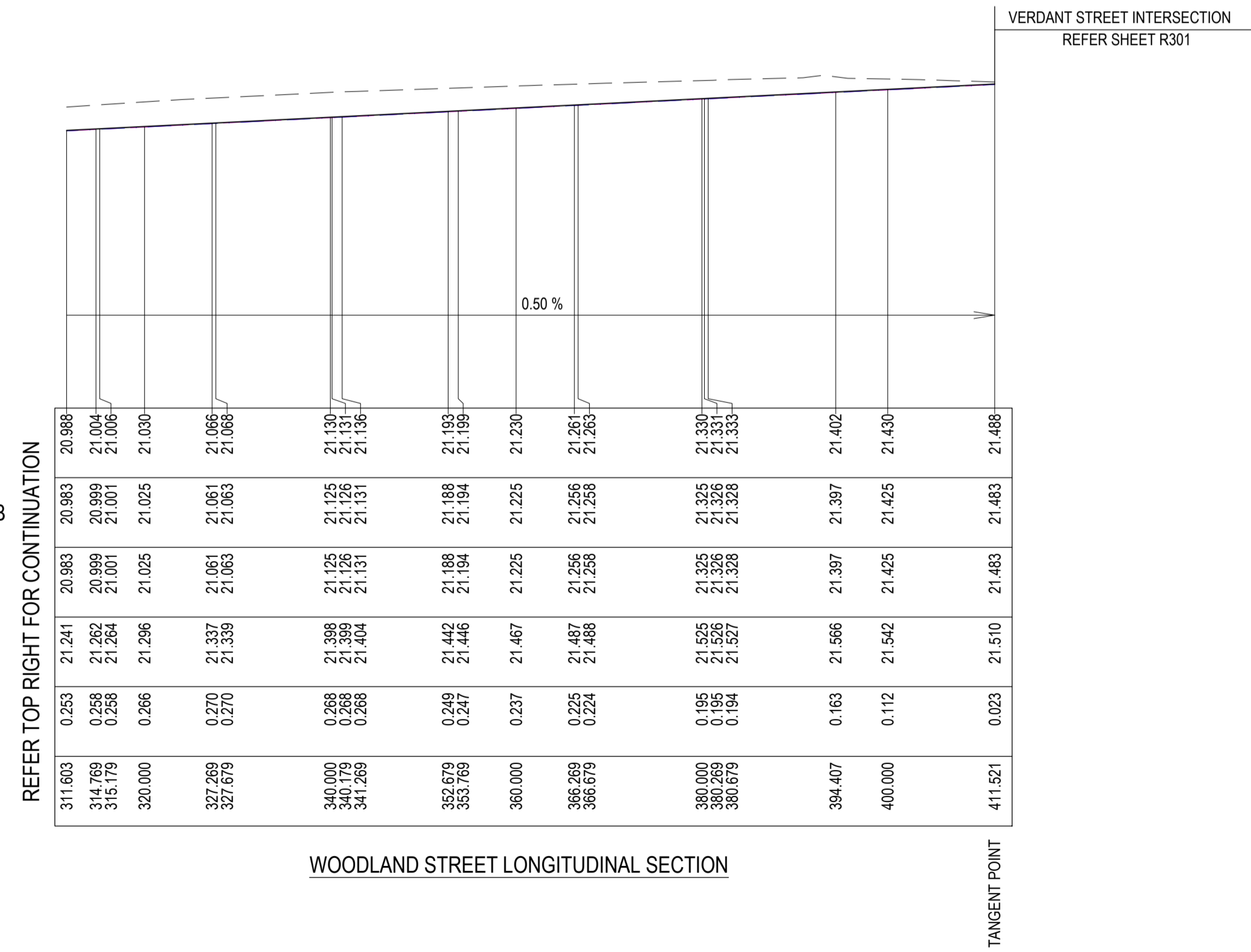
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LEGEND
 - - - - - EXISTING SURFACE
 ———— DESIGN LINE
 - - - - - LEFT BACK OF KERB
 - - - - - RIGHT BACK OF KERB



FUTURE WORKS

WOODLAND STREET LONGITUDINAL SECTION



WOODLAND STREET LONGITUDINAL SECTION

Bradon Leach
 SIGNED (CONSULTANT)
Alan
 SIGNED (CONTRACTOR)

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
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 properties
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 Geelong, VIC, Australia 3220

Coridale
 LARA

CORIDALE ESTATE - STAGE 17A
ROAD LONGITUDINAL SECTIONS - 2
 PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No:	DRAWING No:	REVISION
180014.17A	R401	AC

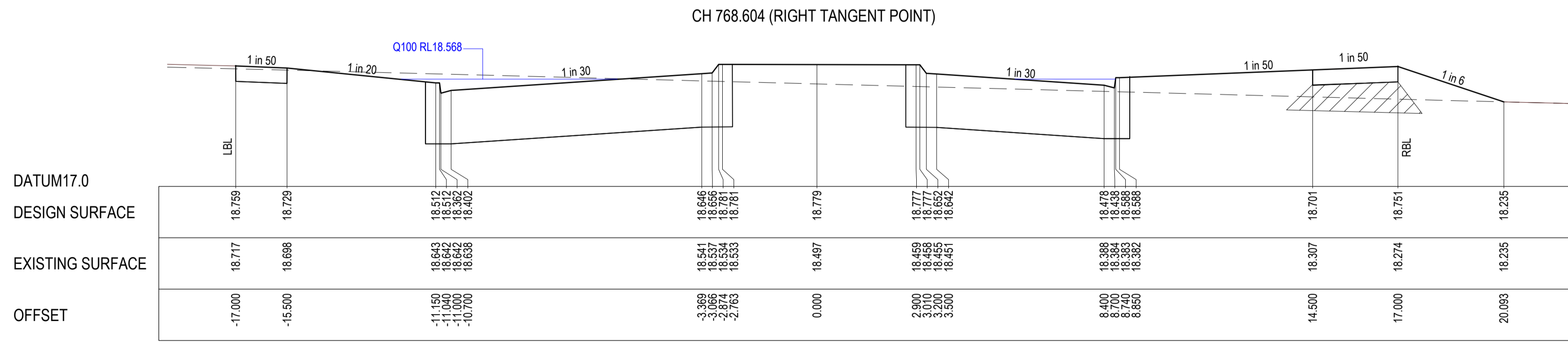
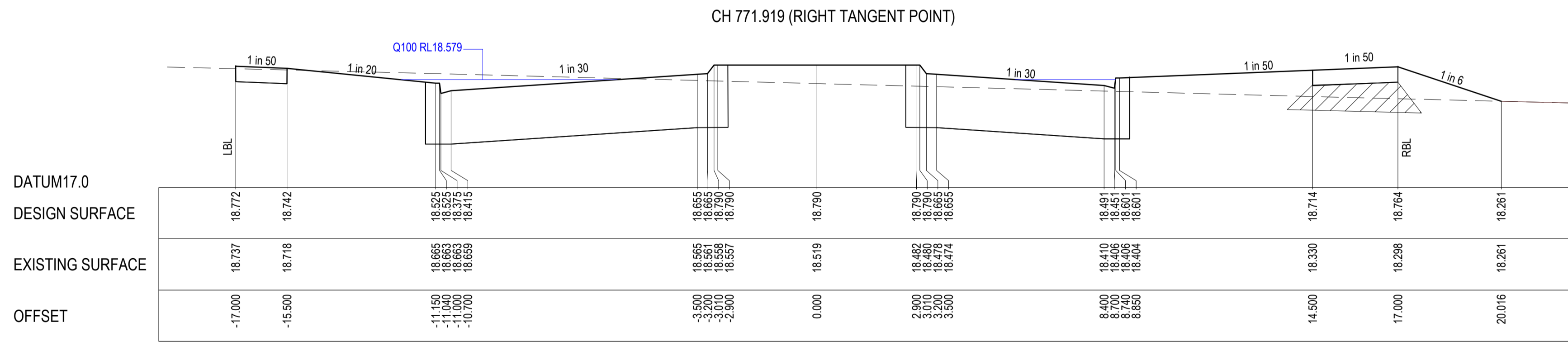
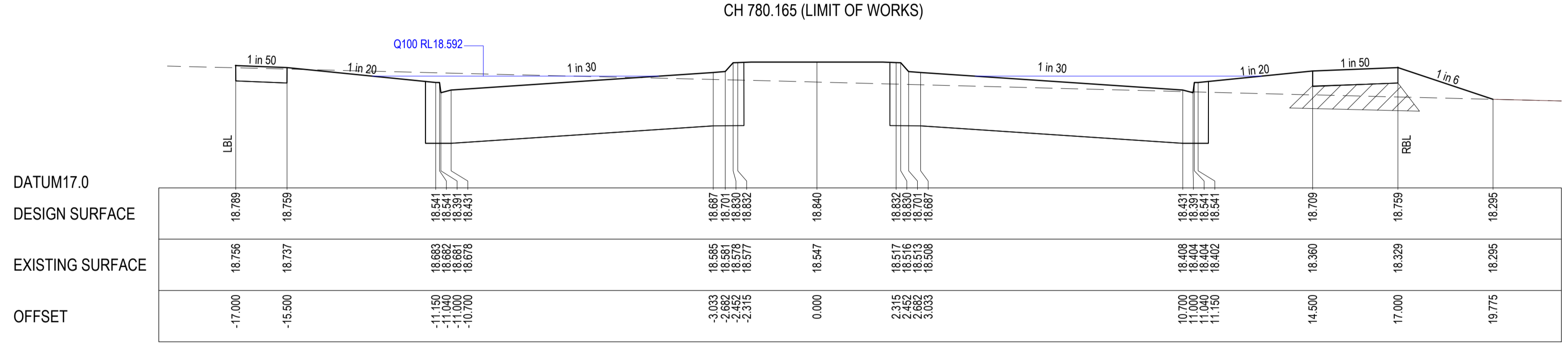
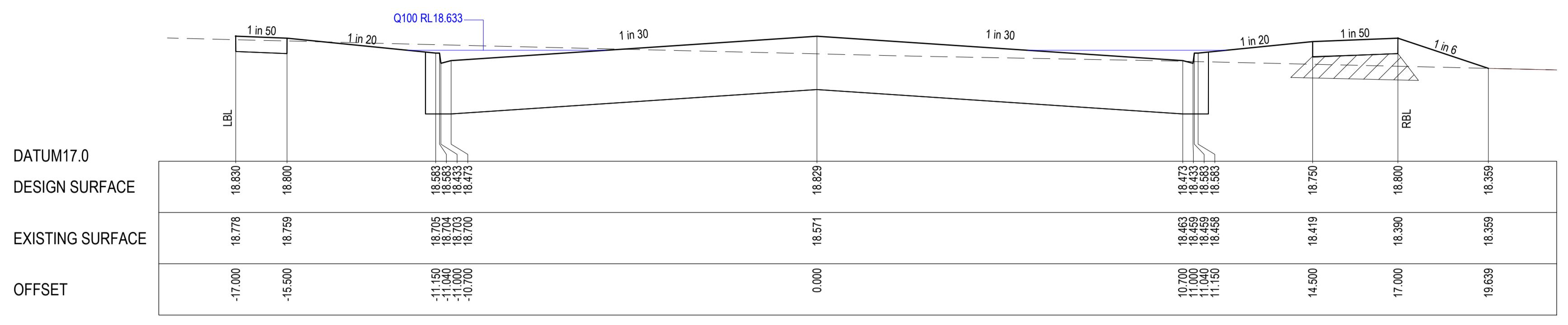
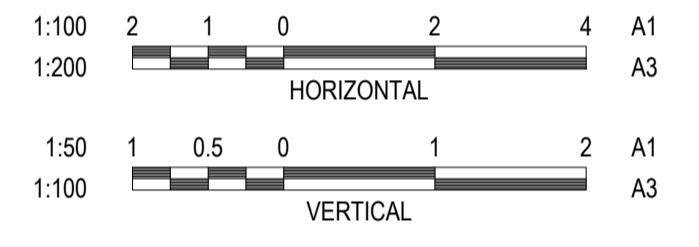
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LEGEND

- EXISTING SURFACE
- DESIGN LINE
- Q100 LEVEL
- ▨ SELECT FILL

NOTE:
 "SELECT FILL" EXTENDING 200mm BELOW NATURAL SURFACE REQUIRED UNDER ALL PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. SELECT FILL IS TO BE TO LEVEL 1 STANDARD AND IN ACCORDANCE WITH SECTION 7.4 OF "REPORT ON GEOTECHNICAL INVESTIGATION CORIDALE ESTATE" PREPARED BY DOUGLAS PARTNERS (FILE NAME: 87082.00.R.001.REV0, DATED 17/01/2020).



Bradley
 SIGNED (CONSULTANT)
A.M.
 SIGNED (CONTRACTOR)

P:\2018\18014_205-245 CHALLOWAYS RD_LARA\18014_17\CIVIL\2_DRAFTING\CAD\18014_17_1800 - ROAD CROSS SECTIONS.DWG

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

villawood
 properties
 Communities Designed for Living

creo
 CONSULTANTS
 Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

Coridale
 LARA

CORIDALE ESTATE - STAGE 17A
ROAD CROSS SECTIONS - 2
HOMESTEAD DRIVE - SHEET 2
 PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R501	AC

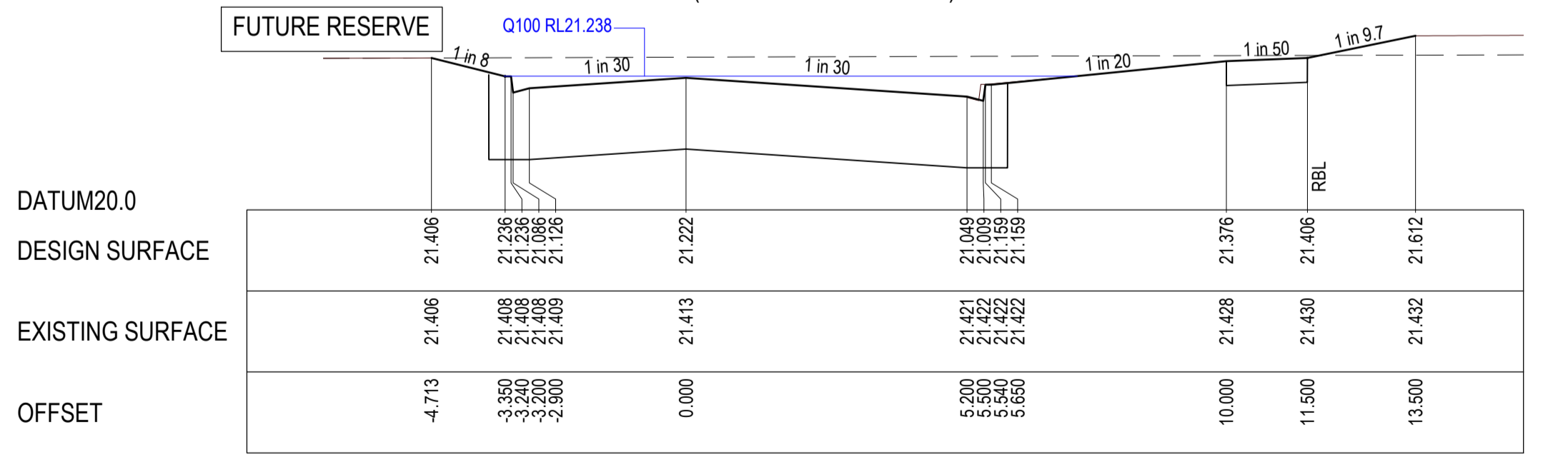
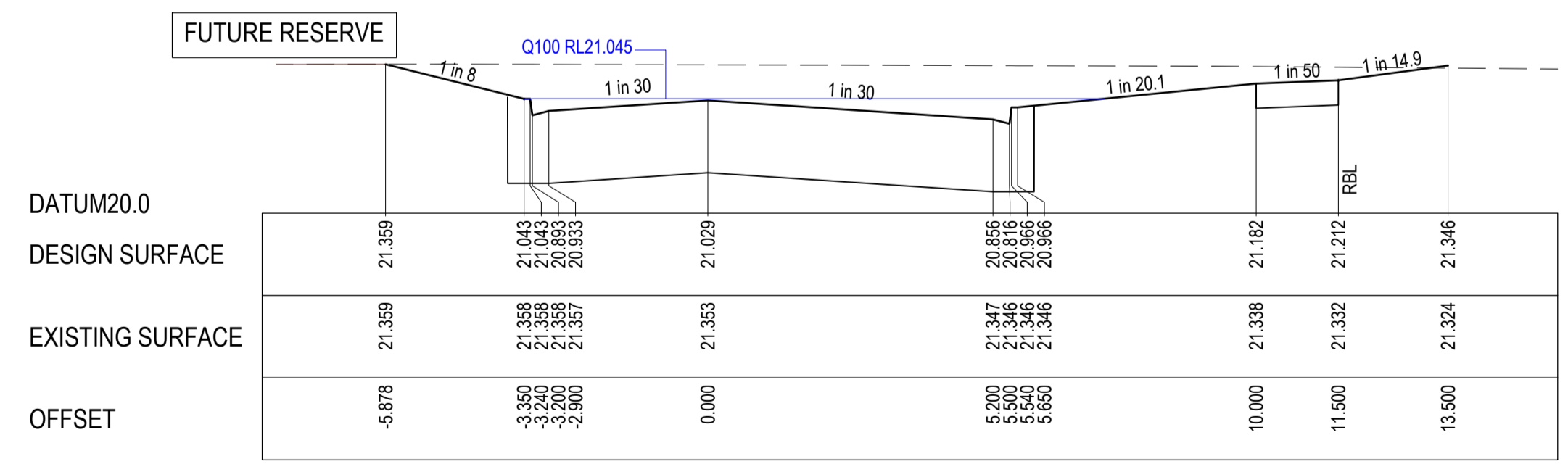
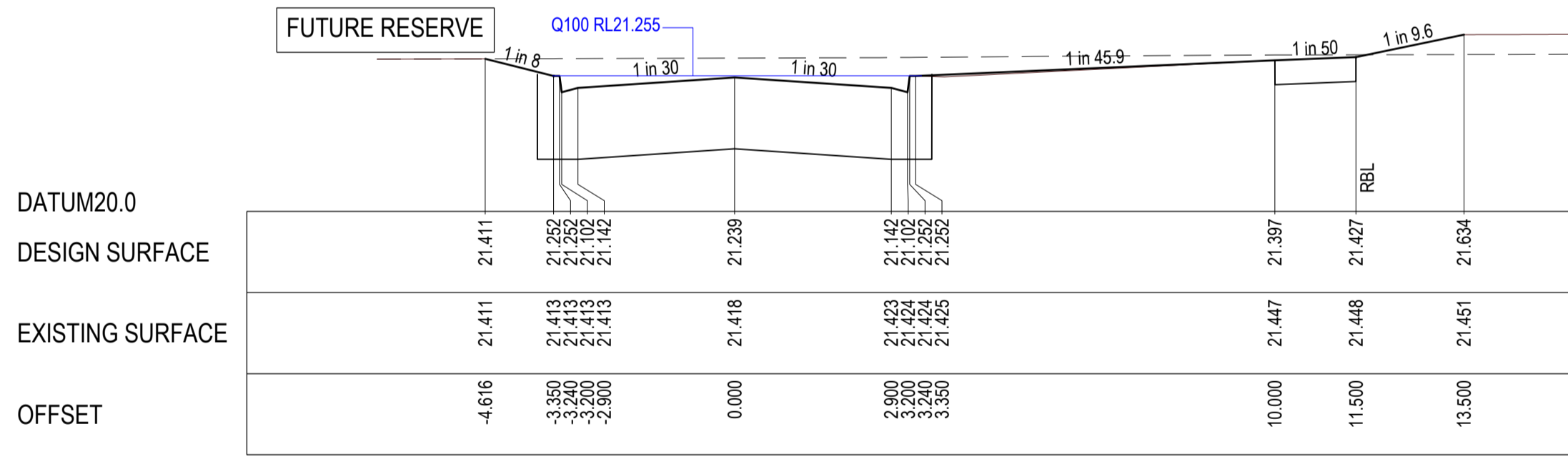
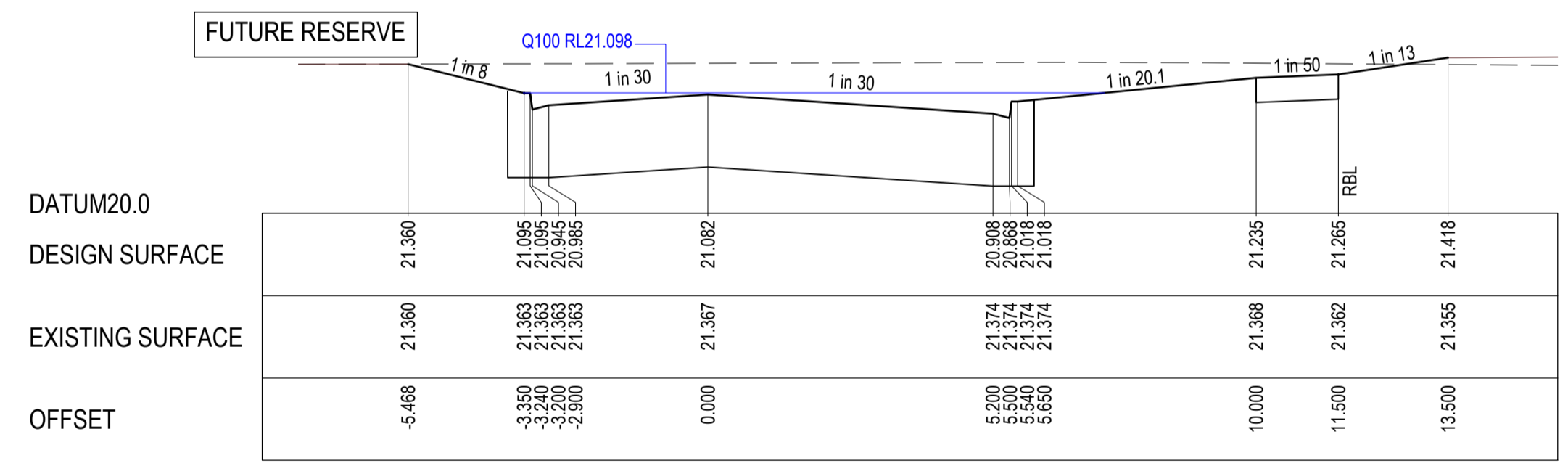
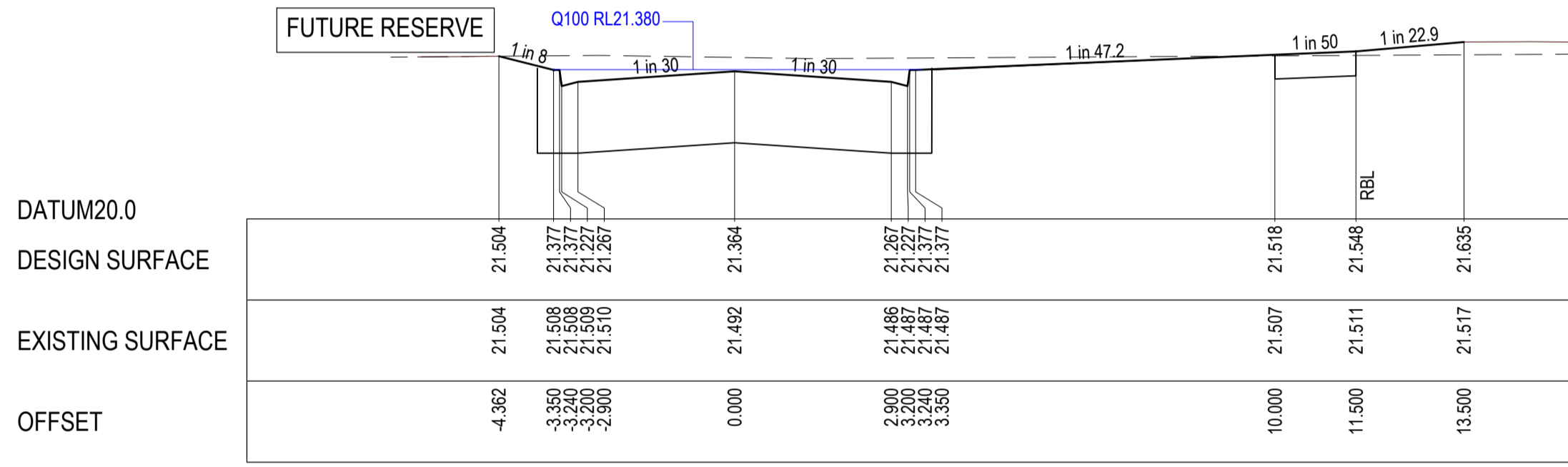
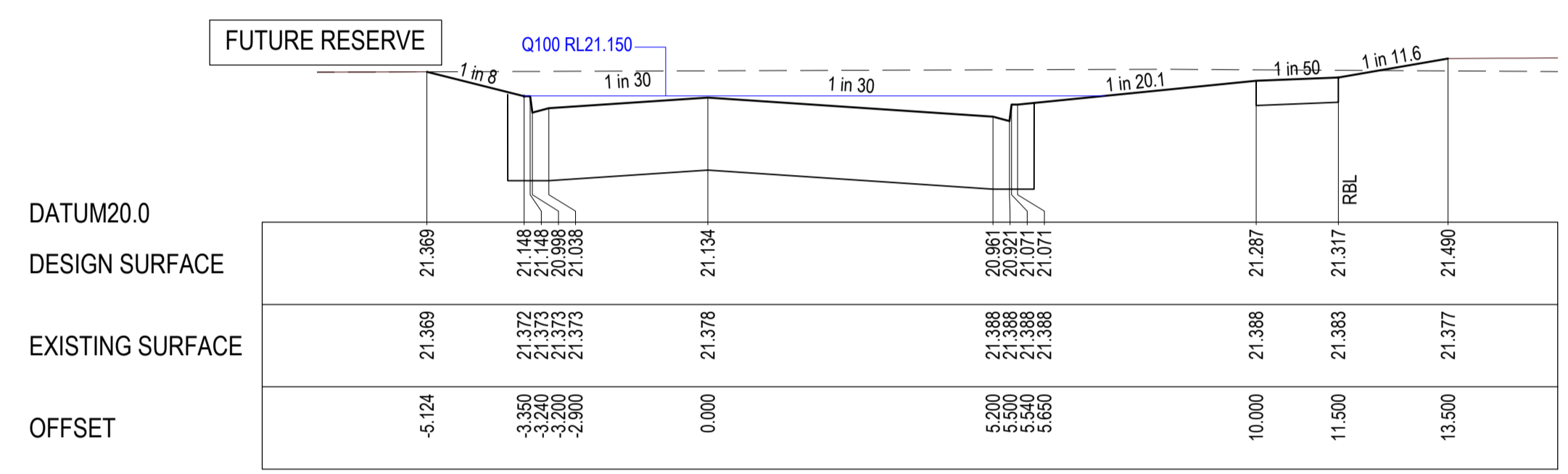
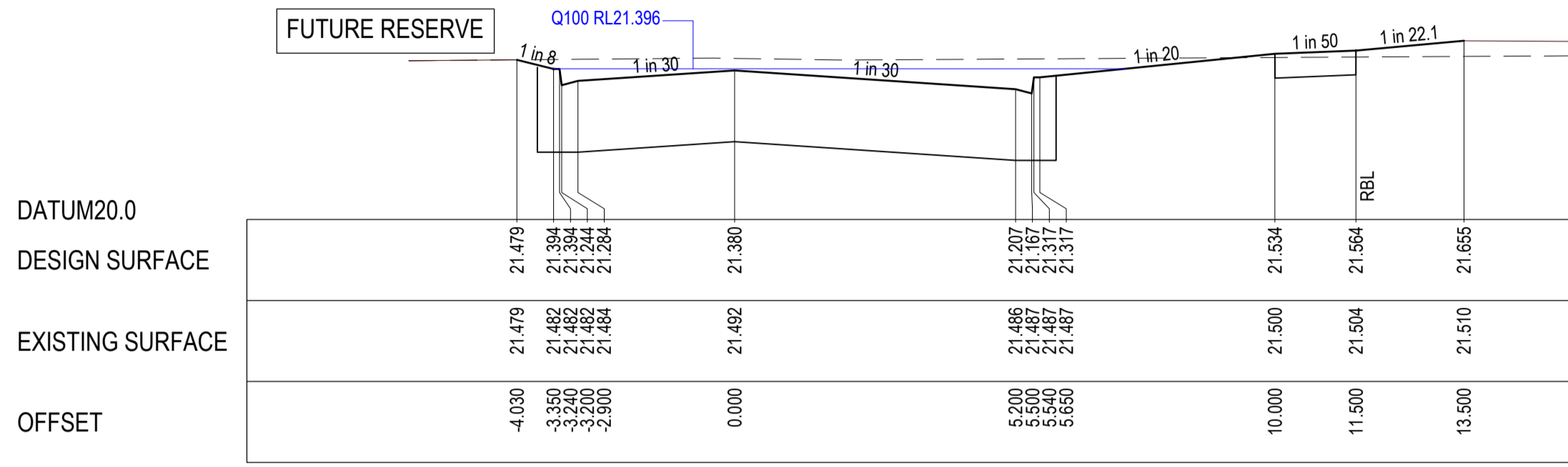
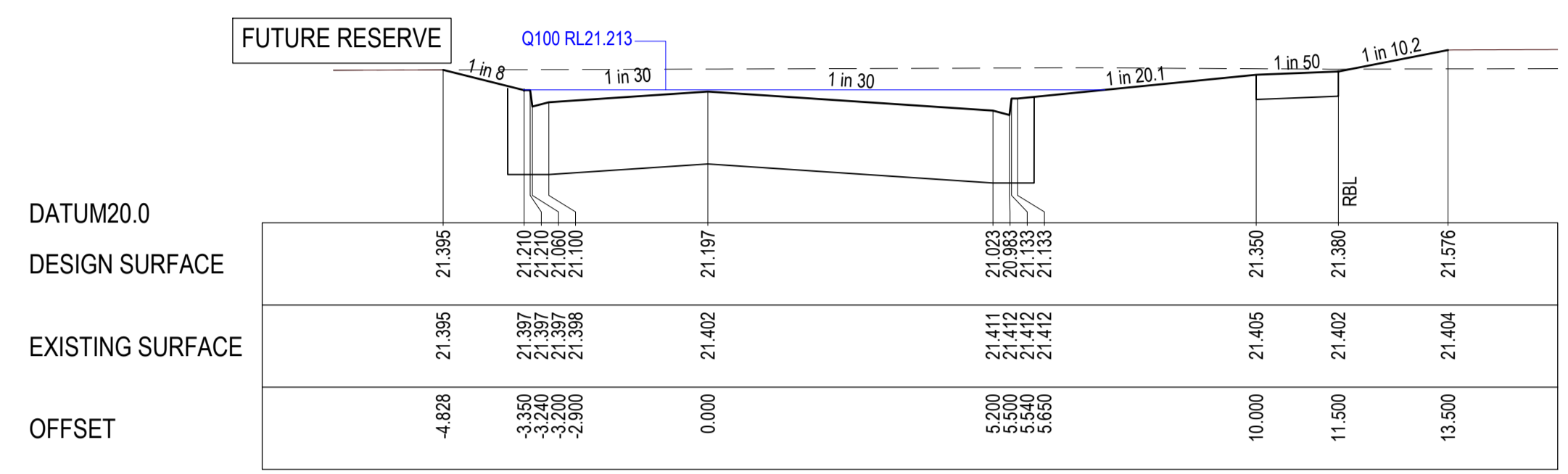
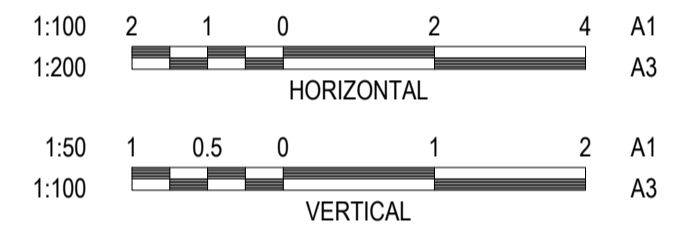
CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

WARNING
BWARE OF UNDERGROUND & OVERHEAD SERVICES
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DIAL 1100 BEFORE YOU DIG
 www.1100.com.au

LEGEND

	EXISTING SURFACE
	DESIGN LINE
	Q100 LEVEL
	SELECT FILL

NOTE:
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Bradley
 SIGNED (CONSULTANT)
Alan
 SIGNED (CONTRACTOR)

P:\2018\18014_205-245 CHALLOWAYS RD_LARA\18014_17\CIVIL\2_DRAFTING\CAD\18014_17_1800 - ROAD CROSS SECTIONS.DWG

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE



CORIDALE ESTATE - STAGE 17A
ROAD CROSS SECTIONS - 3
VERDANT STREET - SHEET 1

PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R502	AC

VERDANT STREET

SPIRIT STREET

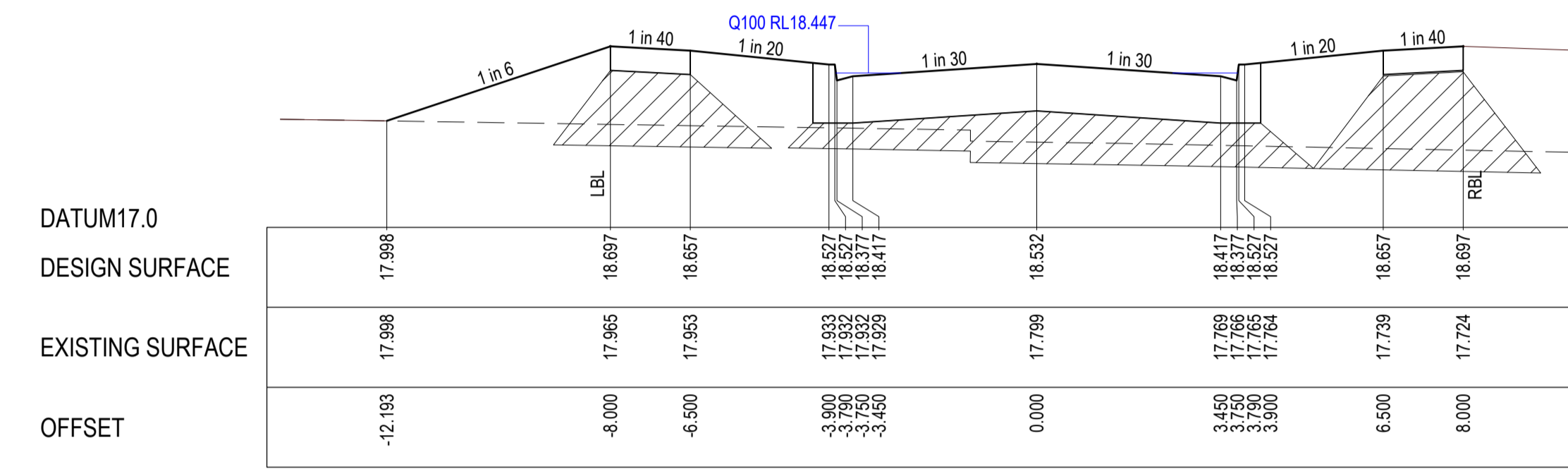
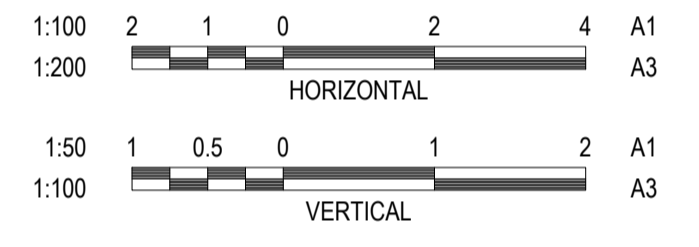
CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

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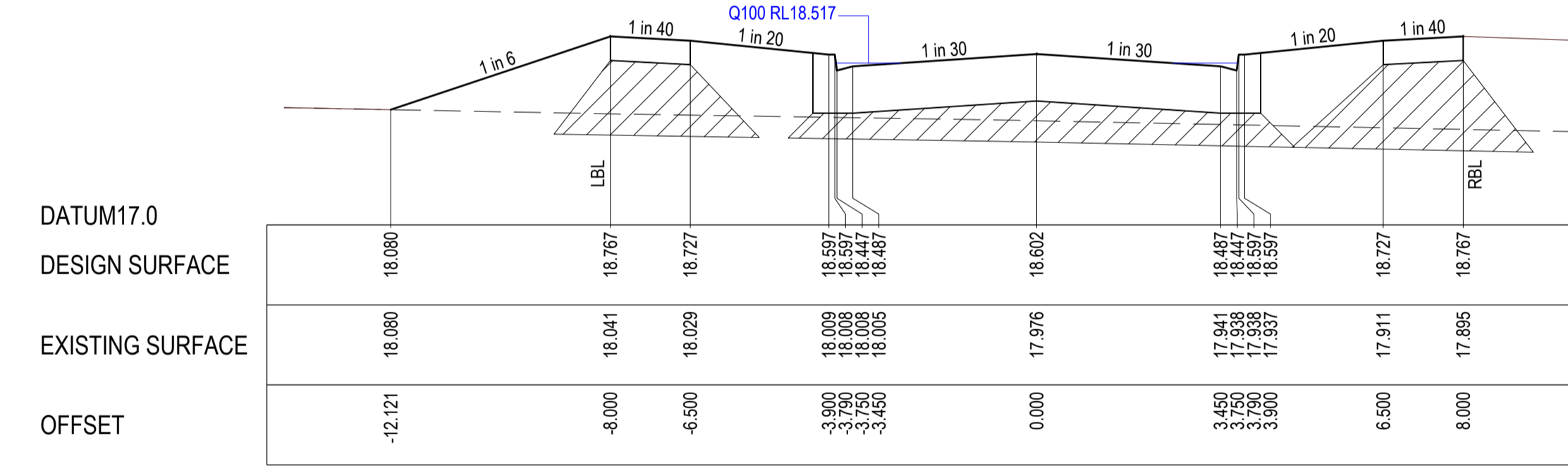
LEGEND

- EXISTING SURFACE
- DESIGN LINE
- Q100 LEVEL
- ▨ SELECT FILL

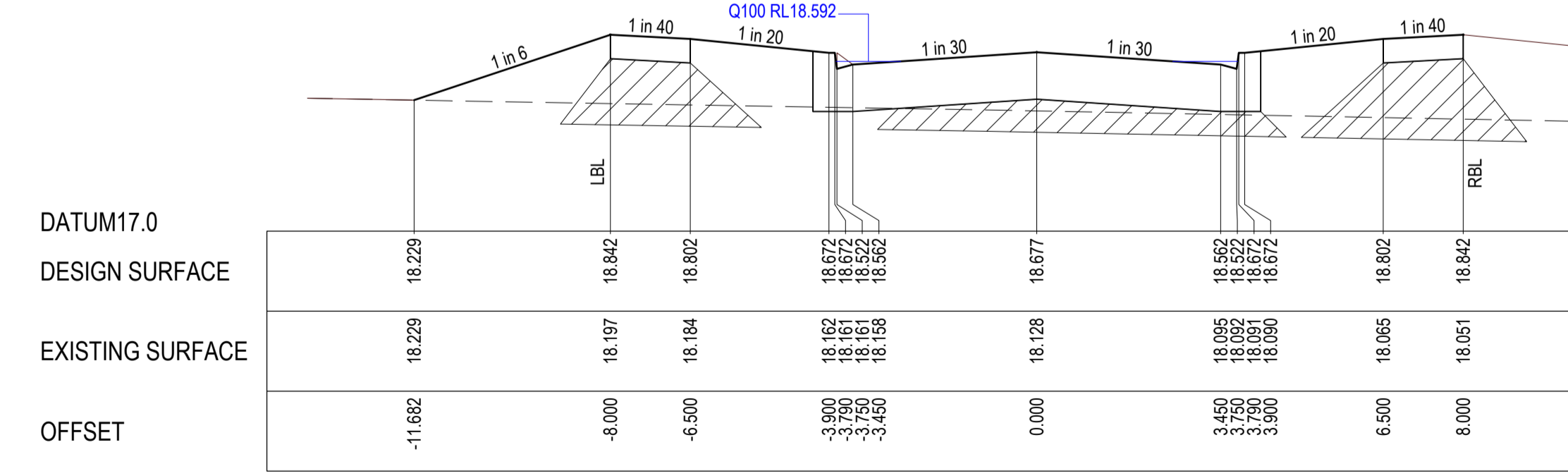
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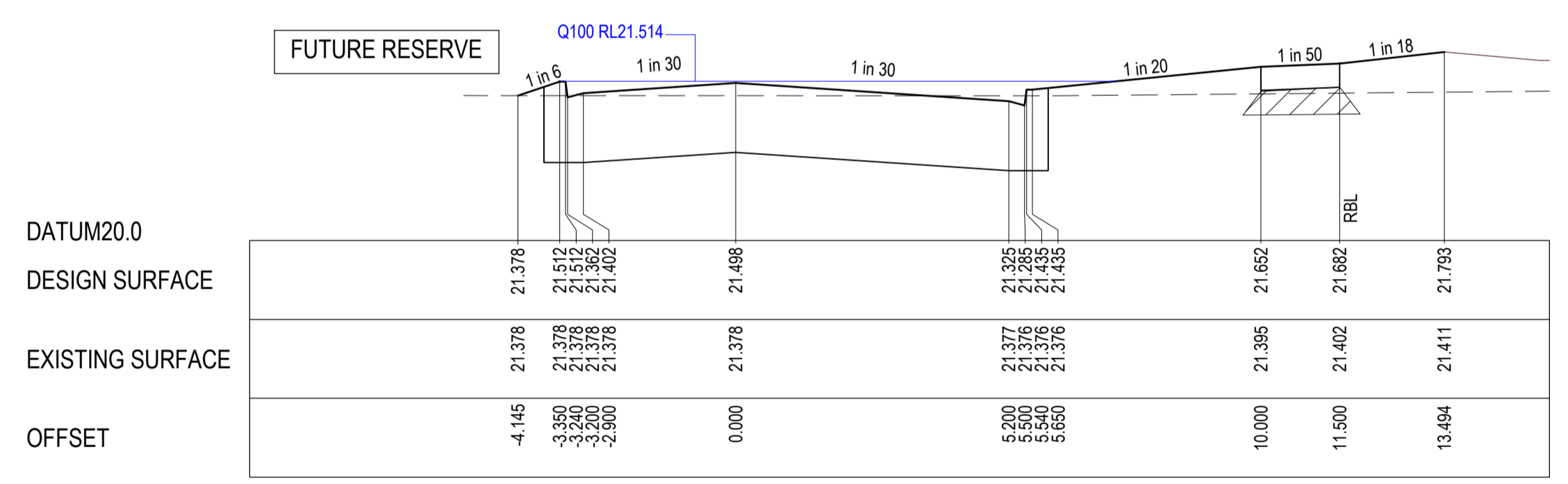
CH 49.060 (LIMIT OF WORKS)



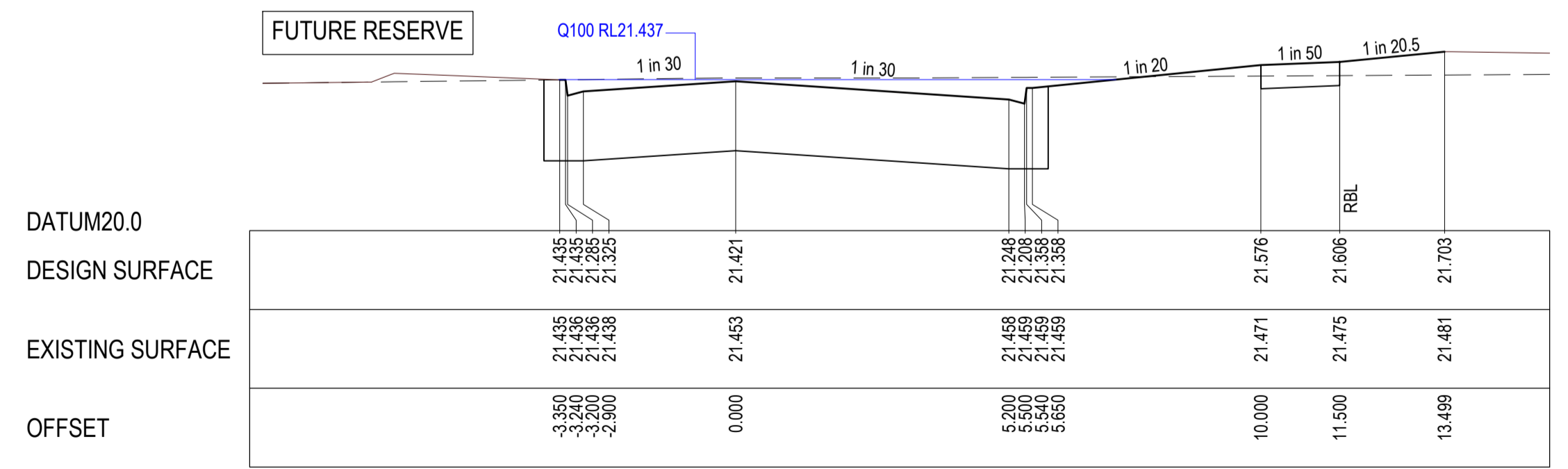
CH 35.003



CH 20.003 (TANGENT POINT)



CH 440.522 (LIMIT OF WORKS)



CH 425.163

Bradley
 SIGNED (CONSULTANT)
AM
 SIGNED (CONTRACTOR)

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE



CORIDALE ESTATE - STAGE 17A
ROAD CROSS SECTIONS - 4
VERDANT STREET - SHEET 2 &
SPIRIT STREET

PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No:	DRAWING No:	REVISION
180014.17A	R503	AC

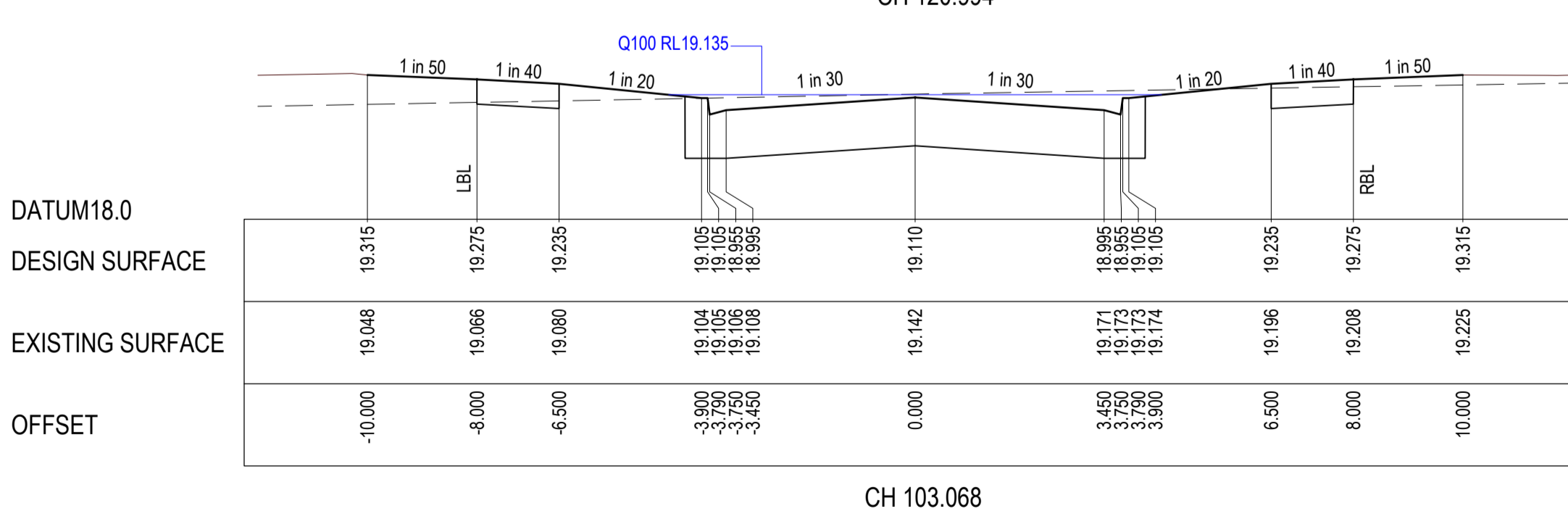
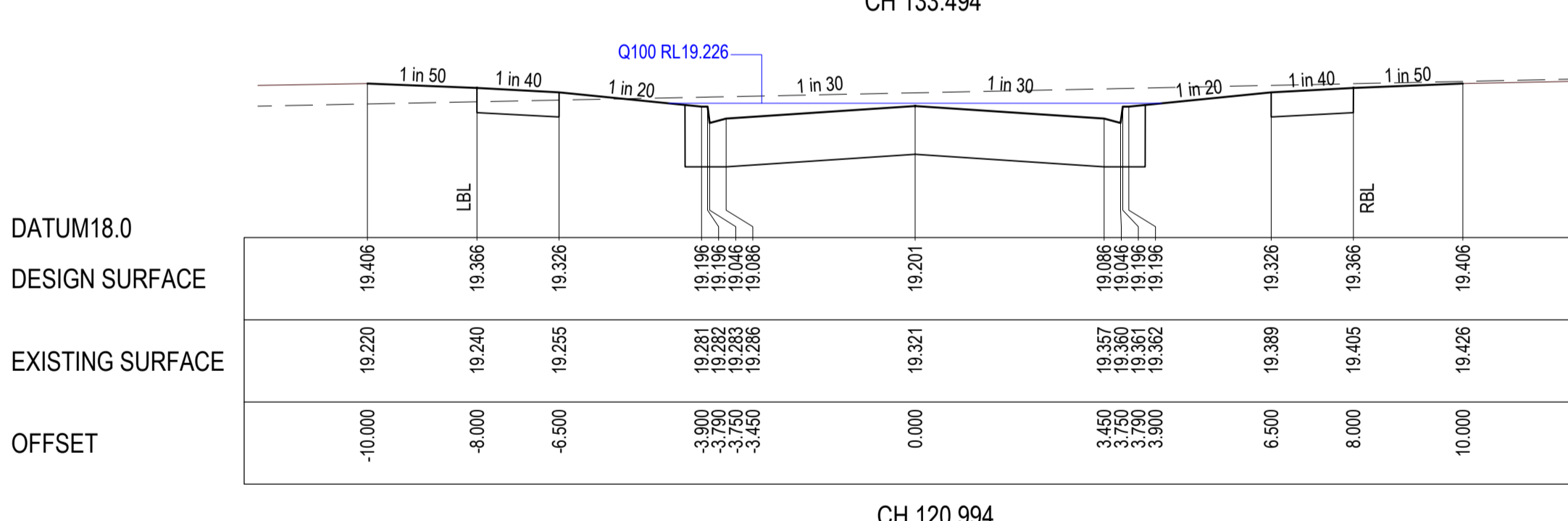
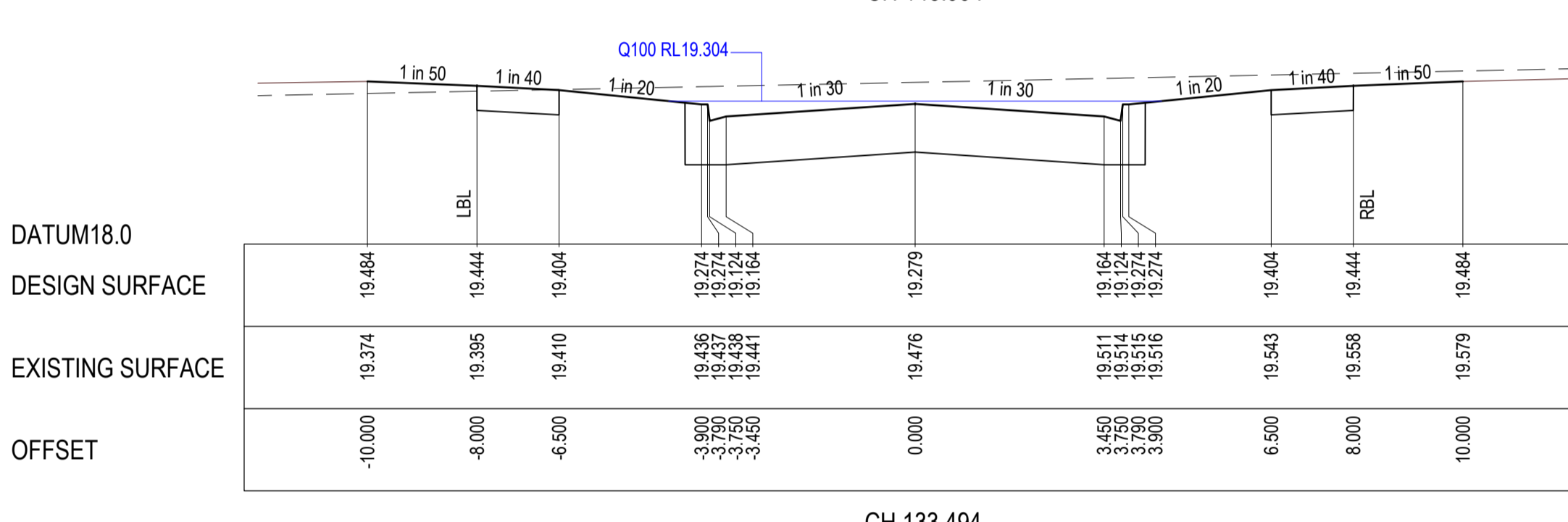
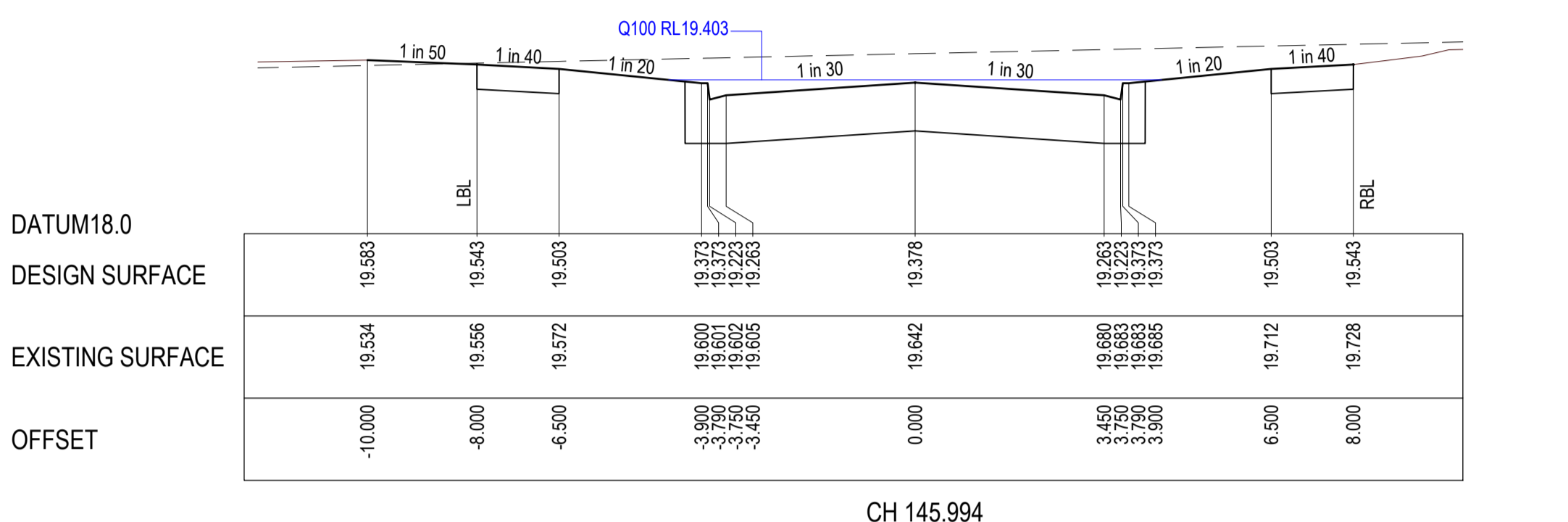
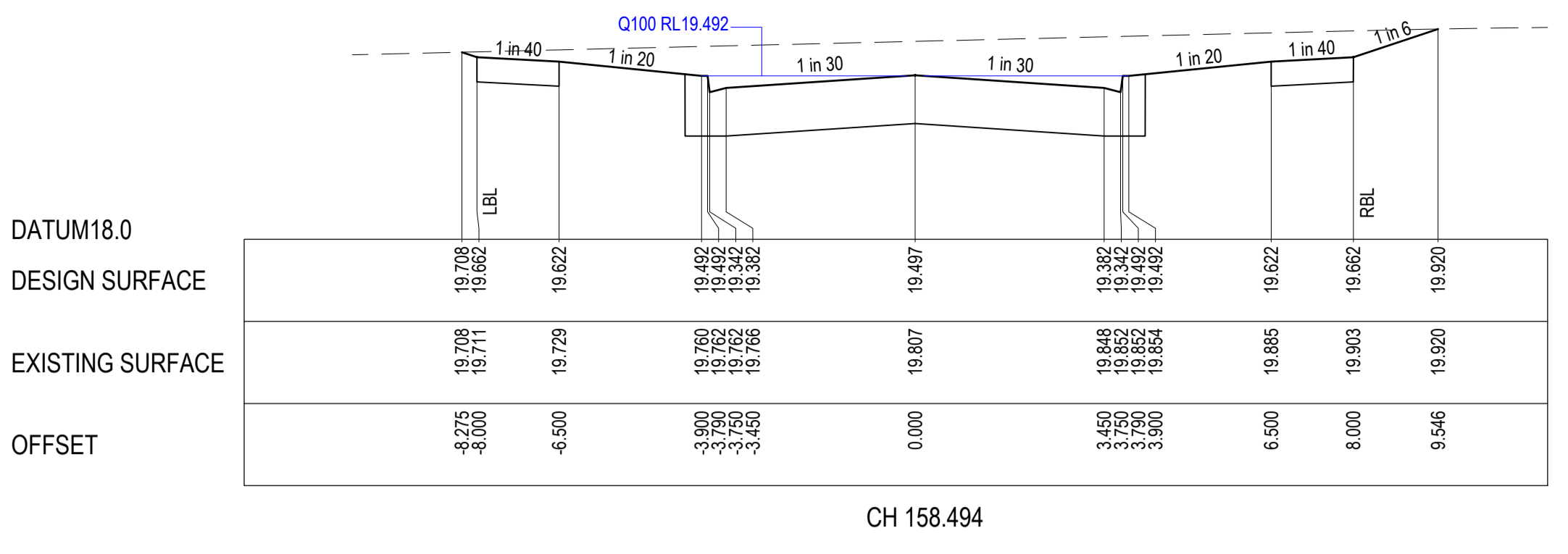
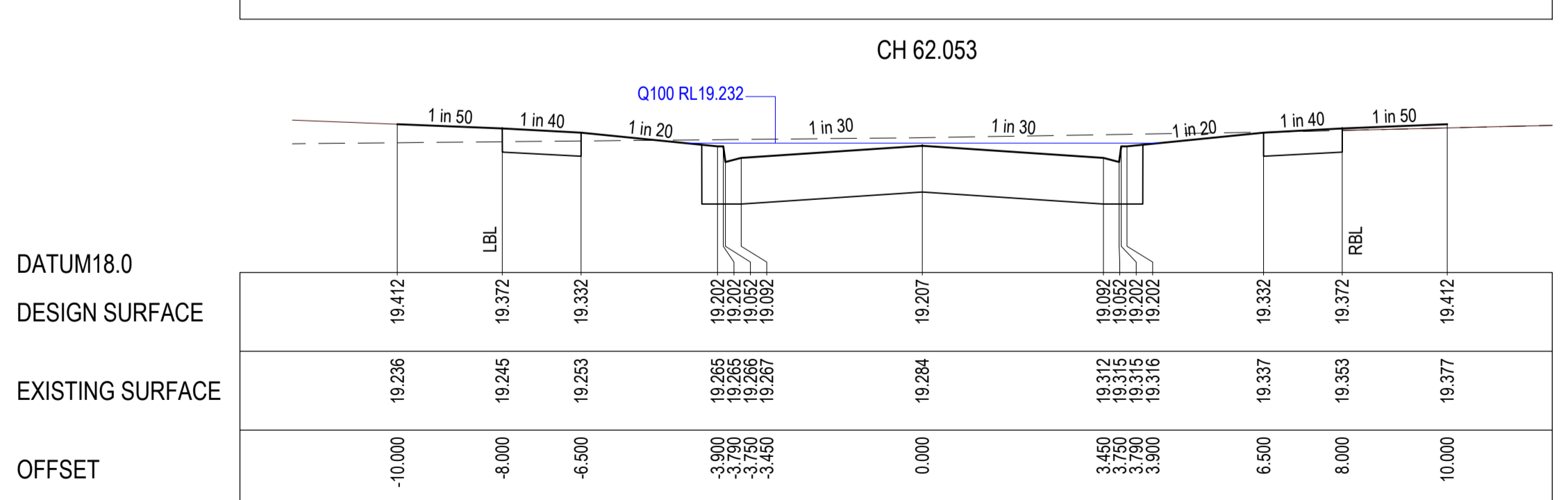
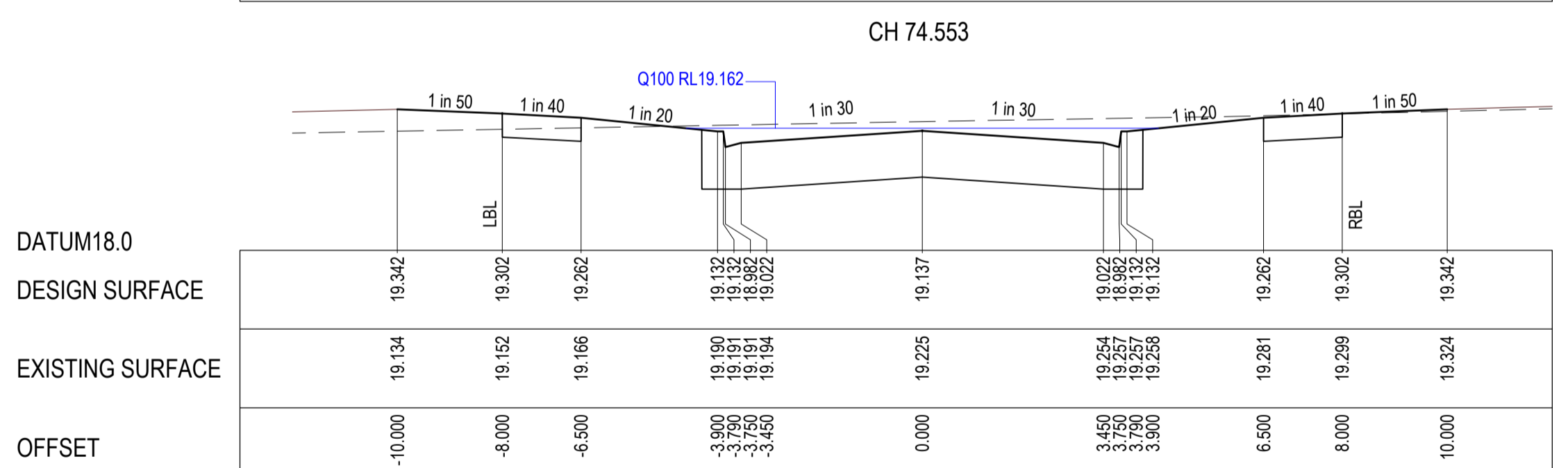
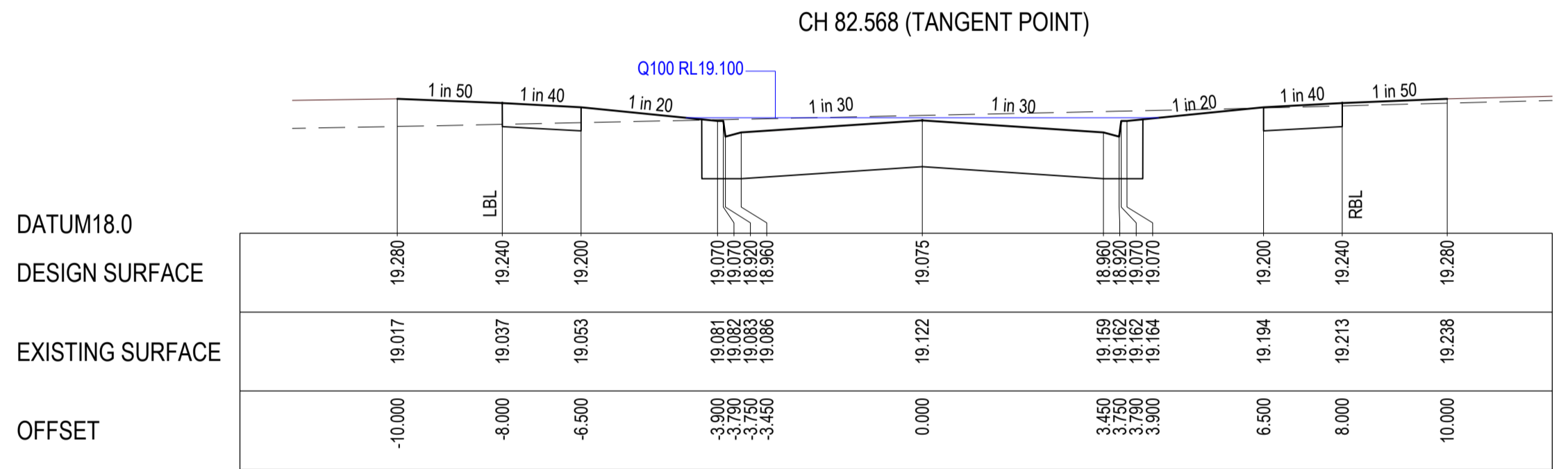
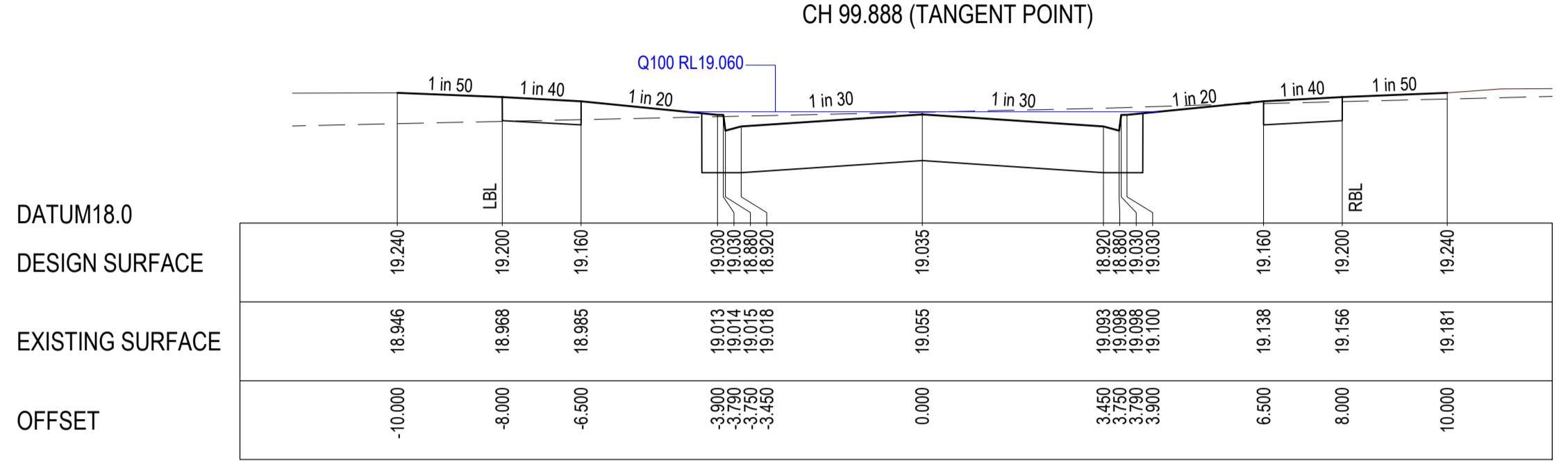
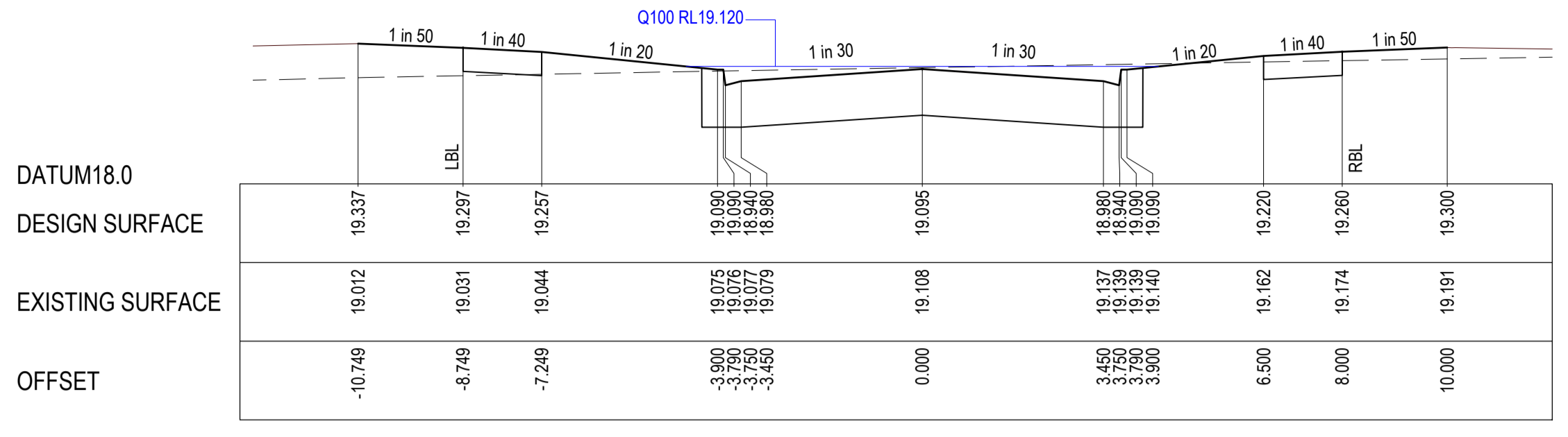
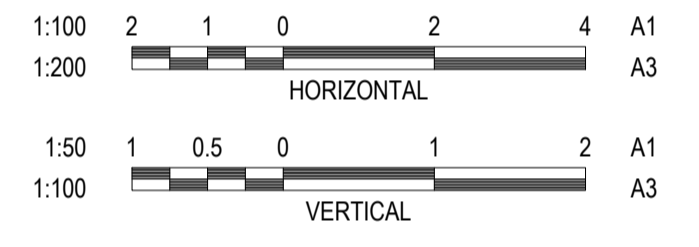
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WARNING
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LEGEND

- EXISTING SURFACE
- DESIGN LINE
- Q100 LEVEL
- ▨ SELECT FILL

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Bradley
 SIGNED (CONSULTANT)
A.M.
 SIGNED (CONTRACTOR)

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

Communities Designed for Living

Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

LARA

CORIDALE ESTATE - STAGE 17A
ROAD CROSS SECTIONS - 5
WOODLAND STREET - SHEET 1

PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No:	DRAWING No:	REVISION
180014.17A	R504	AC

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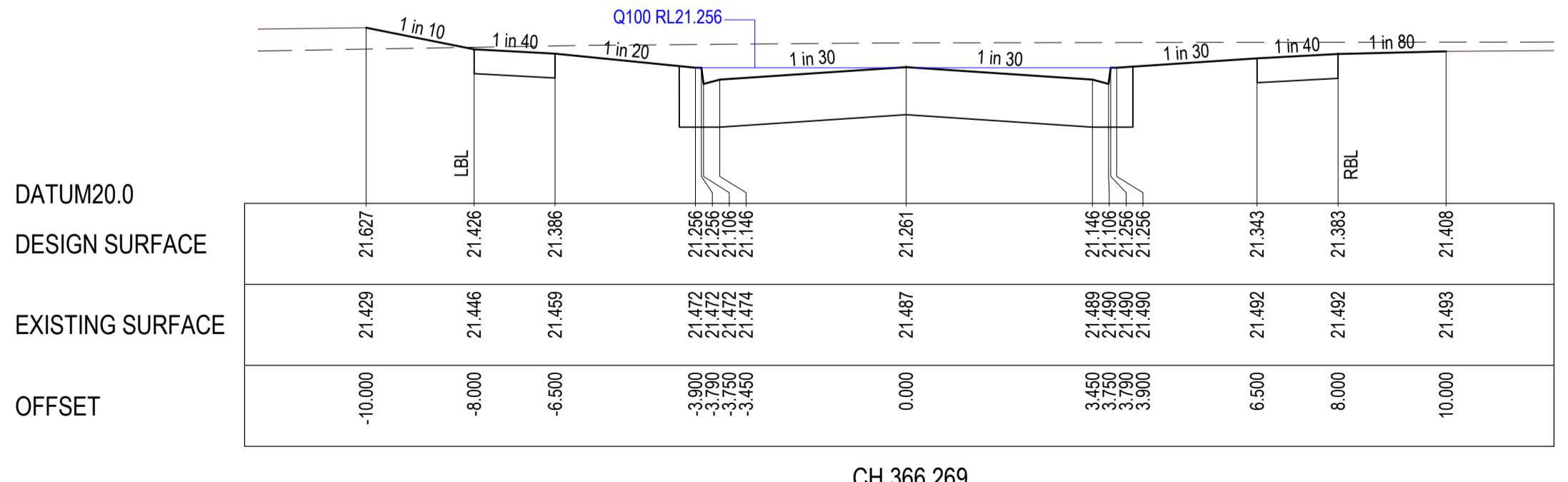
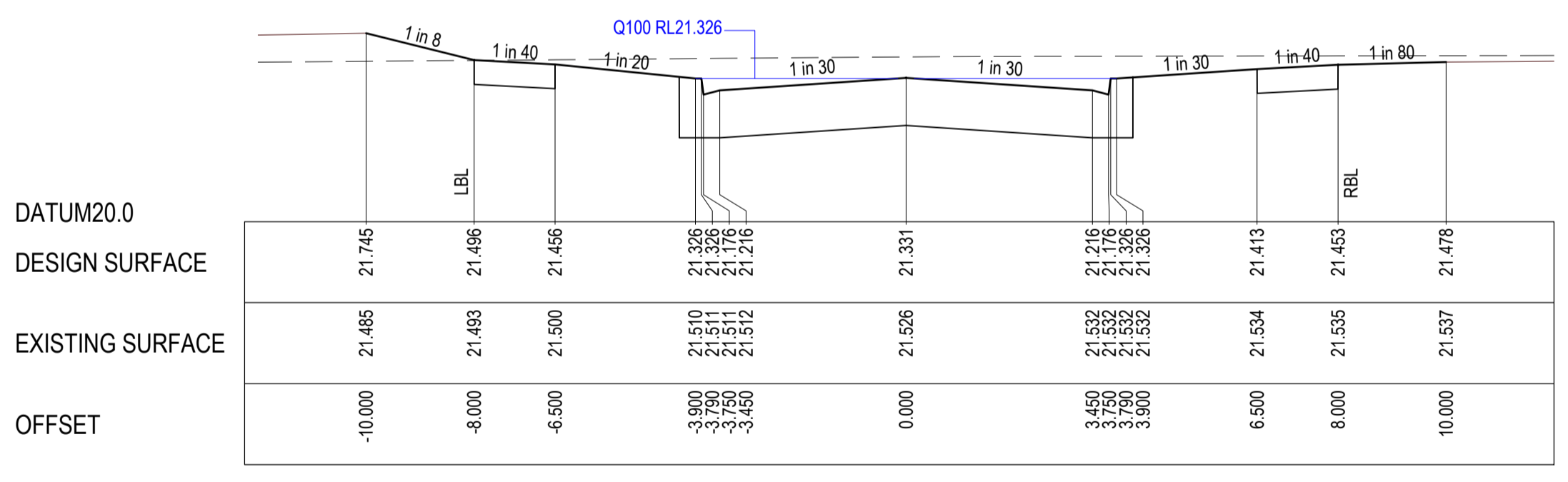
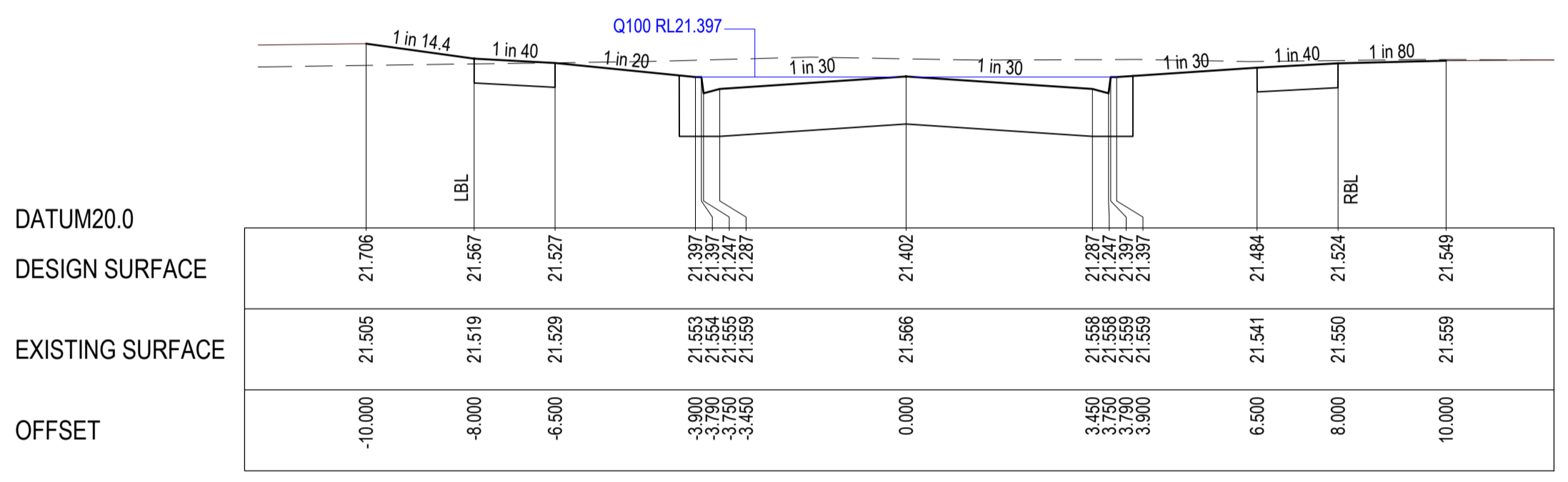
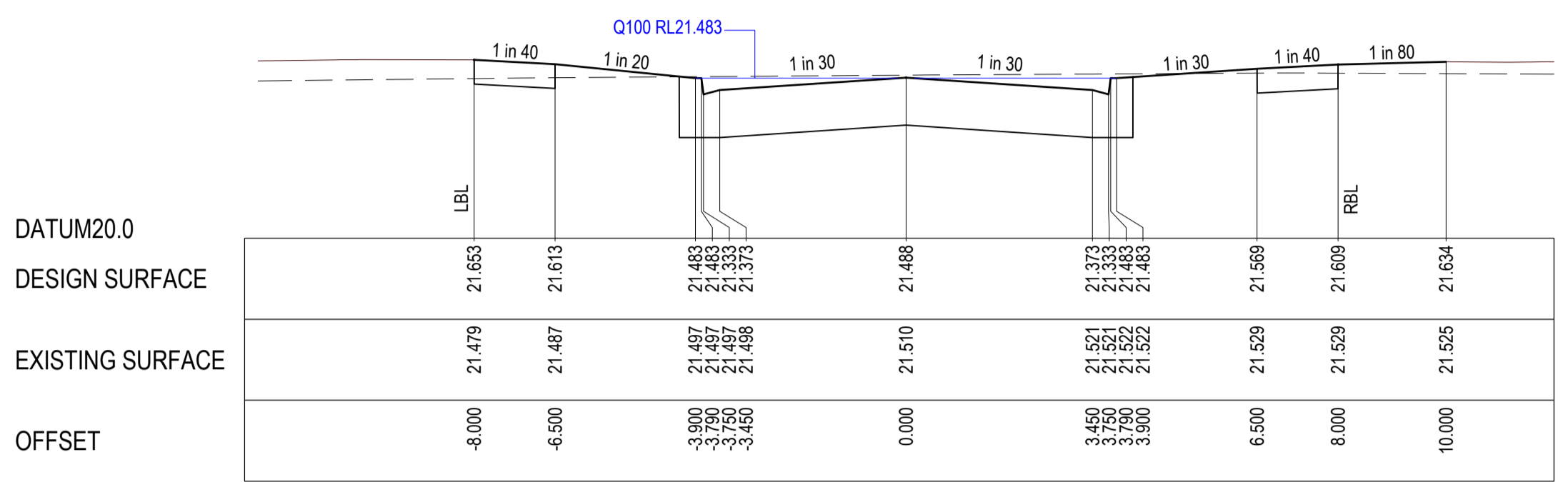
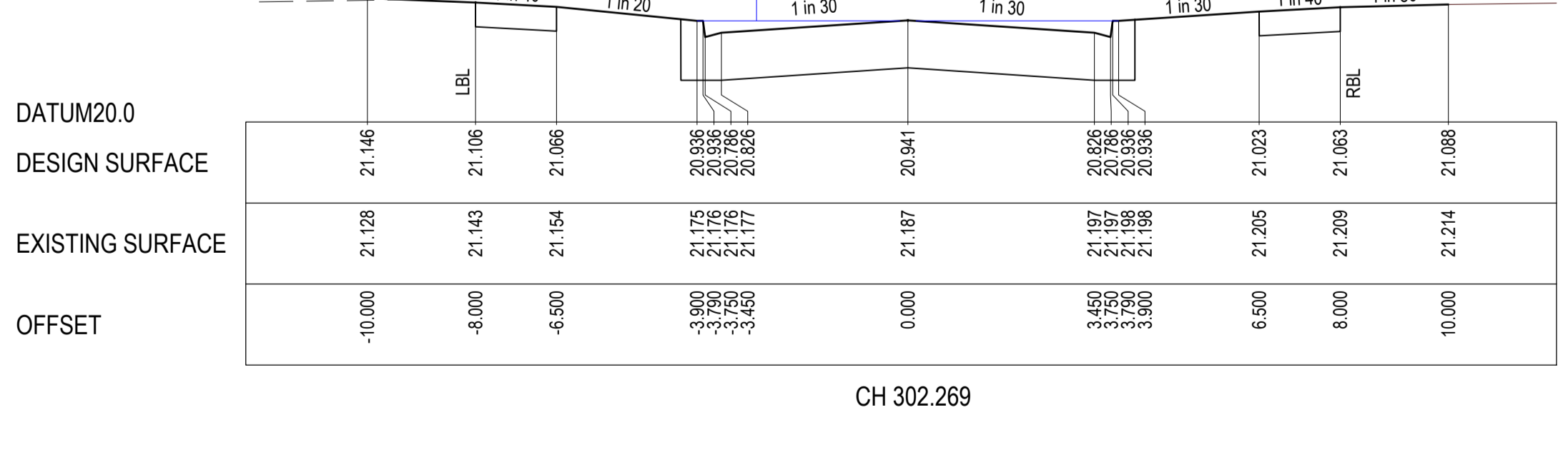
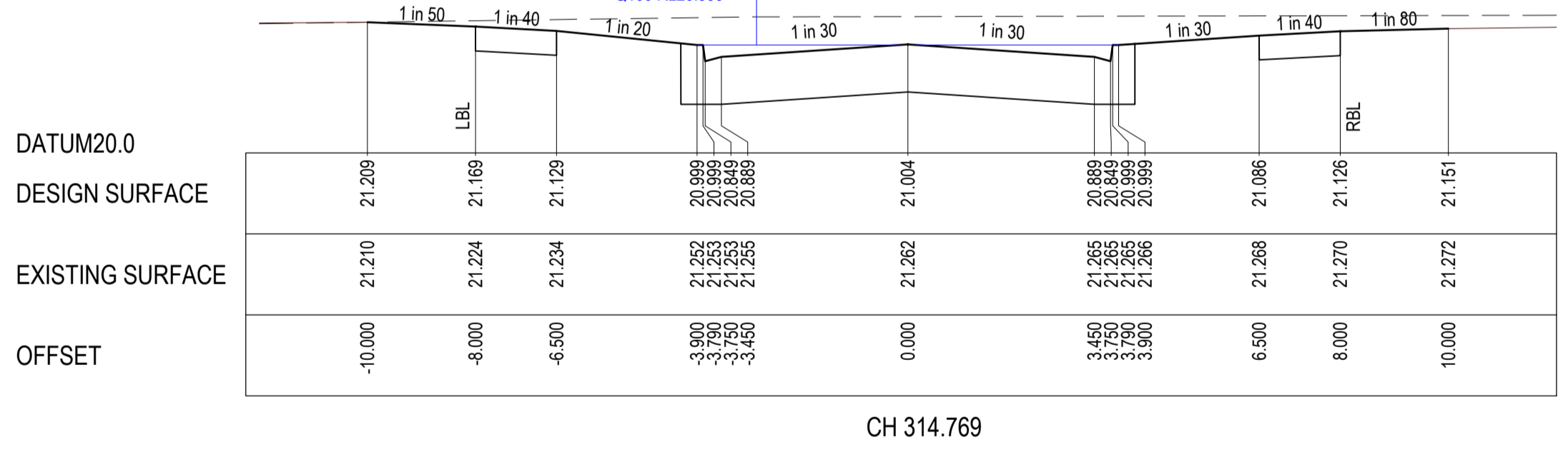
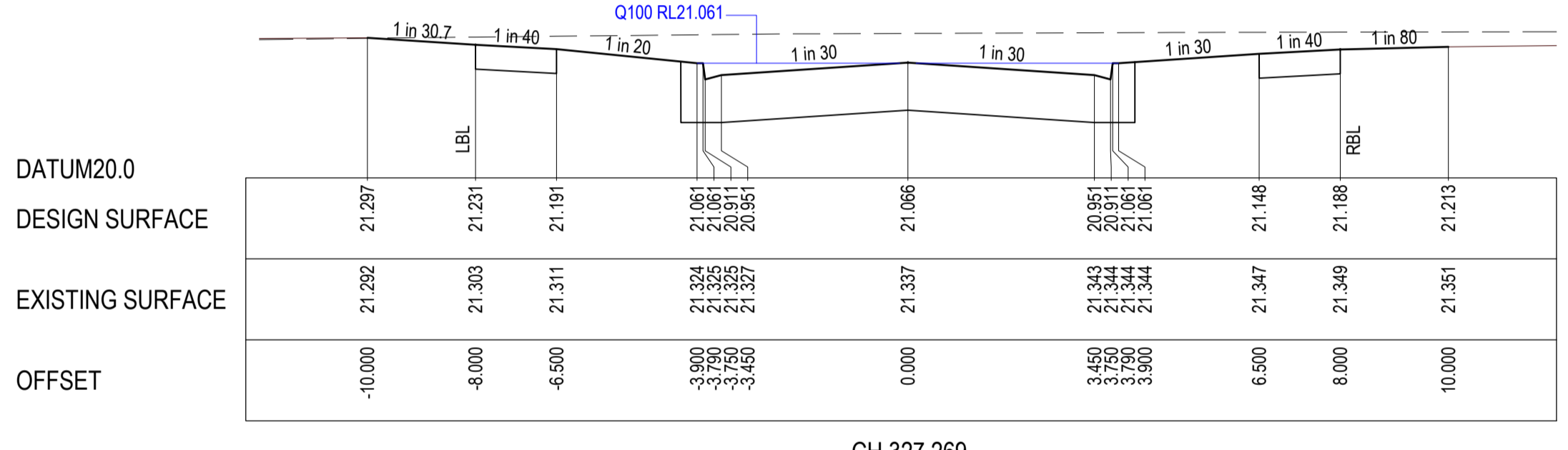
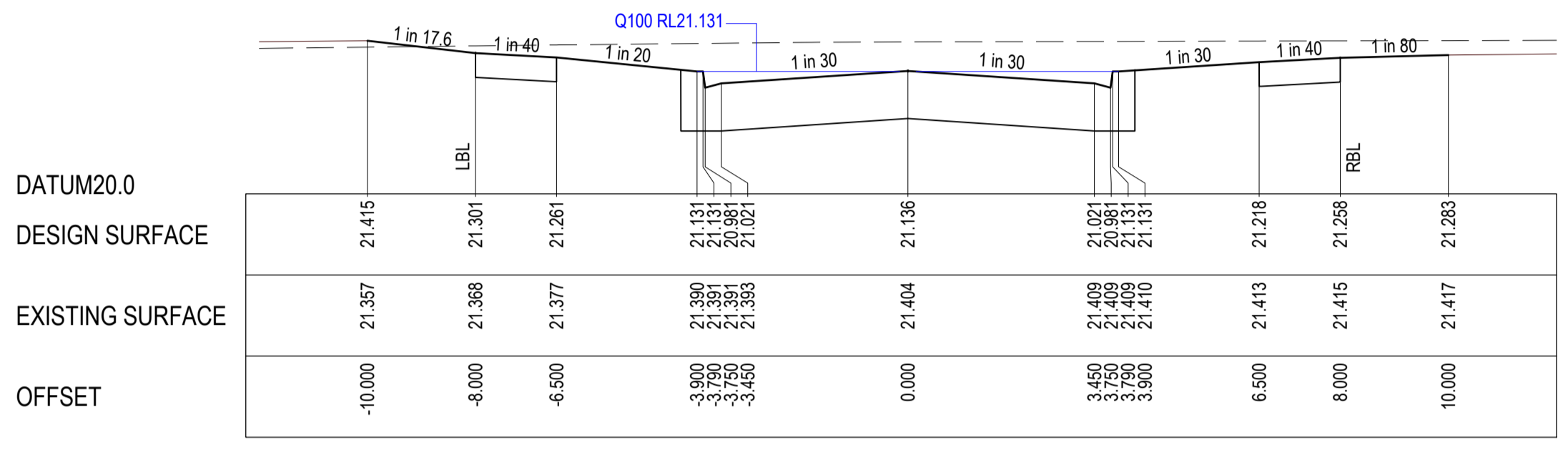
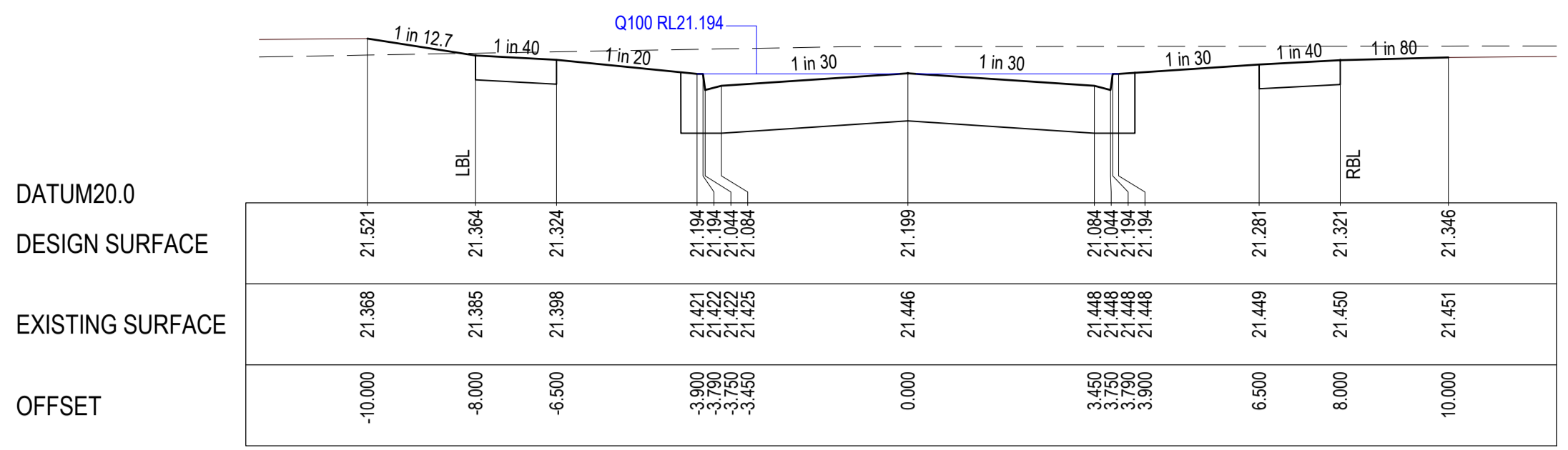
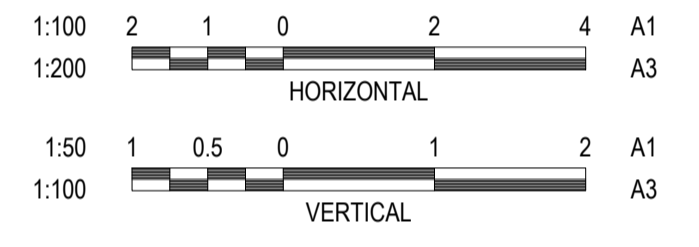
CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

WARNING
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DIAL 1100 BEFORE YOU DIG
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LEGEND

- EXISTING SURFACE
- DESIGN LINE
- Q100 LEVEL
- ▨ SELECT FILL

NOTE:
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Bradley
 SIGNED (CONSULTANT)
A.M.
 SIGNED (CONTRACTOR)

P:\2018\18014_205-245 CHALCOWNS RD_LARA\18014_17\DWG\17-ROAD CROSS SECTIONS.DWG

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE



CORIDALE ESTATE - STAGE 17A
ROAD CROSS SECTIONS - 7
WOODLAND STREET - SHEET 3

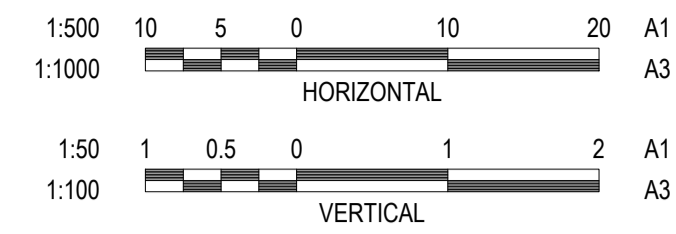
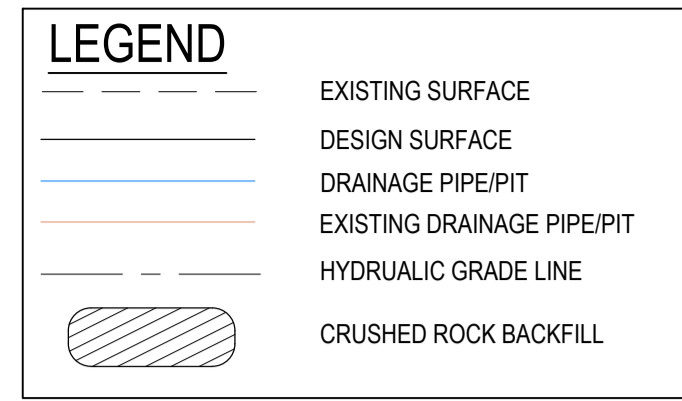
PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No:	DRAWING No:	REVISION
180014.17A	R506	AC

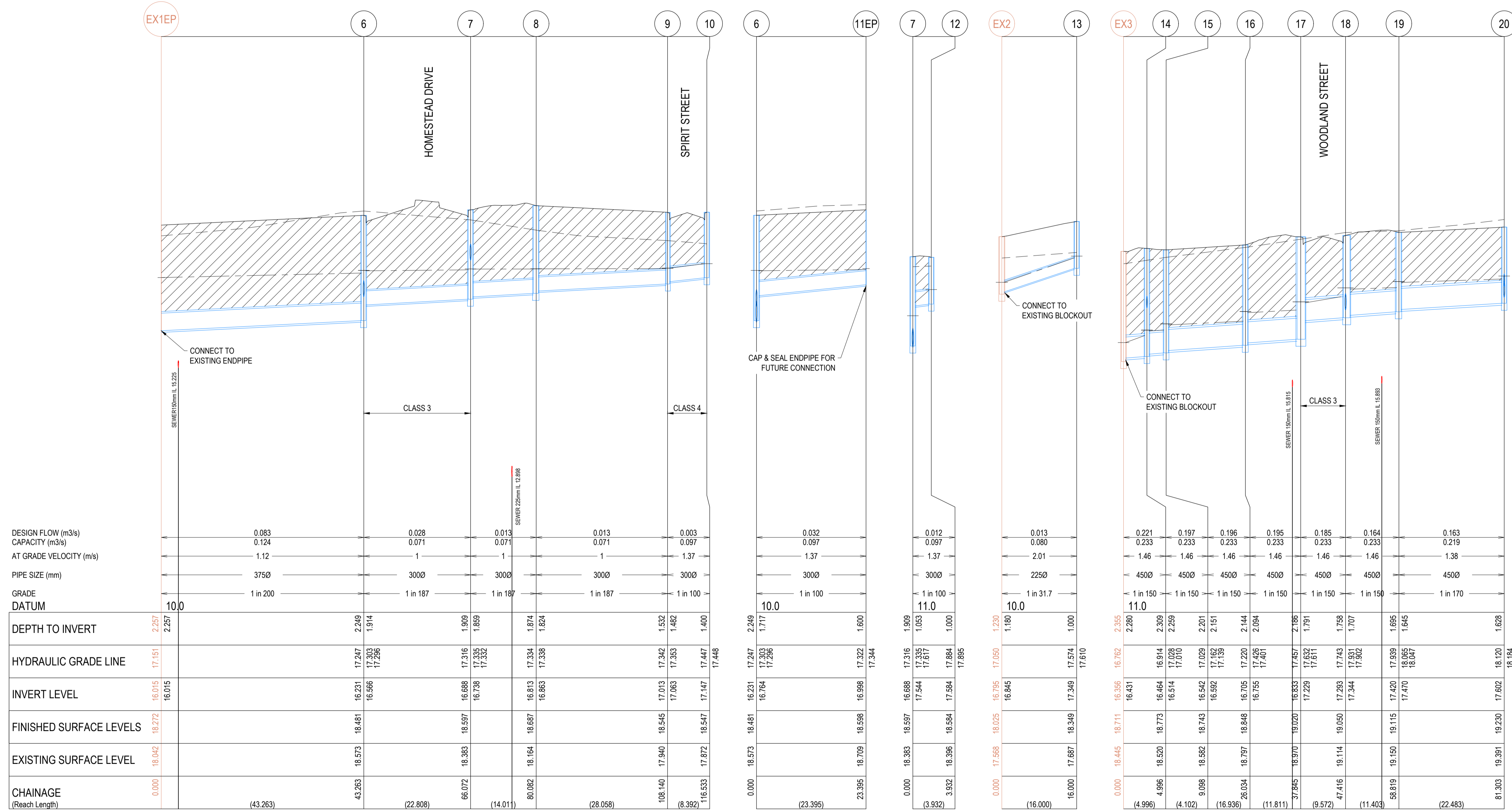
- NOTES**
- PIPE TRENCHES WITHIN THE ROAD RESERVE MUST BE BACKFILLED WITH 20mm NOM. SIZE CLASS 3 CRUSHED ROCK TO BE COMPACTED TO A DRY DENSITY NOT LESS THAN 98% MODIFIED RELATIVE COMPACTION IN 150mm THICK LAYER FOR THE FOLLOWING:
 - BENEATH DRIVEWAY CROSSOVERS TO THE UNDERSIDE OF THE PAVEMENT OR CROSSOVER.
 - ADJACENT TO KERBING OR CONCRETE WORKS TO A LEVEL THAT IS NOT AFFECTED BY A 45 DEGREE ANGLE OF REPOSE FROM NEAR THE LOWER EDGE.
 - ALL PIPES UNDER ROADS SHALL BE BACKFILLED WITH 2% STABILISED SAND TO SPRINGLINE. ABOVE THIS POINT, PROVIDE 20mm NOMINAL SIZE CLASS 3 FINE CRUSHED ROCK (WETMIX) COMPACTED TO 98% MODIFIED COMPACTION IN 150mm MAXIMUM LAYER.
 - ALL DRAINAGE PIPES TO BE SPIGOT-SOCKET RUBBER RING JOINTED (RRJ).
 - ALL DRAINAGE PIPES SHALL BE CLASS 2 RCP, UNLESS OTHERWISE NOTED.
 - WHERE PITS DROP LESS THAN 50mm, THE PIT FLOOR MUST BE SHAPED TO MATCH THE LOWER HALF OF THE PIPE.
 - ALL SPLAYED SECTIONS OF PIPE ARE TO BE BACKFILLED WITH 2% STABILIZED SAND, 300mm ABOVE TOP OF PIPE

DRAINAGE PIPES
 ALL STORMWATER DRAINAGE PIPES SHALL NOT BE SUBJECTED TO CONSTRUCTION TRAFFIC LOADING DURING CONSTRUCTION UNLESS THE PIPE STRENGTH CHARACTERISTICS HAVE BEEN COMPUTED AND APPROVED BY THE CONTRACTORS ENGINEER. COMPUTATIONS ARE TO ACCORD WITH AS.3725-1989, LOADS ON BURIED PIPES. CONCRETE PIPES DAMAGED DUE TO CONSTRUCTION LOADS SHALL BE REPAIRED AT THE CONTRACTORS COST.



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CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL



Bradley
 SIGNED (CONSULTANT)
Alan
 SIGNED (CONTRACTOR)

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

villawood
 properties
 Communities Designed for Living

creo
 CONSULTANTS
 Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

Coridale
 LARA

CORIDALE ESTATE - STAGE 17A
DRAINAGE LONGITUDINAL SECTIONS - 1
 PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R600	AC

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NOTES

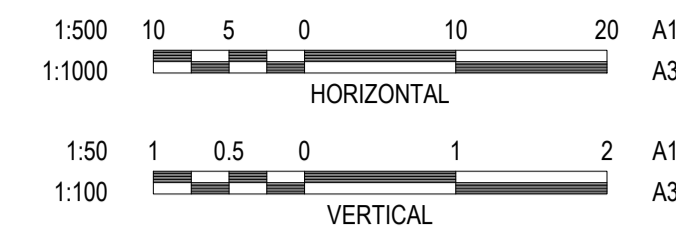
- PIPE TRENCHES WITHIN THE ROAD RESERVE MUST BE BACKFILLED WITH 20mm NOM. SIZE CLASS 3 CRUSHED ROCK TO BE COMPACTED TO A DRY DENSITY NOT LESS THAN 98% MODIFIED RELATIVE COMPACTION IN 150mm THICK LAYER FOR THE FOLLOWING:
 - BENEATH DRIVEWAY CROSSEOVERS TO THE UNDERSIDE OF THE PAVEMENT OR CROSSEOVER.
 - ADJACENT TO KERBING OR CONCRETE WORKS TO A LEVEL THAT IS NOT AFFECTED BY A 45 DEGREE ANGLE OF REPOSE FROM NEAR THE LOWER EDGE.
- ALL PIPES UNDER ROADS SHALL BE BACKFILLED WITH 2% STABILISED SAND TO SPRINGLINE. ABOVE THIS POINT, PROVIDE 20mm NOMINAL SIZE CLASS 3 FINE CRUSHED ROCK (WETMIX) COMPACTED TO 98% MODIFIED COMPACTION IN 150mm MAXIMUM LAYER.
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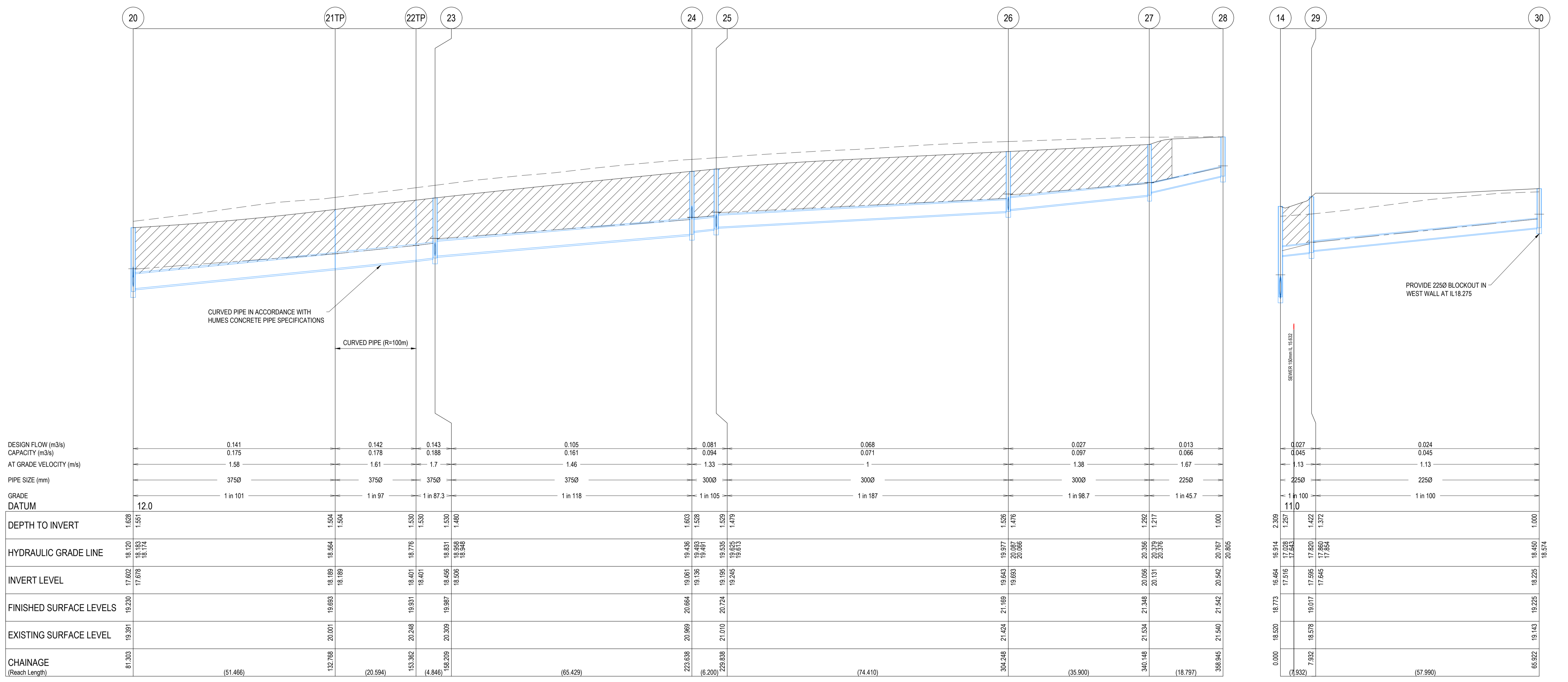
LEGEND

- EXISTING SURFACE
- DESIGN SURFACE
- DRAINAGE PIPE/PIT
- EXISTING DRAINAGE PIPE/PIT
- HYDRUALIC GRADE LINE
- CRUSHED ROCK BACKFILL



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PROVIDE 2250 BLOCKOUT IN WEST WALL AT IL.18.275

Bradley
 SIGNED (CONSULTANT)
Alan
 SIGNED (CONTRACTOR)

P:\2018\18014_205-245 CHALLONERS RD_LARA\18014_17\CIVIL\2_DRAFTING\CAD\18014_17_R601_DRAINAGE LONG SECTIONS.DWG

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

villawood
 properties
 Communities Designed for Living

creo
 CONSULTANTS
 Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

Coridale
 LARA

CORIDALE ESTATE - STAGE 17A
DRAINAGE LONGITUDINAL SECTIONS - 2
 PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

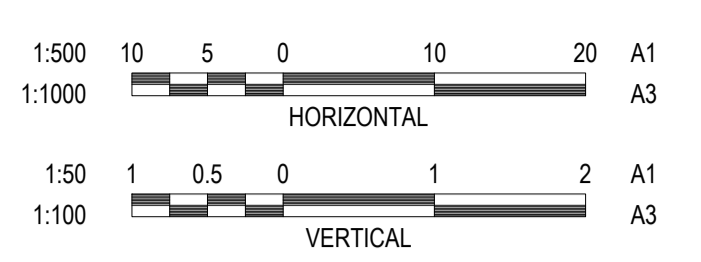
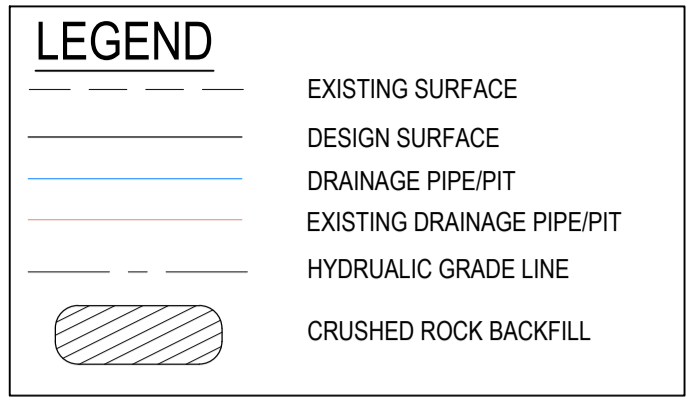
SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R601	AC

NOTES

- PIPE TRENCHES WITHIN THE ROAD RESERVE MUST BE BACKFILLED WITH 20mm NOM. SIZE CLASS 3 CRUSHED ROCK TO BE COMPACTED TO A DRY DENSITY NOT LESS THAN 98% MODIFIED RELATIVE COMPACTION IN 150mm THICK LAYER FOR THE FOLLOWING:
 - BENEATH DRIVEWAY CROSSOVERS TO THE UNDERSIDE OF THE PAVEMENT OR CROSSOVER.
 - ADJACENT TO KERBING OR CONCRETE WORKS TO A LEVEL THAT IS NOT AFFECTED BY A 45 DEGREE ANGLE OF REPOSE FROM NEAR THE LOWER EDGE.
- ALL PIPES UNDER ROADS SHALL BE BACKFILLED WITH 2% STABILISED SAND TO SPRINGLINE. ABOVE THIS POINT, PROVIDE 20mm NOMINAL SIZE CLASS 3 FINE CRUSHED ROCK (WETMIX) COMPACTED TO 98% MODIFIED COMPACTION IN 150mm MAXIMUM LAYER.
- ALL DRAINAGE PIPES TO BE SPIGOT-SOCKET RUBBER RING JOINTED (RRJ).
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DRAINAGE PIPES

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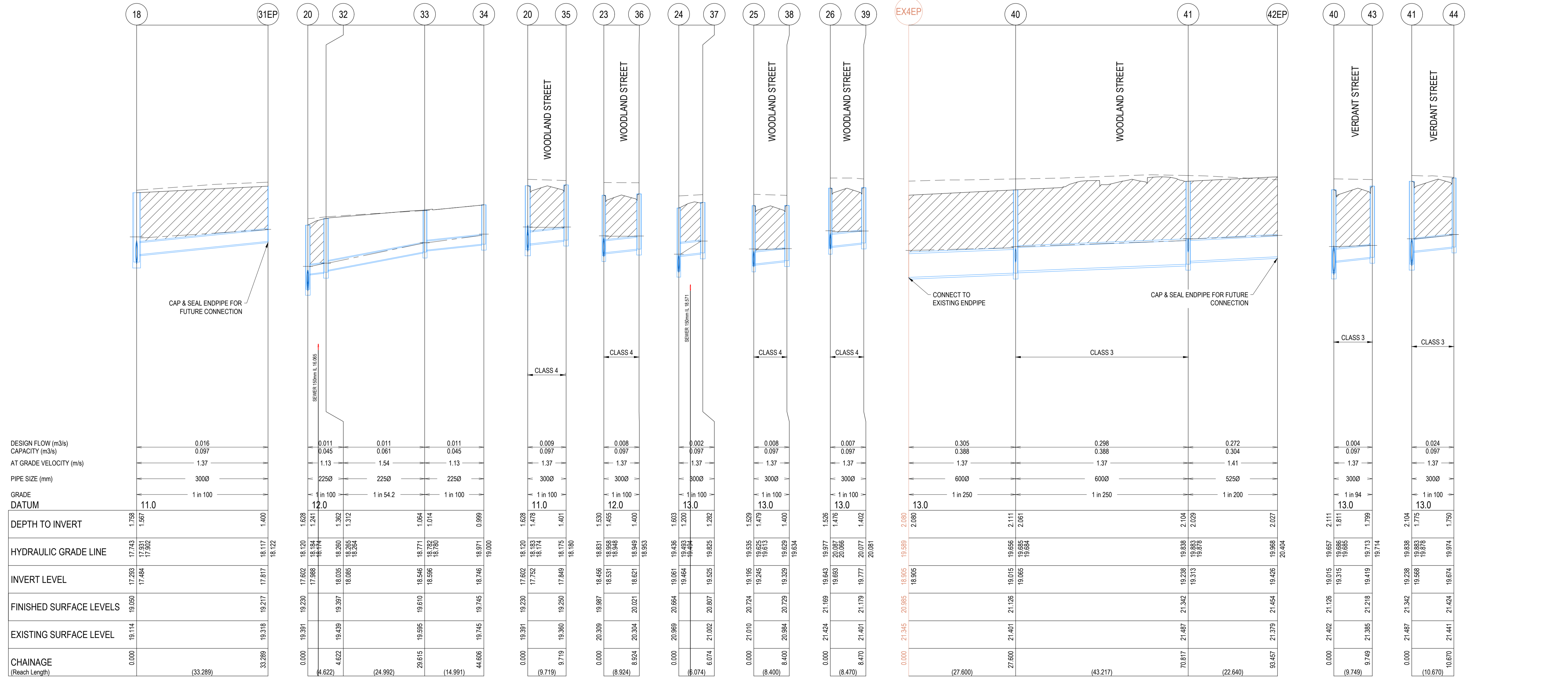


WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES

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CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL



Bradley
SIGNED (CONSULTANT)

A.M.
SIGNED (CONTRACTOR)

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

villawood properties
Communities Designed for Living

creo CONSULTANTS
Suite 1, 2 Bloomsbury Street
Geelong, VIC, Australia 3220

Coridale
LARA

CORIDALE ESTATE - STAGE 17A
DRAINAGE LONGITUDINAL SECTIONS - 3

PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No:	DRAWING No:	REVISION
180014.17A	R602	AC

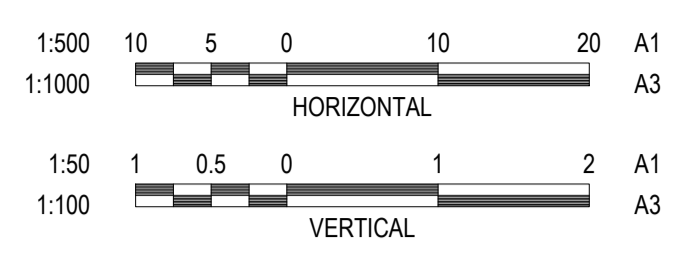
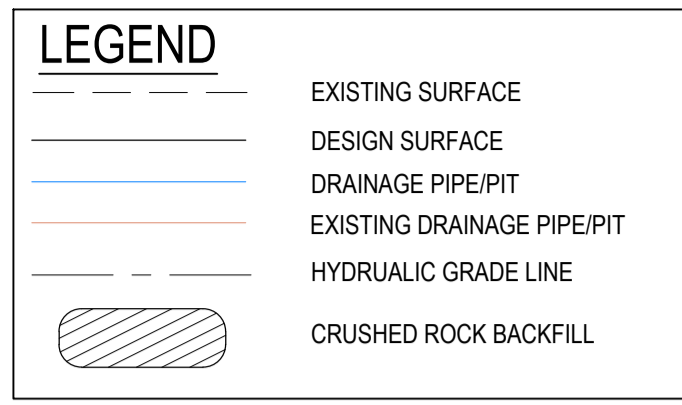
P:\2018\180014_205-245 CHALLONERS RD_LARA\180014_17\DWG\17_DRAINAGE LONG SECTIONS.DWG

NOTES

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WARNING

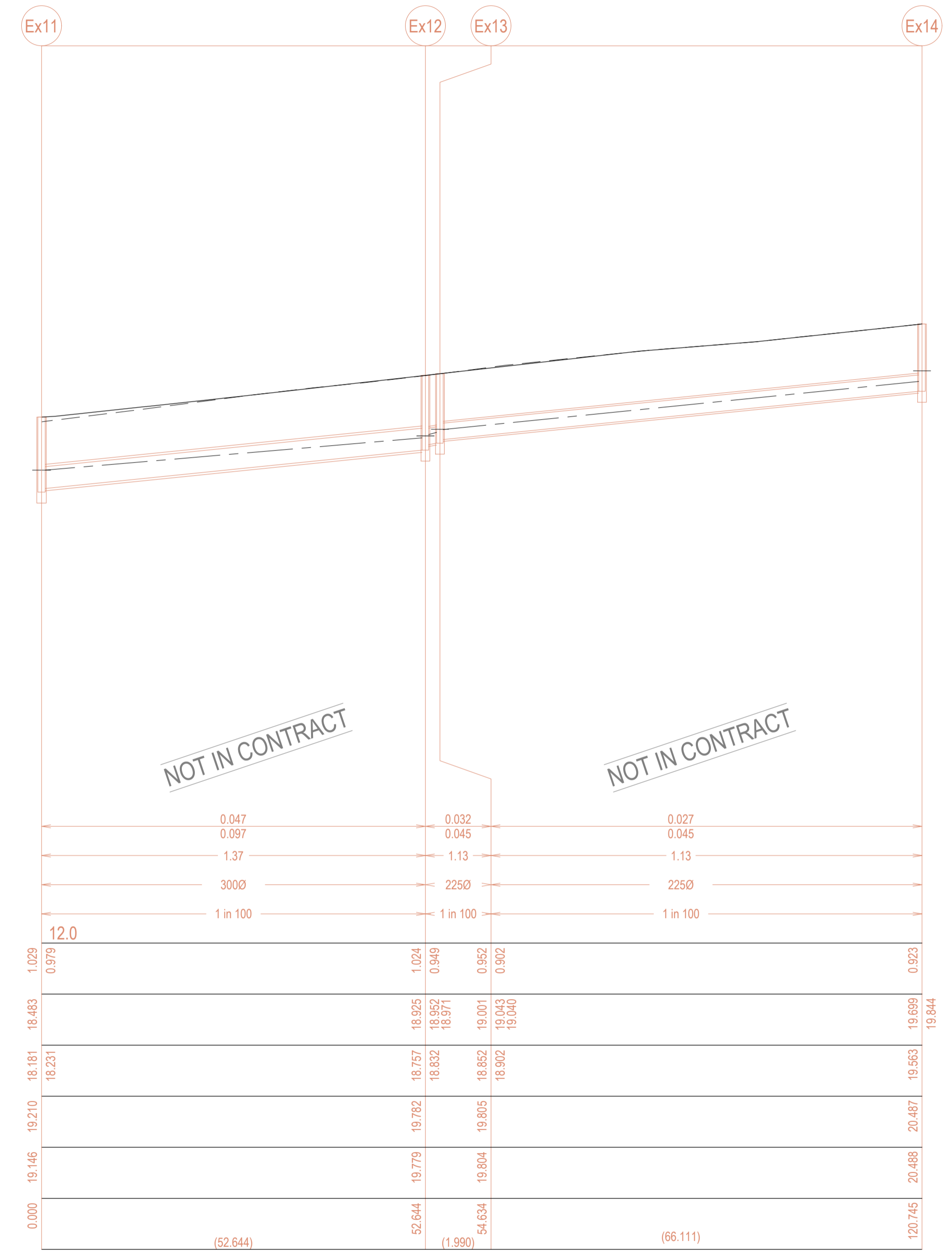
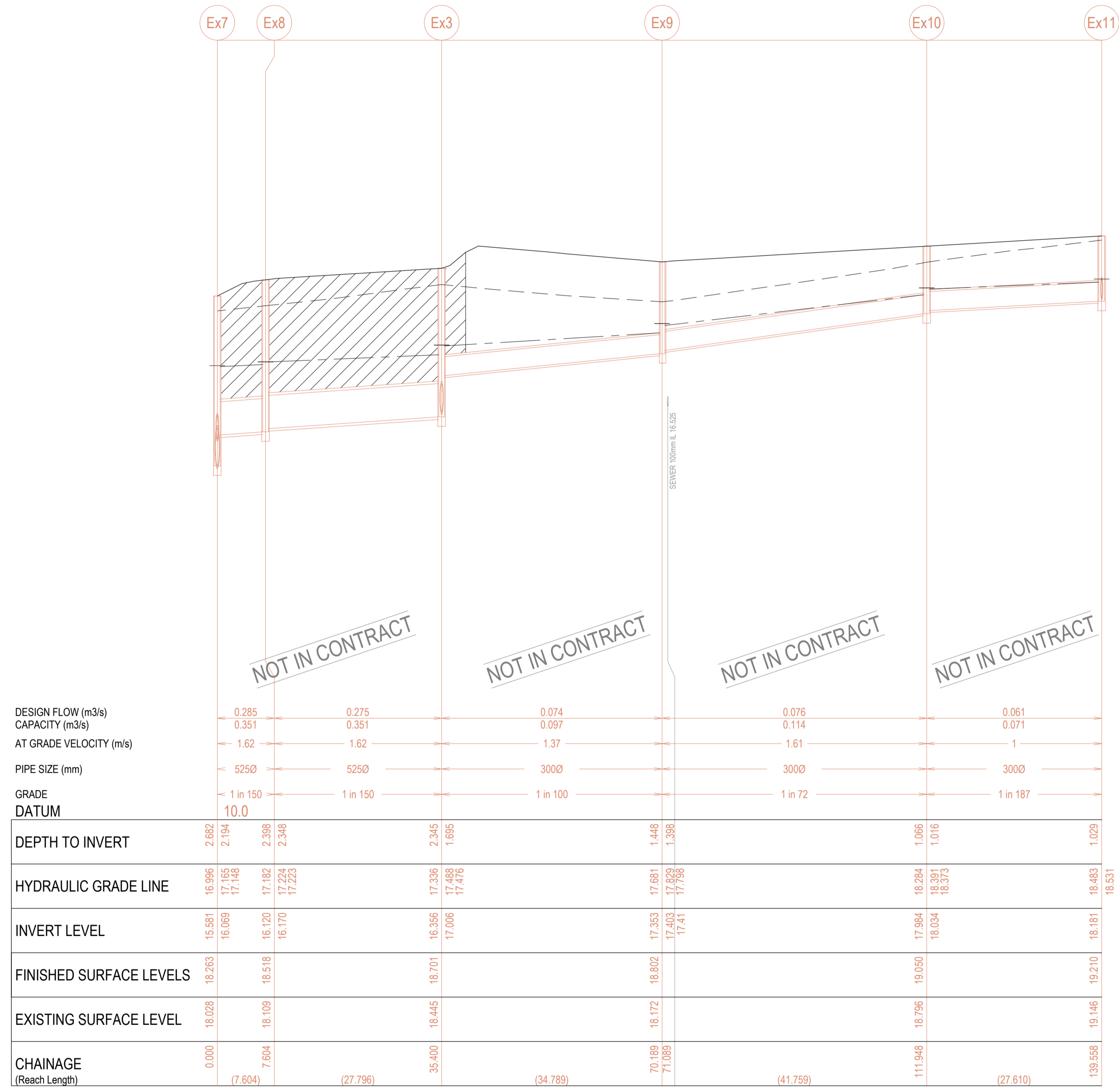
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CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL



NOTE:

IN ACCORDANCE WITH C.O.G.G DESIGN NOTE 8 (DATED JANUARY 2020) EXISTING DRAINAGE LOCATED WITHIN PROPOSED STAGE WORKS ARE REQUIRED TO BE RE-CCTV'D TO CONFIRM NO CONSEQUENTIAL DAMAGE HAS OCCURRED.

Bradley

SIGNED (CONSULTANT)

Alan

SIGNED (CONTRACTOR)

P:\2018\18014 - 205-245 CHALLOWAYS RD LARA\18014 - CIVIL\2 - DRAFTING\CAD\18014_17_1800 - DRAINAGE LONG SECTIONS.DWG

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

villawood
properties

Communities Designed for Living

creo
CONSULTANTS

Suite 1, 2 Bloomsbury Street
Geelong, VIC, Australia 3220

Coridale

LARA

CORIDALE ESTATE - STAGE 17A
DRAINAGE LONGITUDINAL SECTIONS - 4

PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R603	AC

NOTES

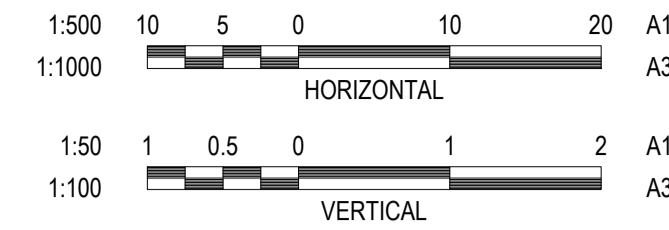
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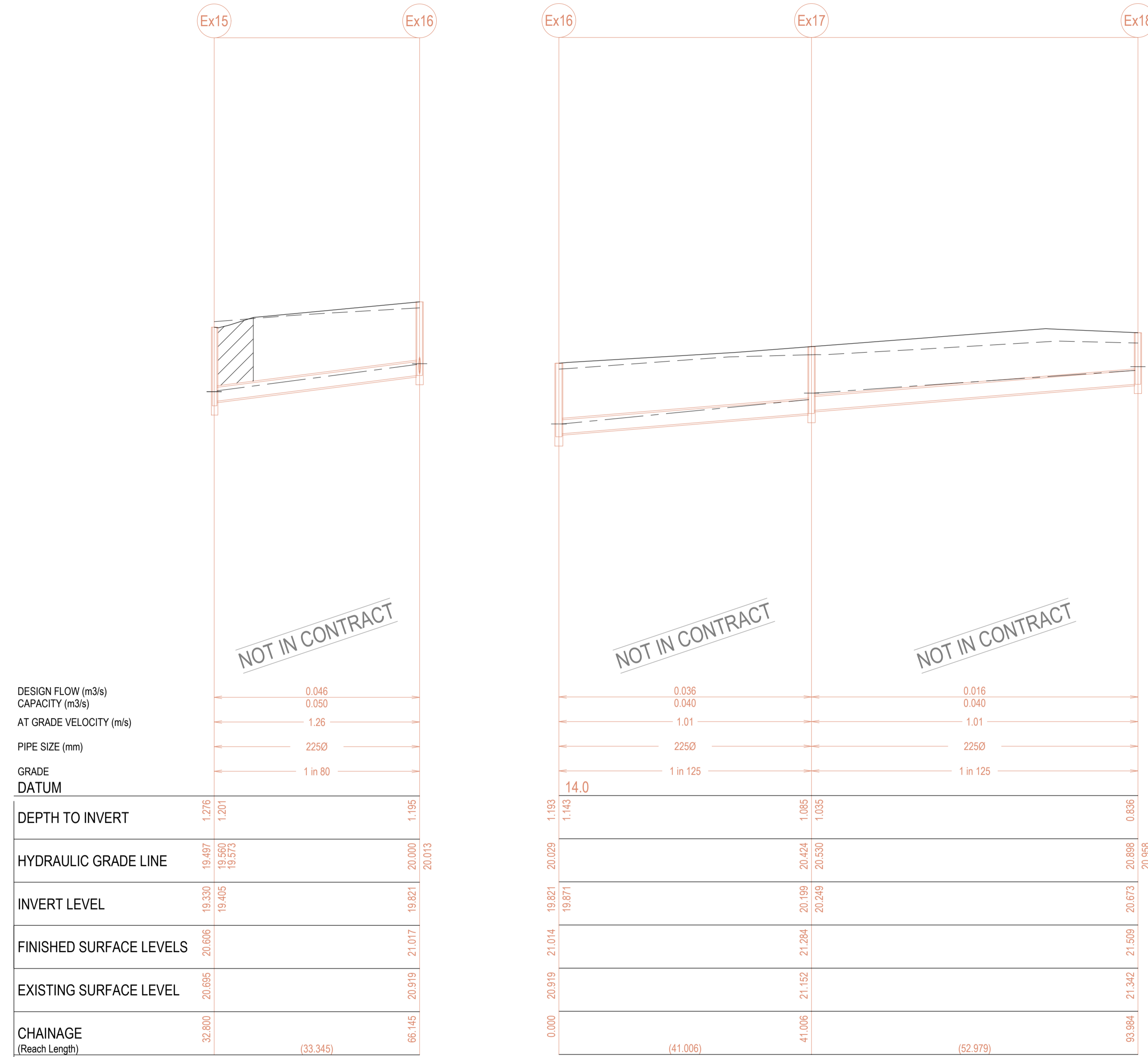
LEGEND

- EXISTING SURFACE
- DESIGN SURFACE
- DRAINAGE PIPE/PIT
- EXISTING DRAINAGE PIPE/PIT
- HYDRUALIC GRADE LINE
- CRUSHED ROCK BACKFILL



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CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL



NOTE:
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Bradley
 SIGNED (CONSULTANT)
Alan
 SIGNED (CONTRACTOR)

P:\2018\18014_205-245 CHALCOWNS RD_LARA\18014_17\DWG\18014_17_1800 - DRAINAGE LONG SECTIONS.DWG

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE



CORIDALE ESTATE - STAGE 17A
DRAINAGE LONGITUDINAL SECTIONS - 5
 PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R604	AC

CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

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NOTE:
 PIT COVERS ARE TO BE PROVIDED IN ACCORDANCE WITH CITY OF GREATER GEELONG DESIGN NOTE 13. ALL PITS WITHIN ROAD RESERVE ARE TO BE CLASS C FIBREGLASS REINFORCED PLASTIC (FRP) UNLESS AGREED OTHERWISE.

NOTE:
 ALL FIBREGLASS REINFORCED PLASTIC (FRP) PIT COVERS ARE TO BE GREY UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.

PIT NAME	TYPE	PIT SCHEDULE										REMARKS
		INTERNAL		INLET		OUTLET		F.S.L. (m)	DEPTH(m)	STANDARD DRAWING		
		WIDTH(mm)	LENGTH(mm)	DIAMETER(mm)	INVERT R.L.(m)	DIAMETER	INVERT R.L.(m)					
Ex1EP	ExENDPIPE	-	-	375	16.015	Ex375	16.015	18.272	2.257	-		CONNECT TO EXISTING ENDDPIPE.
6	SIDE ENTRY PIT	900	900	300	16.566	375	16.231	18.481	2.249	IDM SD 430 & 410		HAUNCHED TO 600x900 COVER.
				300	16.764							
7	SIDE ENTRY PIT	900	900	300	16.738	300	16.688	18.597	1.909	IDM SD 430 & 410		HAUNCHED TO 600x900 COVER.
				300	17.544							
8	SIDE ENTRY PIT	900	900	300	16.863	300	16.813	18.687	1.874	IDM SD 430 & 410		HAUNCHED TO 600x900 COVER.
9	SIDE ENTRY PIT	600	900	300	17.063	300	17.013	18.545	1.532	IDM SD 430		
10	SIDE ENTRY PIT	600	900			300	17.147	18.547	1.400	IDM SD 430		
11EP	ENDPIPE	-	-	Fut300	16.998	300	16.998	18.598	1.600	-		CAP & SEAL FOR FUTURE CONNECTION.
12	SIDE ENTRY PIT	600	900			300	17.584	18.584	1.000	IDM SD 430		
Ex2	ExJUNCTION PIT	600	900	225	16.845	Ex225	16.795	18.025	1.230	-		CONNECT TO EXISTING BLOCKOUT
13	JUNCTION PIT	600	900			225	17.349	18.349	1.000	IDM SD 425		
Ex3	ExDEPRESSED GRATED PIT	900	900	450	16.431	Ex525	16.356	18.711	2.355	IDM SD 455		CONNECT TO EXISTING BLOCKOUT. PROVIDE PERMANENT COVER TO SUIT FINISHED SURFACE LEVELS.
14	DEPRESSED GRATED PIT	900	900	450	16.514	450	16.464	18.773	2.309	IDM SD 455 & 410		HAUNCHED TO 600x900 COVER.
				225	17.516							
15	DEPRESSED GRATED PIT	900	900	450	16.592	450	16.542	18.743	2.201	IDM SD 455 & 410		HAUNCHED TO 600x900 COVER.
16	DEPRESSED GRATED PIT	900	900	450	16.755	450	16.705	18.848	2.144	IDM SD 455 & 410		HAUNCHED TO 600x900 COVER.
17	DOUBLE SIDE ENTRY PIT	900	1900	450	17.229	450	16.833	19.020	2.186	IDM SD 445 & 410		HAUNCHED TO 2No.600x900 COVER.
18	DOUBLE SIDE ENTRY PIT	900	1900	450	17.344	450	17.293	19.050	1.758	IDM SD 445 & 410		HAUNCHED TO 2No.600x900 COVER.
				300	17.484							
19	SIDE ENTRY PIT	900	900	450	17.470	450	17.420	19.115	1.695	IDM SD 430 & 410		HAUNCHED TO 600x900 COVER.
20	SIDE ENTRY PIT	900	900	375	17.678	450	17.602	19.230	1.628	IDM SD 430 & 410		HAUNCHED TO 600x900 COVER.
				225	17.988							
				300	17.752							
21TP	TANGENT POINT	-	-	375	18.189	375	18.189	19.693	1.504	-		IN ACCORDANCE WITH HUMES CONCRETE PIPE SPECIFICATIONS. (E:269197.841, N: 5789284.882)
22TP	TANGENT POINT	-	-	375	18.401	375	18.401	19.931	1.530	-		IN ACCORDANCE WITH HUMES CONCRETE PIPE SPECIFICATIONS. (E:269198.247, N: 5789264.328)
23	SIDE ENTRY PIT	600	900	375	18.506	375	18.456	19.987	1.530	IDM SD 430		
				300	18.531							
24	SIDE ENTRY PIT	600	900	300	19.136	375	19.061	20.664	1.603	IDM SD 430		
				300	19.464							
25	SIDE ENTRY PIT	600	900	300	19.245	300	19.195	20.724	1.529	IDM SD 430		
				300	19.245							
26	SIDE ENTRY PIT	600	900	300	19.693	300	19.643	21.169	1.526	IDM SD 430		
				300	19.693							
27	SIDE ENTRY PIT	600	900	225	20.131	300	20.056	21.348	1.292	IDM SD 430		
28	JUNCTION PIT	600	900			225	20.542	21.542	1.000	IDM SD 425		
29	JUNCTION PIT	600	900	225	17.645	225	17.595	19.017	1.422	IDM SD 425		
30	JUNCTION PIT	600	900	Fut225	18.275	225	18.225	19.225	1.000	IDM SD 425		PROVIDE 225Ø BLOCKOUT IN WEST WALL AT IL18.275 FOR FUTURE CONNECTION.
31EP	ENDPIPE	-	-	Fut300	17.817	300	17.817	19.217	1.400	-		CAP & SEAL FOR FUTURE CONNECTION.
32	JUNCTION PIT	600	900	225	18.085	225	18.035	19.397	1.362	IDM SD 425		
33	JUNCTION PIT	600	900	225	18.596	225	18.546	19.610	1.064	IDM SD 425		
34	JUNCTION PIT	600	900			225	18.746	19.745	0.999	IDM SD 425		
35	SIDE ENTRY PIT	600	900			300	17.849	19.250	1.401	IDM SD 430		
36	SIDE ENTRY PIT	600	900			300	18.621	20.021	1.400	IDM SD 430		
37	DEPRESSED GRATED PIT	600	900			300	19.525	20.807	1.282	IDM SD 455		
38	SIDE ENTRY PIT	600	900			300	19.329	20.729	1.400	IDM SD 430		
39	SIDE ENTRY PIT	600	900			300	19.777	21.179	1.402	IDM SD 430		
Ex4EP	ExENDPIPE	-	-	600	18.905	Ex600	18.905	20.985	2.080	-		CONNECT TO EXISTING ENDDPIPE.
40	SIDE ENTRY PIT	900	900	600	19.065	600	19.015	21.126	2.111	IDM SD 430 & 410		HAUNCHED TO 600x900 COVER.
				300	19.315							
41	SIDE ENTRY PIT	900	900	525	19.313	600	19.238	21.342	2.104	IDM SD 430 & 410		HAUNCHED TO 600x900 COVER.
				300	19.568							
42EP	ENDPIPE	-	-	Fut525	IL19.426	525	19.426	21.454	2.027	-		CAP & SEAL FOR FUTURE CONNECTION.
43	SIDE ENTRY PIT	600	900			300	19.419	21.218	1.799	IDM SD 430		
44	SIDE ENTRY PIT	600	900			300	19.674	21.424	1.750	IDM SD 430		

P:201818014_205-245 CHALLOANS RD_LARA18014_TPCIVIL2_DRAFTINGCAD18014_17_1800 - DRAINAGE LONG SECTIONS.DWG

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE



CORIDALE ESTATE - STAGE 17A DRAINAGE PIT SCHEDULE
 PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

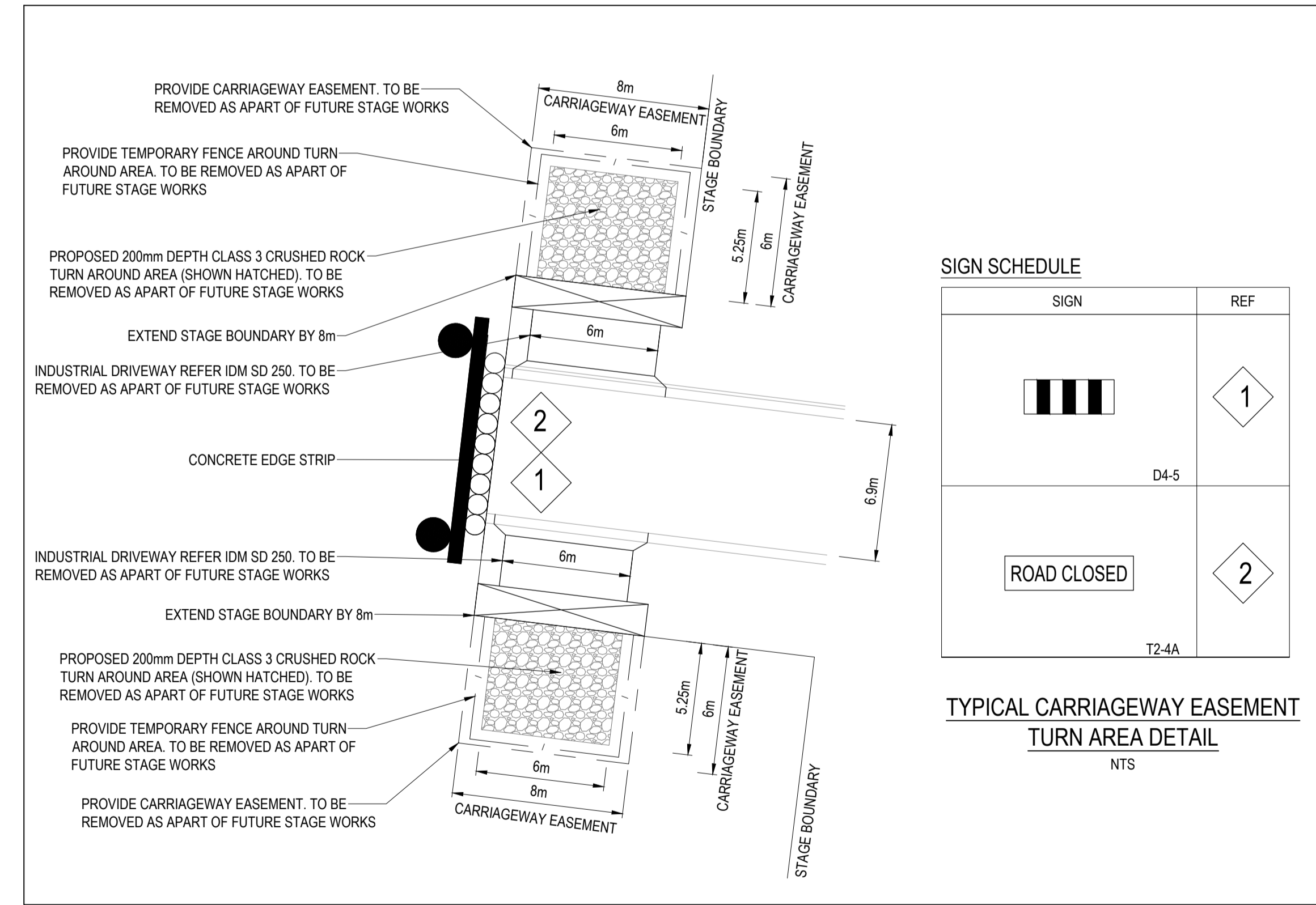
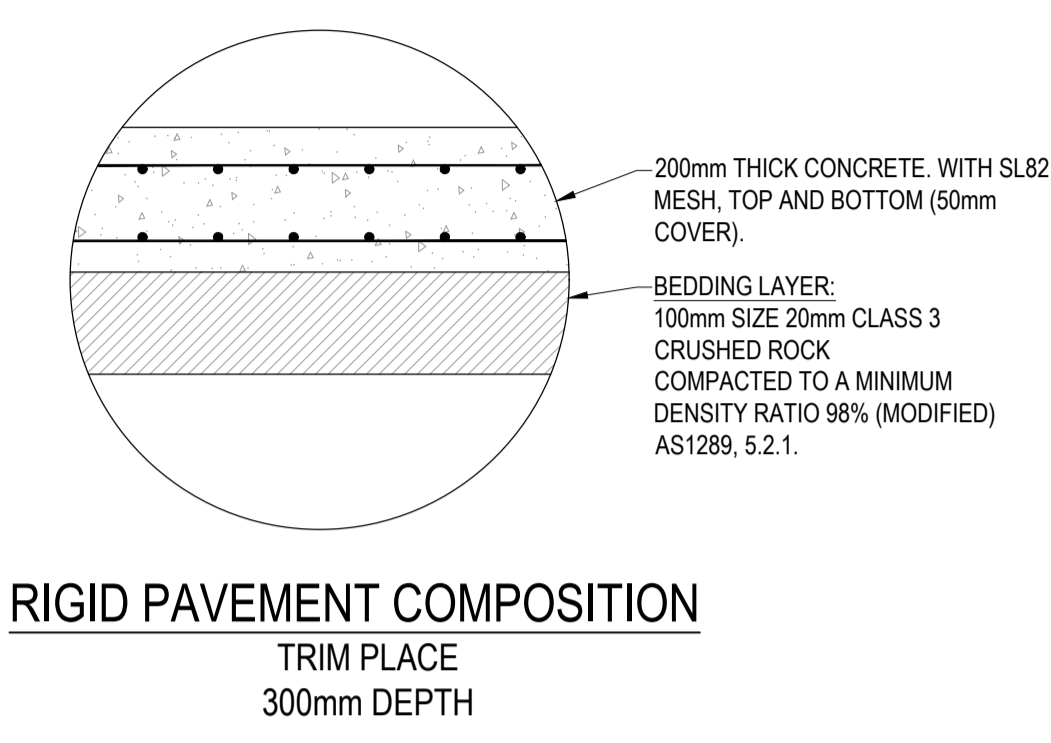
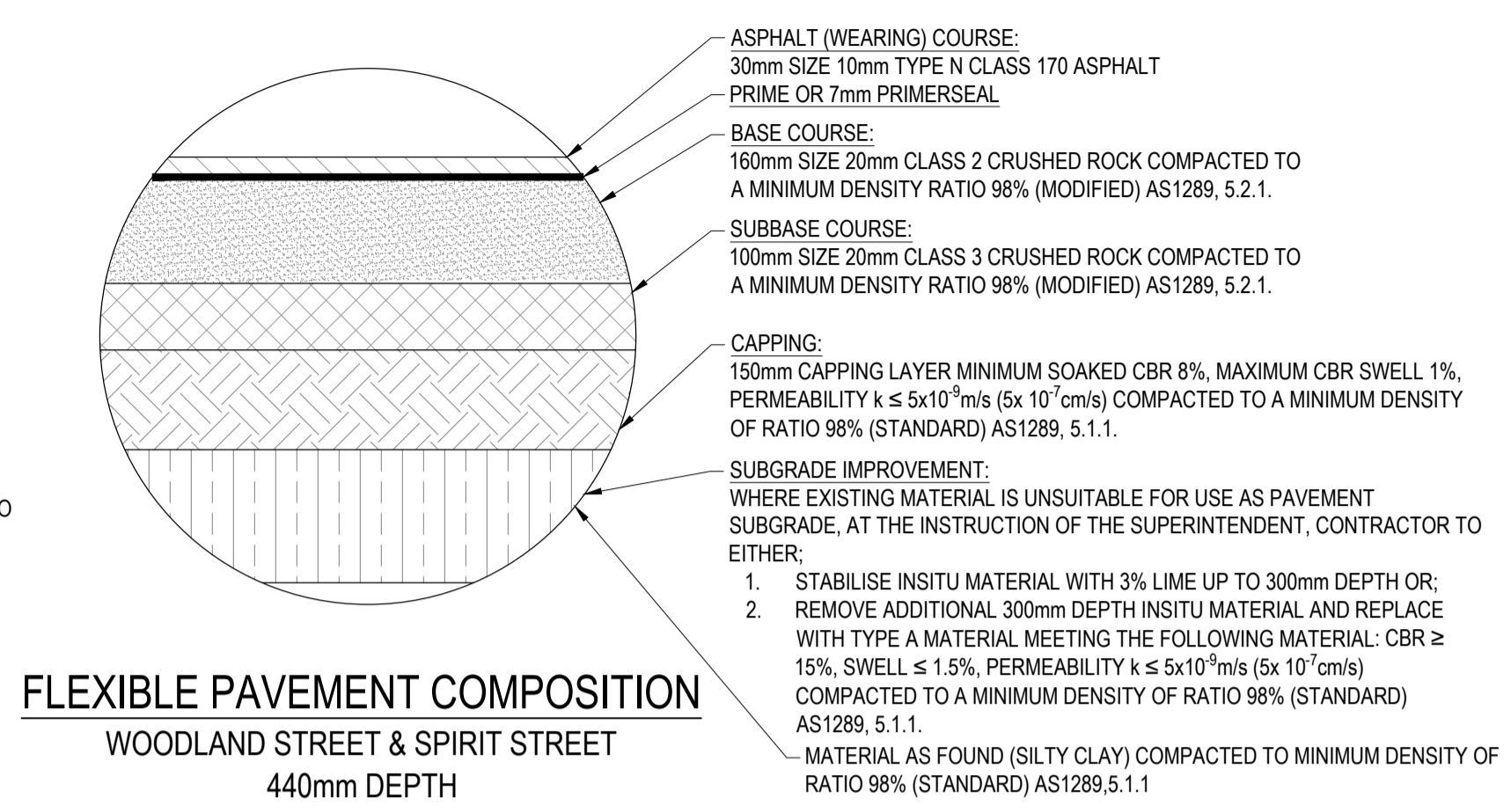
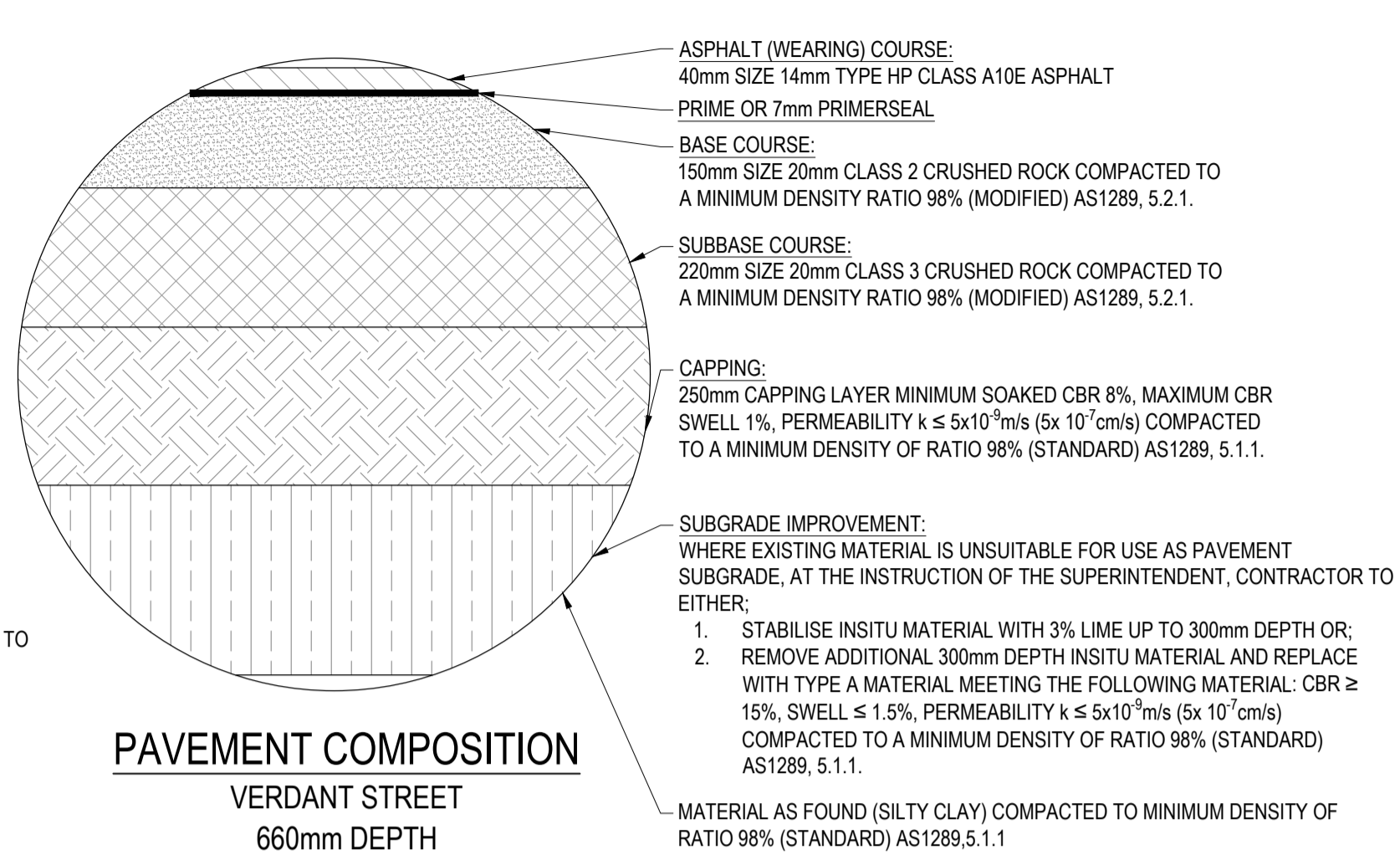
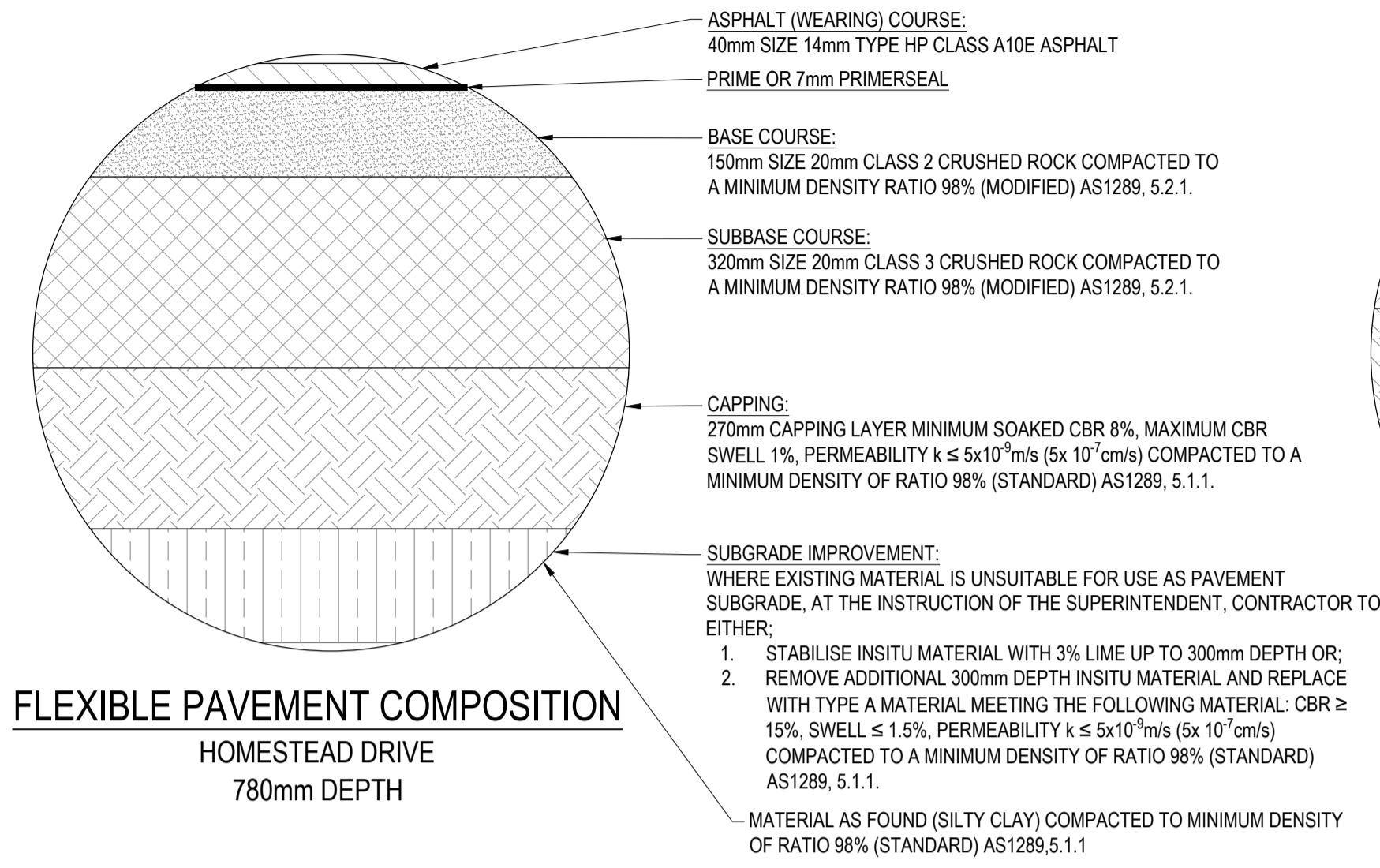
Bradon Leach
 SIGNED (CONSULTANT)
Alan
 SIGNED (CONTRACTOR)

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R605	AC

PAVEMENT NOTE
THE CITY OF GREATER GEELONG DOES NOT ACCEPT UTILISATION OF RECYCLED CONCRETE WITHIN PAVEMENT LAYERS

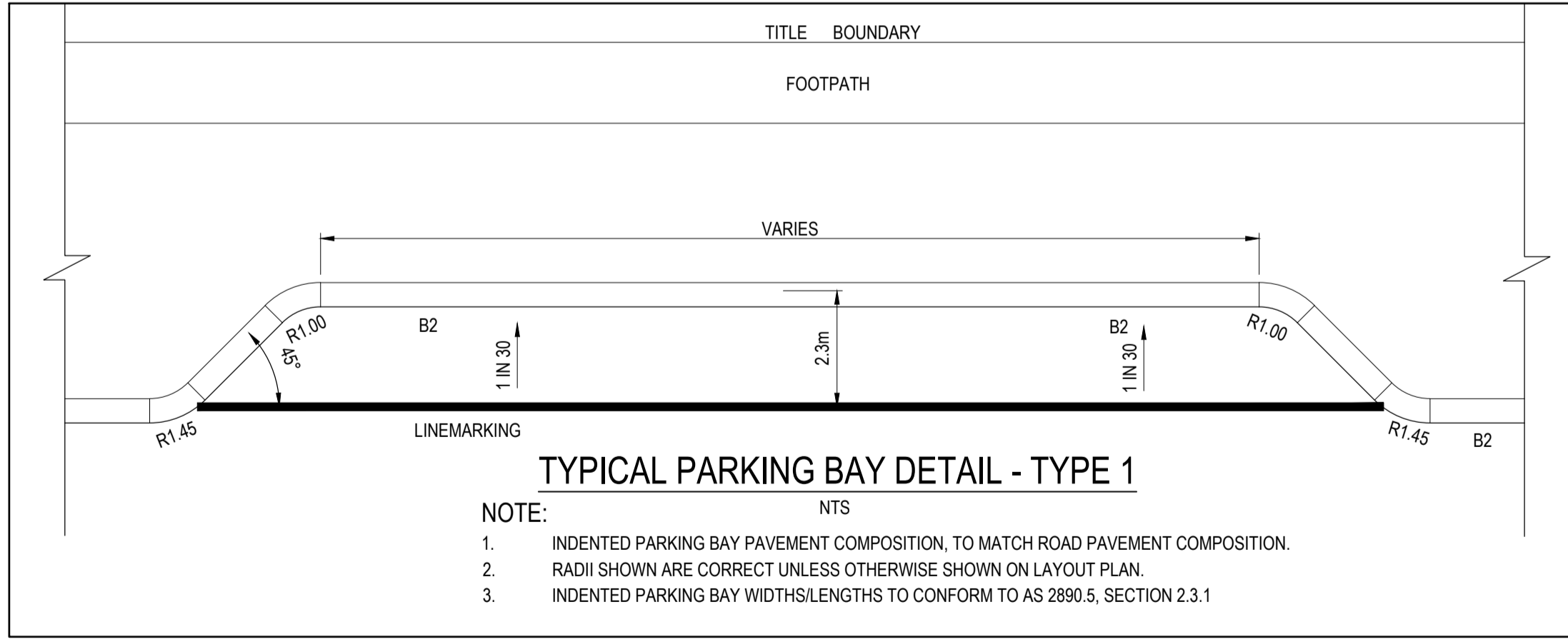
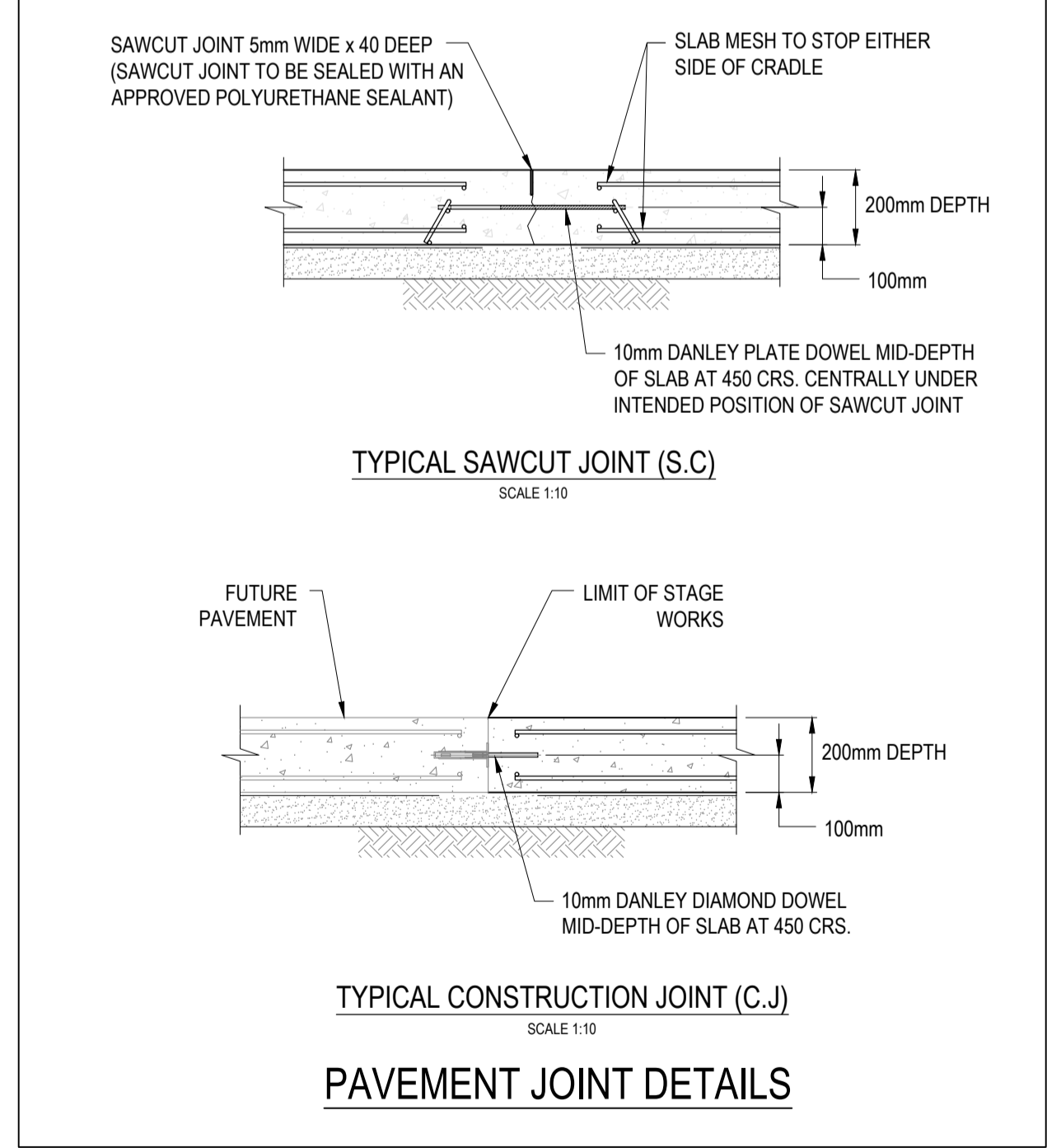
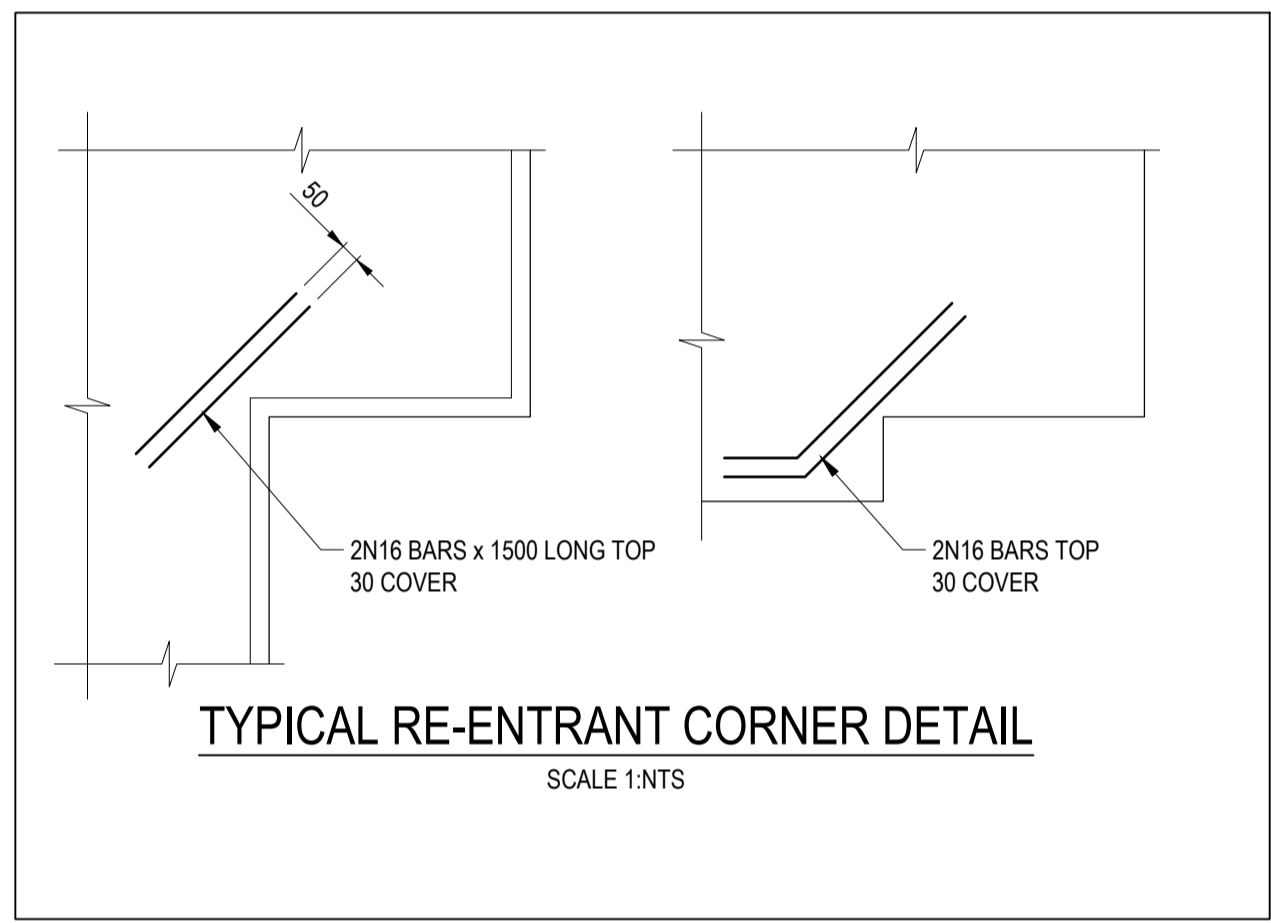
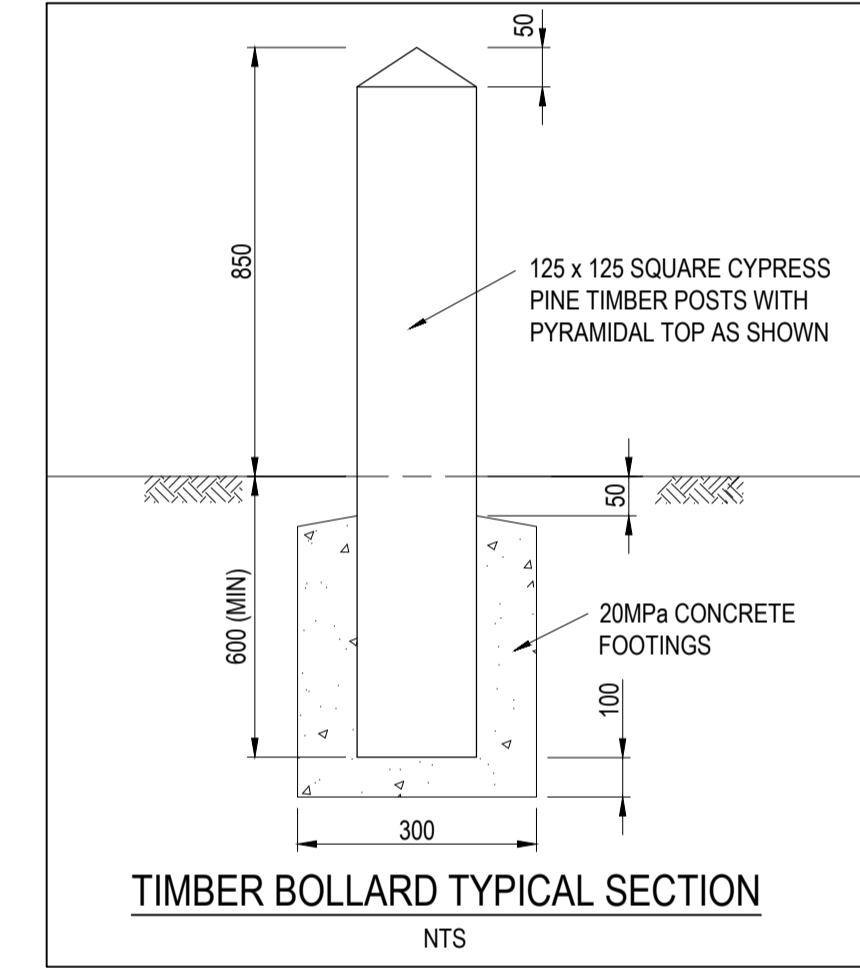
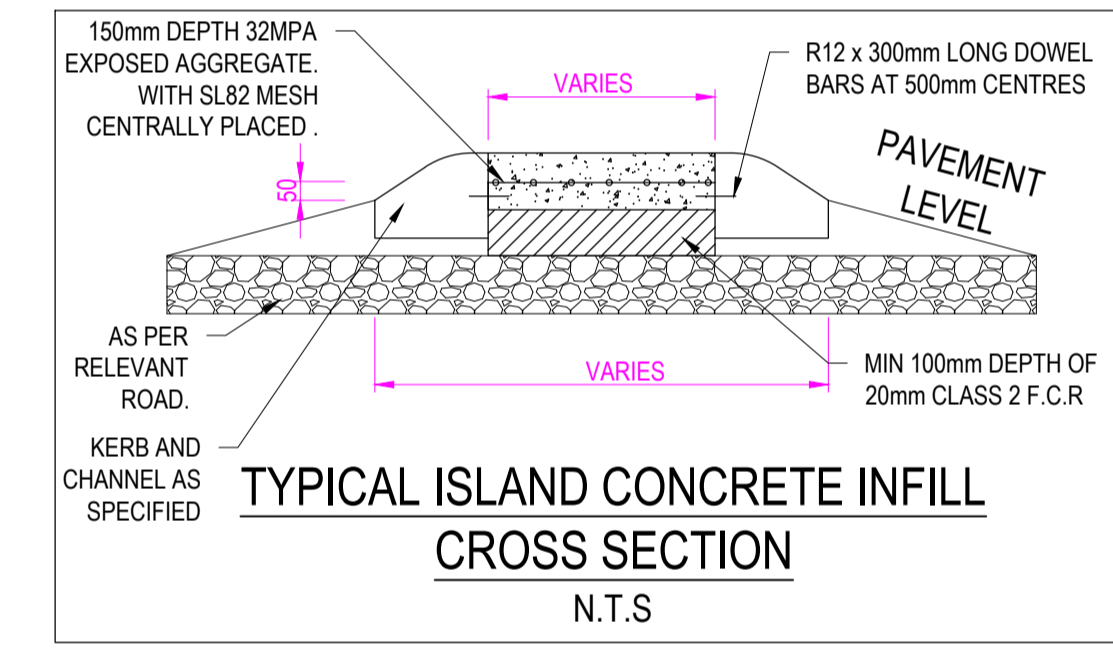
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CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL



SIGN SCHEDULE

SIGN	REF
	1
D4-5	
	2
T2-4A	



Bradley
SIGNED (CONSULTANT)

Alan
SIGNED (CONTRACTOR)

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE



CORIDALE ESTATE - STAGE 17A
TYPICAL DETAILS

PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R700	AC

WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES
 The locations of underground & overhead services are approximate only & their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works
DIAL 1100 BEFORE YOU DIG
 www.1100.com.au

CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

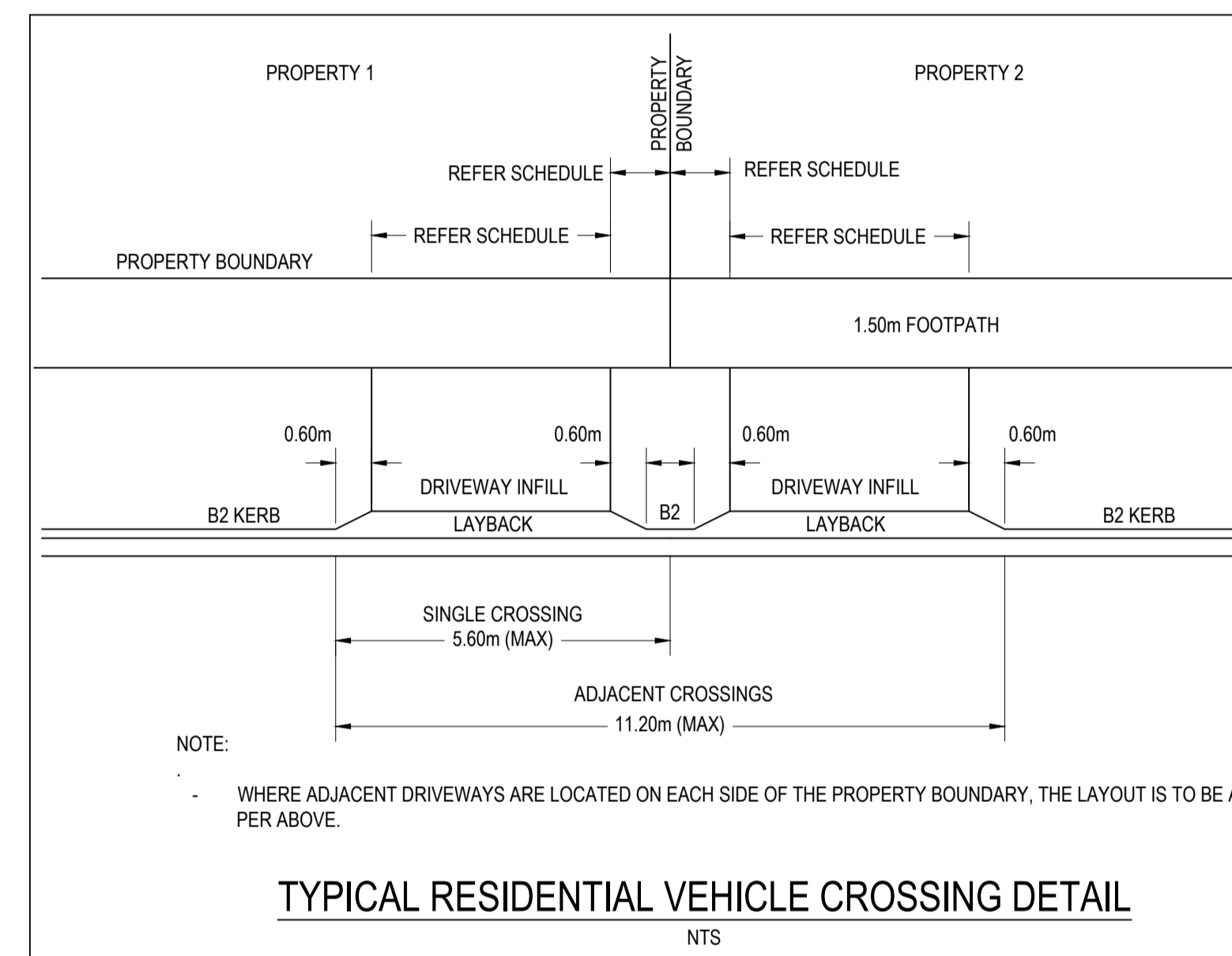
LOT NO.	CROSS OVER WIDTH (m)	CROSS OVER OFFSET (m)	CROSS OVER LOCATION
1701	4	1	WEST BL
1702	4	1	EAST BL
1703	4	1	EAST BL
1704	4	1	EAST BL
1705	4	1	EAST BL
1706	4	1	WEST BL
1707	3.7	0.8	EAST BL
1708	3.7	0.8	EAST BL
1709	4	1	WEST BL
1710	5	0	SOUTH BL
1711	5	0	NORTH BL
1712	4	1	SOUTH BL
1713	4	1	NORTH BL
1714	3.7	1	NORTH BL
1715	4	1	SOUTH BL
1716	4	1	NORTH BL
1717	4	1	SOUTH BL
1718	4	1	NORTH BL
1719	4	1	NORTH BL
1720	4	1	NORTH BL
1721	4	1	NORTH BL
1722	4	1	NORTH BL
1723	4	1	NORTH BL
1724	4	1	NORTH BL
1725	4	1	SOUTH BL
1726	4	1	NORTH BL
1727	4	1	NORTH BL
1728	4	1	NORTH BL
1729	4	1	NORTH BL
1730	3.7	1	NORTH BL
1731	4	1	NORTH BL
1732	4	1	NORTH BL
1733	4	1	NORTH BL
1734	4	1	EAST BL
1735	3.7	1	EAST BL
1736	3.7	0.8	EAST BL
1737	3.7	0.8	EAST BL
1748	4	1	EAST BL
1749	4	1	WEST BL
1750	4	1	NORTH BL
1751	4	1	NORTH BL
1752	3.7	1	NORTH BL
1753	4	1	NORTH BL
1754	4	1	NORTH BL
1755	4	1	NORTH BL
1756	4	1	NORTH BL
1757	4	1	SOUTH BL
1758	4	1	NORTH BL
1759	4	1	NORTH BL
1760	4	1	NORTH BL
1761	4	1	NORTH BL
1762	4	1	NORTH BL
1763	4	1	SOUTH BL
1764	4	1	NORTH BL
1765	4	1	NORTH BL
1766	4	1	NORTH BL
1767	4	1	NORTH BL
1768	3.7	0.8	WEST BL
1769	4	1	EAST BL

1

1

1

1



Bradon Leach
 SIGNED (CONSULTANT)
Alan
 SIGNED (CONTRACTOR)

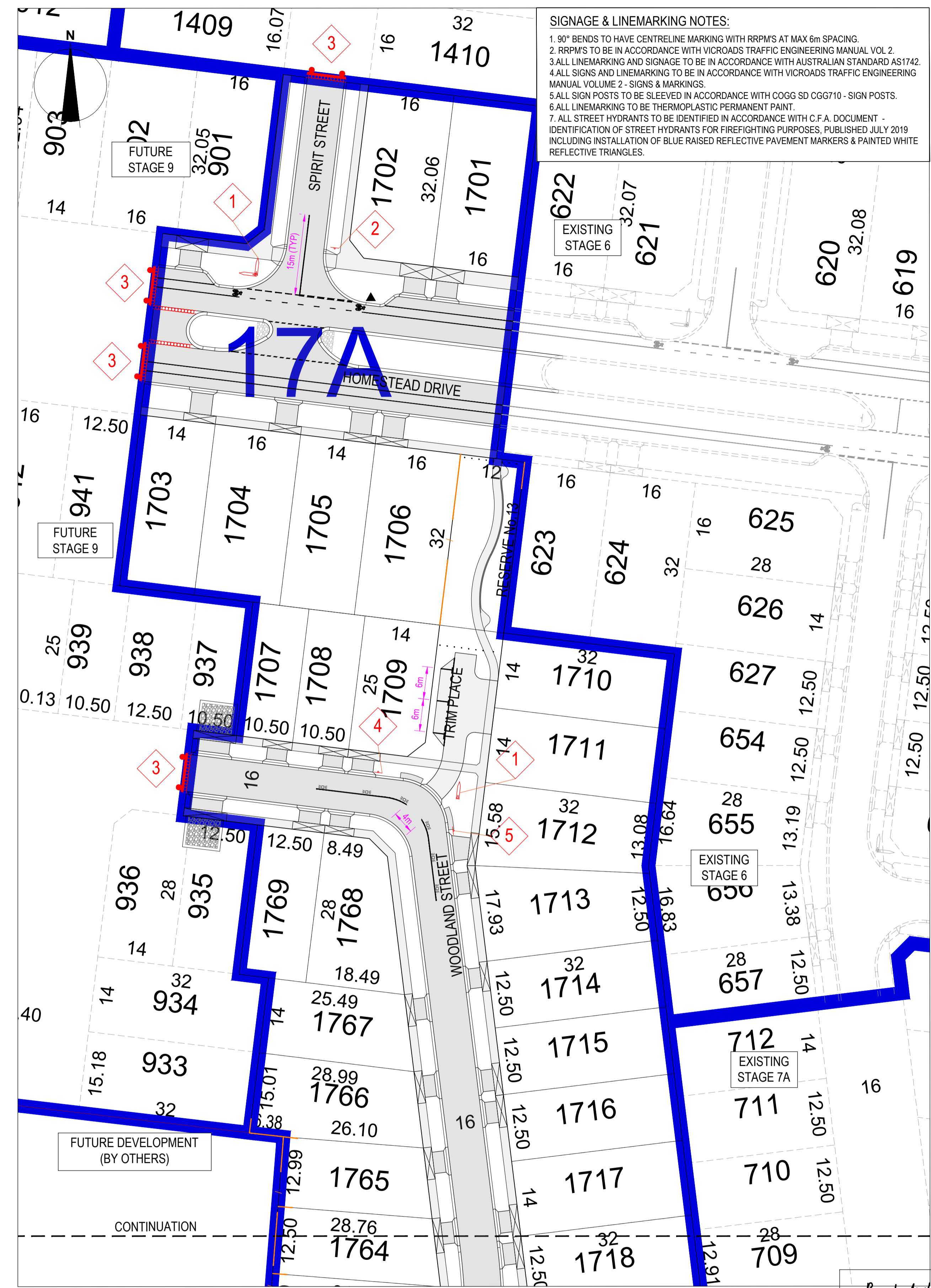
REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
1	08/08/2022	CROSSOVER WIDTH CHANGES	B.LEECH	C.O'LOUGHLIN	C.O'LOUGHLIN
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE



CORIDALE ESTATE - STAGE 17A
CROSS OVER DETAILS
 PLANNING PERMIT No: PP-496-2018

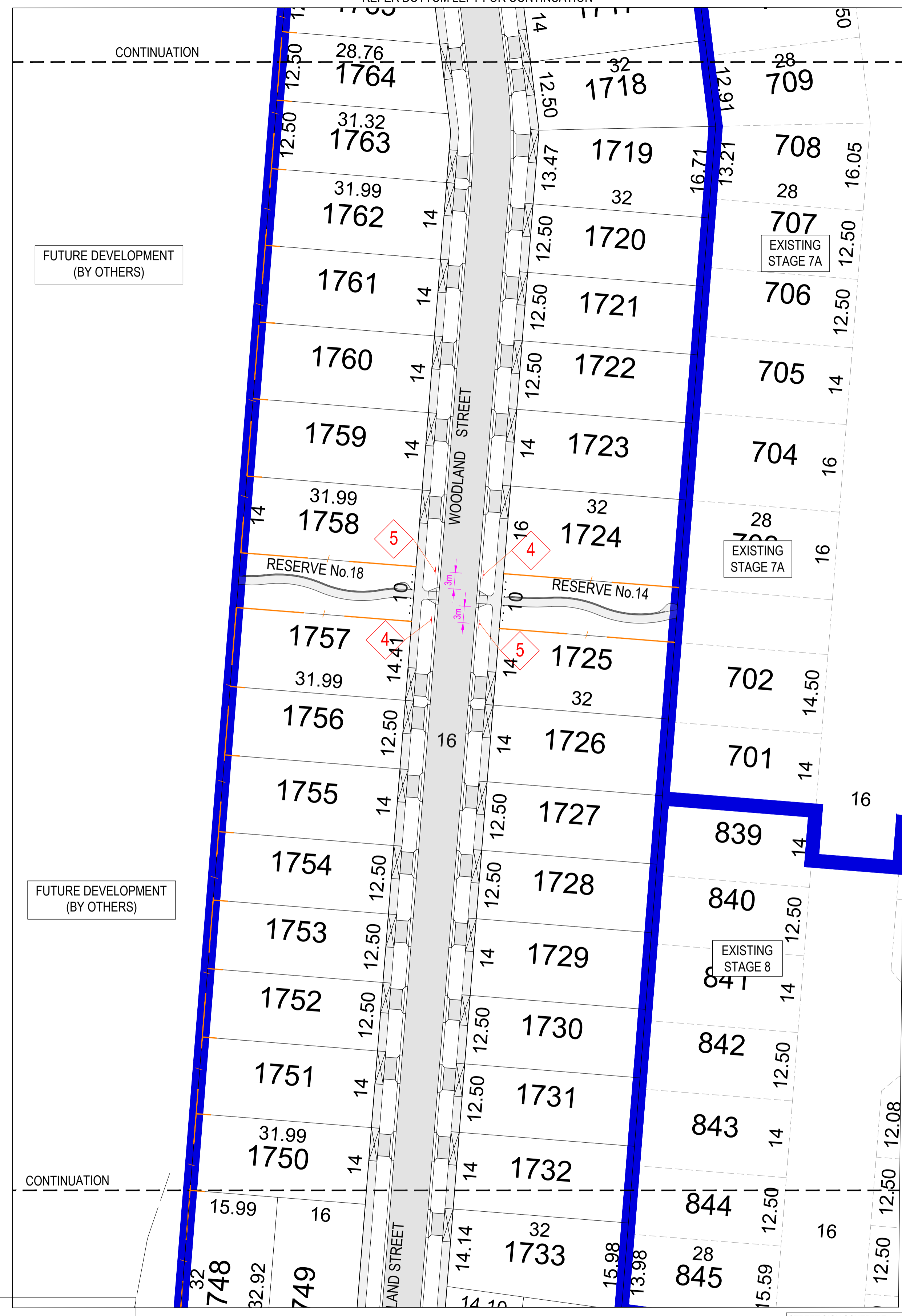
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R701	AC



SIGNAGE & LINEMARKING NOTES:

- 90° BENDS TO HAVE CENTRELINE MARKING WITH RRPMS AT MAX 6m SPACING.
- RRPM'S TO BE IN ACCORDANCE WITH VICROADS TRAFFIC ENGINEERING MANUAL VOL 2.
- ALL LINEMARKING AND SIGNAGE TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1742.
- ALL SIGNS AND LINEMARKING TO BE IN ACCORDANCE WITH VICROADS TRAFFIC ENGINEERING MANUAL VOLUME 2 - SIGNS & MARKINGS.
- ALL SIGN POSTS TO BE SLEEVED IN ACCORDANCE WITH COGG SD CGG710 - SIGN POSTS.
- ALL LINEMARKING TO BE THERMOPLASTIC PERMANENT PAINT.
- ALL STREET HYDRANTS TO BE IDENTIFIED IN ACCORDANCE WITH C.F.A. DOCUMENT - IDENTIFICATION OF STREET HYDRANTS FOR FIREFIGHTING PURPOSES, PUBLISHED JULY 2019 INCLUDING INSTALLATION OF BLUE RAISED REFLECTIVE PAVEMENT MARKERS & PAINTED WHITE REFLECTIVE TRIANGLES.



FUTURE DEVELOPMENT (BY OTHERS)

FUTURE DEVELOPMENT (BY OTHERS)

REFER SHEET R801 FOR CONTINUATION

REFER TOP RIGHT FOR CONTINUATION



Bradley
SIGNED (CONSULTANT)

M
SIGNED (CONTRACTOR)

LEGEND

1.8m HIGH CAPPED TIMBER PALING FENCE INCLUDING 190 x 35 H4 TREATED PINE PLINTH

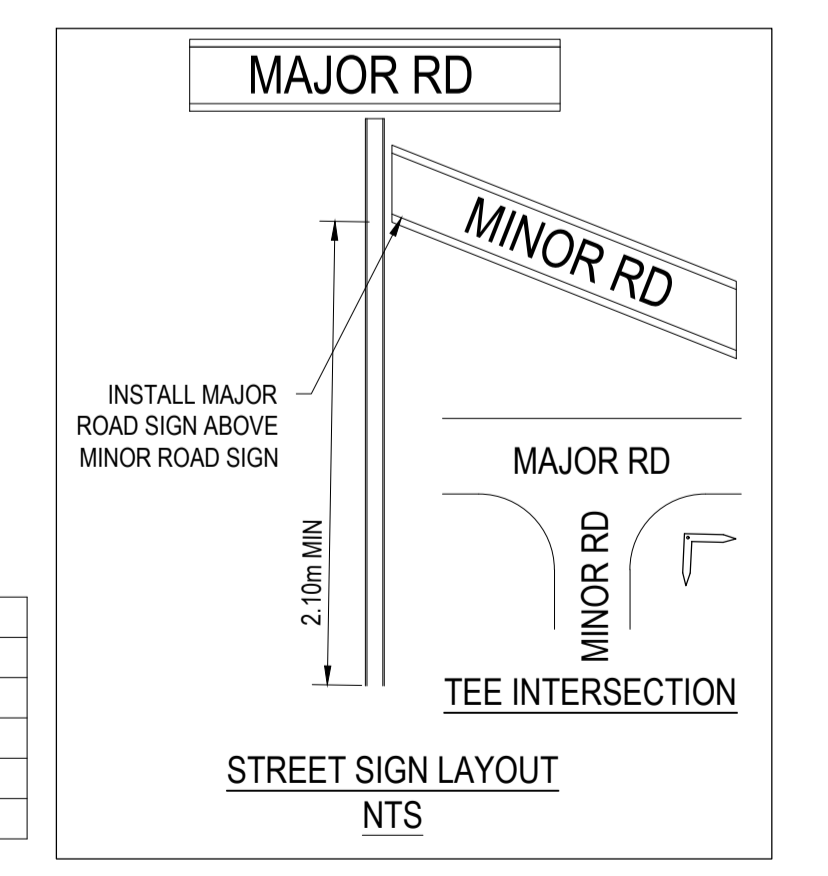
STREET SIGN SCHEDULE

HOMESTEAD DR	1No.
VERDANT ST	1No.
SPIRIT ST	1No.
WOODLAND ST	1No.
TRIM PL	1No.

CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

SIGN SCHEDULE

SIGN	REF	QUANTITY
	1	REFER TABLE
STREET SIGN (G5 SERIES)		
	2	2No.
	3	5No.
	4	3No.
	5	3No.
	6	2No.
TWO WAY RRPMS	AS SHOWN	6No.



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE



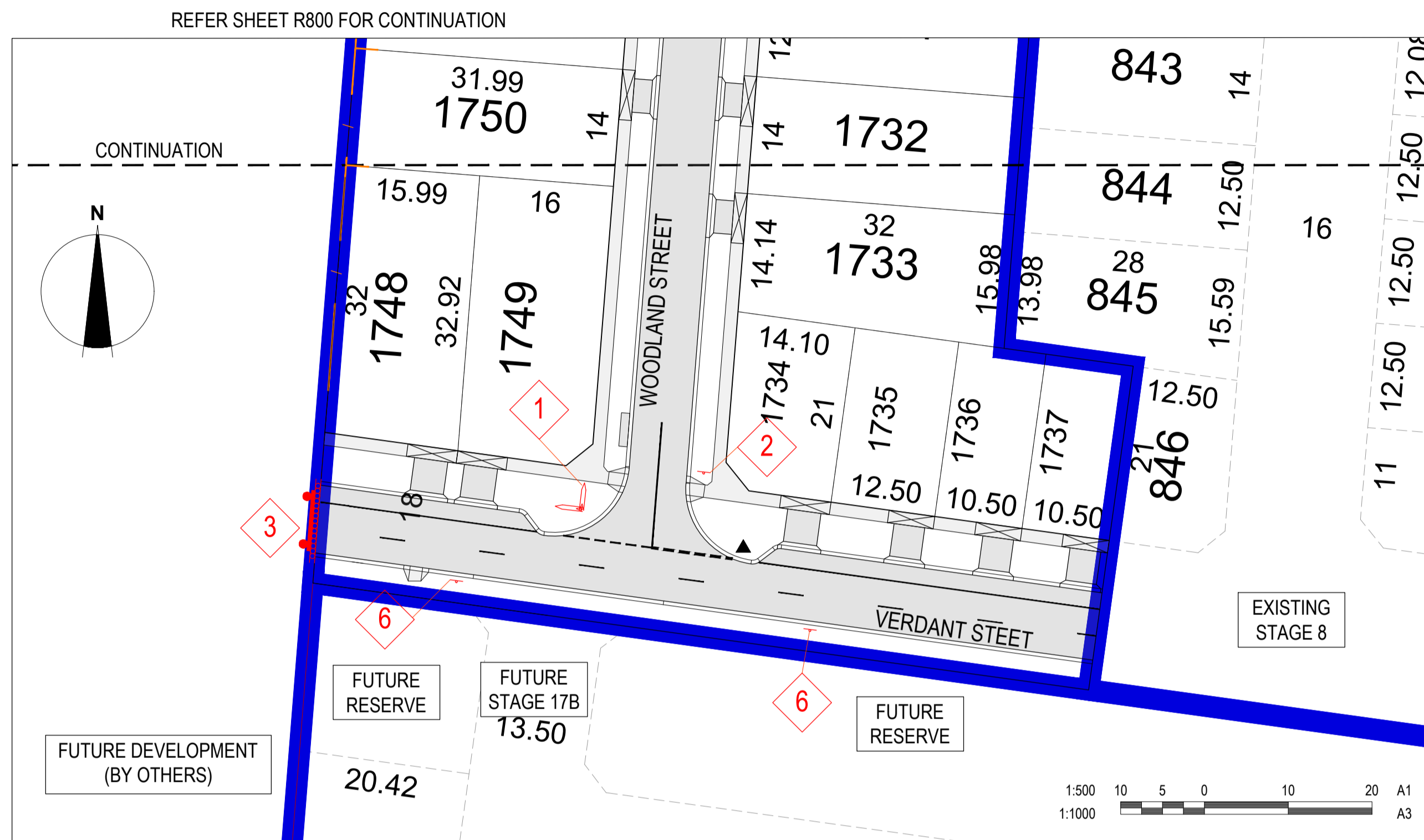
CORIDALE ESTATE - STAGE 17A
SIGNAGE & LINEMARKING PLAN - 1

PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
1:500 @ A1	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R800	AC

CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL



SIGN SCHEDULE

SIGN	REF	QUANTITY
	1	REFER TABLE
STREET SIGN (G5 SERIES)		
	2	2No.
ROAD CLOSED	3	5No.
	4	4No.
	5	3No.
	6	2No.
TWO WAY RRPMS	AS SHOWN	6No.

SIGNAGE & LINEMARKING NOTES:

- 90° BENDS TO HAVE CENTRELINE MARKING WITH RRPMS AT MAX 6m SPACING.
- RRPMS TO BE IN ACCORDANCE WITH VICROADS TRAFFIC ENGINEERING MANUAL VOL 2.
- ALL LINEMARKING AND SIGNAGE TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1742.
- ALL SIGNS AND LINEMARKING TO BE IN ACCORDANCE WITH VICROADS TRAFFIC ENGINEERING MANUAL VOLUME 2 - SIGNS & MARKINGS.
- ALL SIGN POSTS TO BE SLEEVED IN ACCORDANCE WITH COGG SD C6G710 - SIGN POSTS.
- ALL LINEMARKING TO BE THERMOPLASTIC PERMANENT PAINT.
- ALL STREET HYDRANTS TO BE IDENTIFIED IN ACCORDANCE WITH C.F.A. DOCUMENT - IDENTIFICATION OF STREET HYDRANTS FOR FIREFIGHTING PURPOSES, PUBLISHED JULY 2019 INCLUDING INSTALLATION OF BLUE RAISED REFLECTIVE PAVEMENT MARKERS & PAINTED WHITE REFLECTIVE TRIANGLES.

Bradley
SIGNED (CONSULTANT)

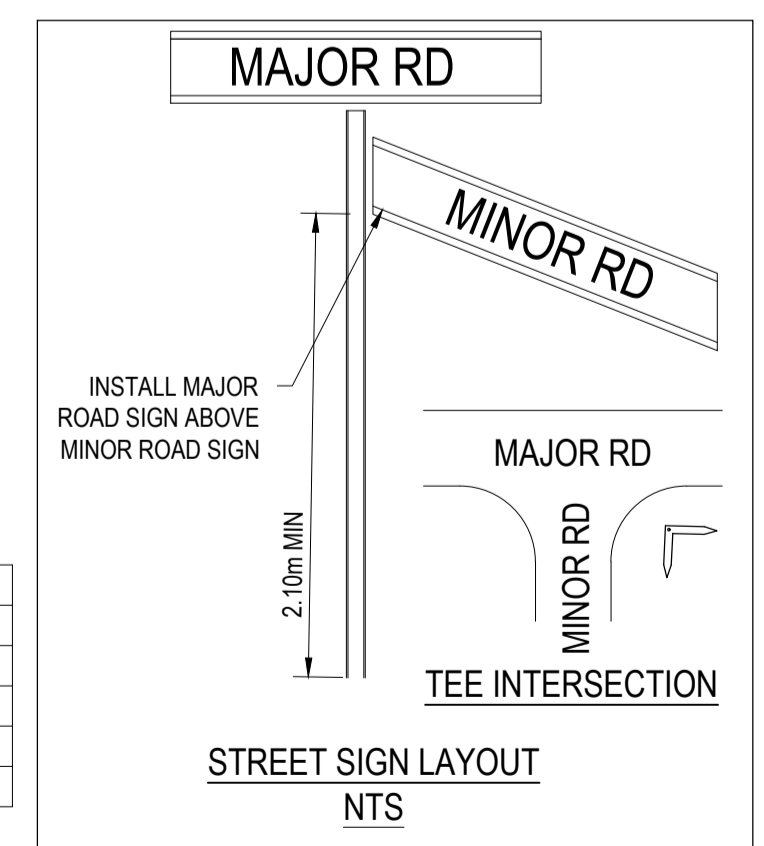
AM
SIGNED (CONTRACTOR)

LEGEND

1.8m HIGH CAPPED TIMBER PALING FENCE INCLUDING 190 x 35 H4 TREATED PINE PLINTH

STREET SIGN SCHEDULE

HOMESTEAD DR	1No.
VERDANT ST	1No.
SPIRIT ST	1No.
WOODLAND ST	1No.
TRIM PL	1No.



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	C.ROHDE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

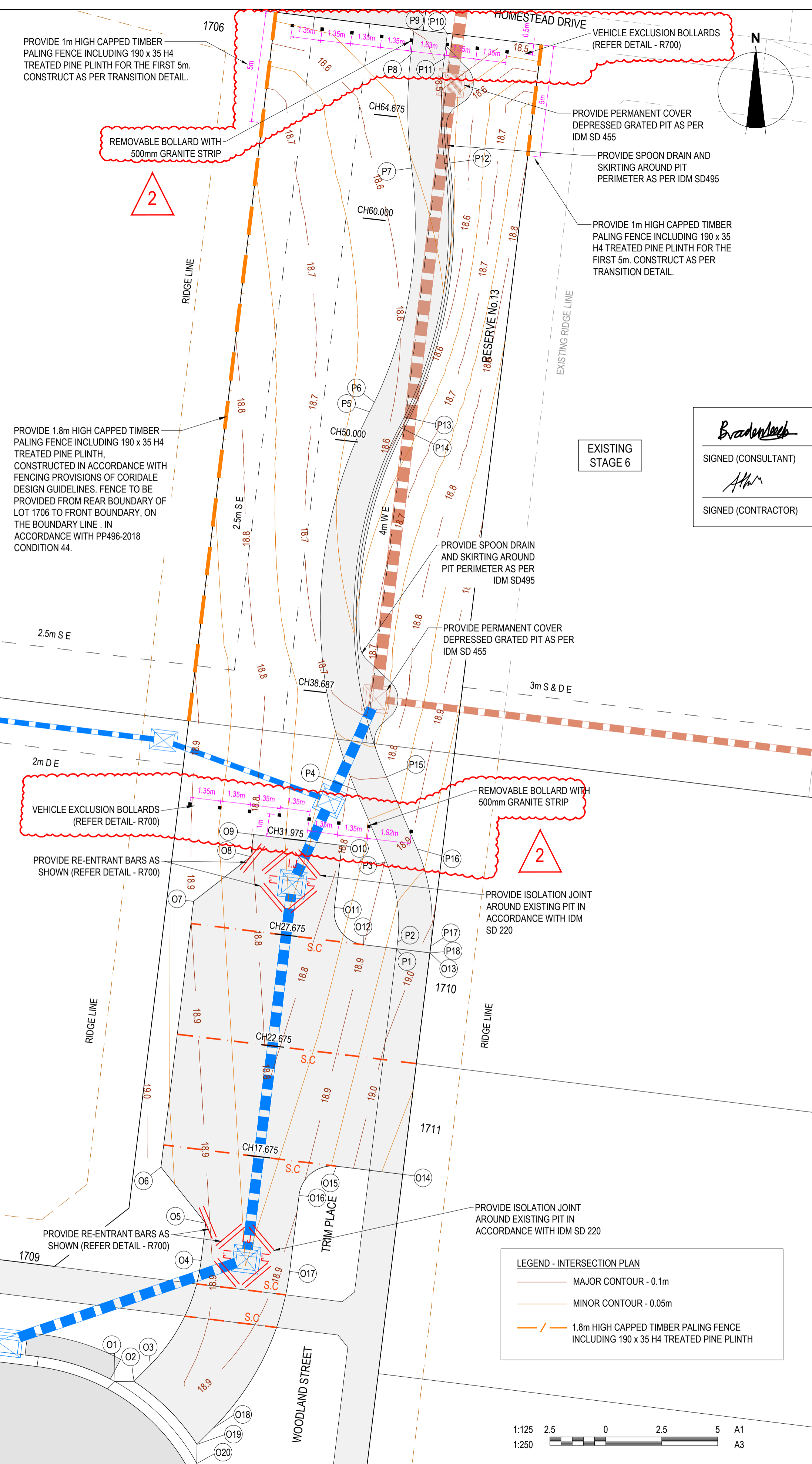


CORIDALE ESTATE - STAGE 17A
SIGNAGE & LINEMARKING PLAN - 2

PLANNING PERMIT No: PP-496-2018

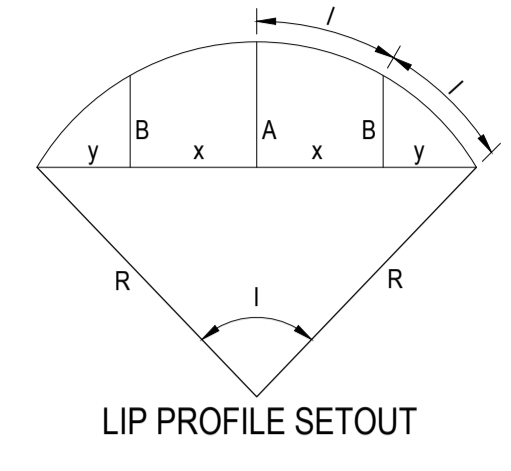
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
1:500 @ A1	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No.	DRAWING No.	REVISION
180014.17A	R801	AC



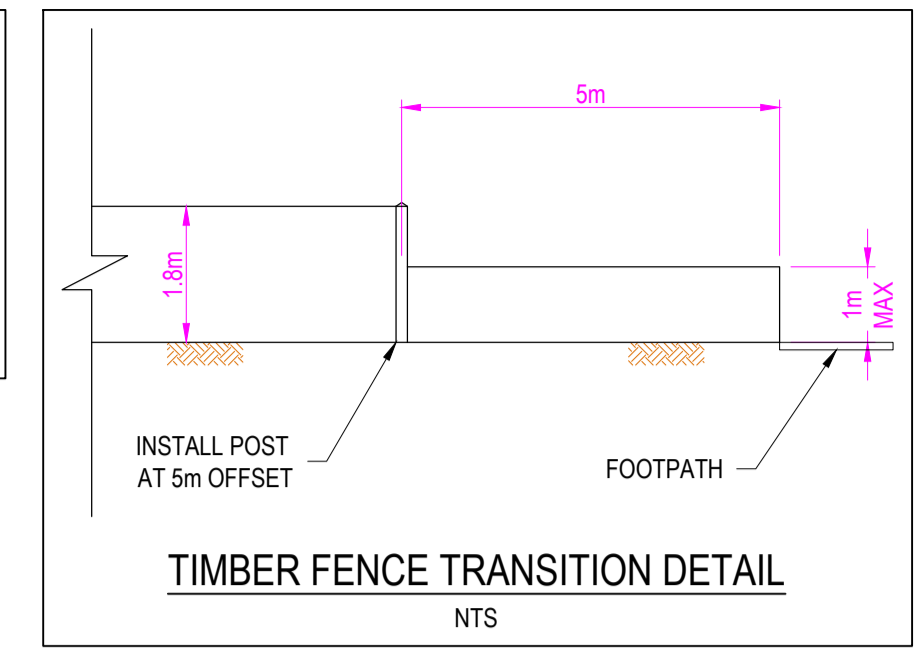
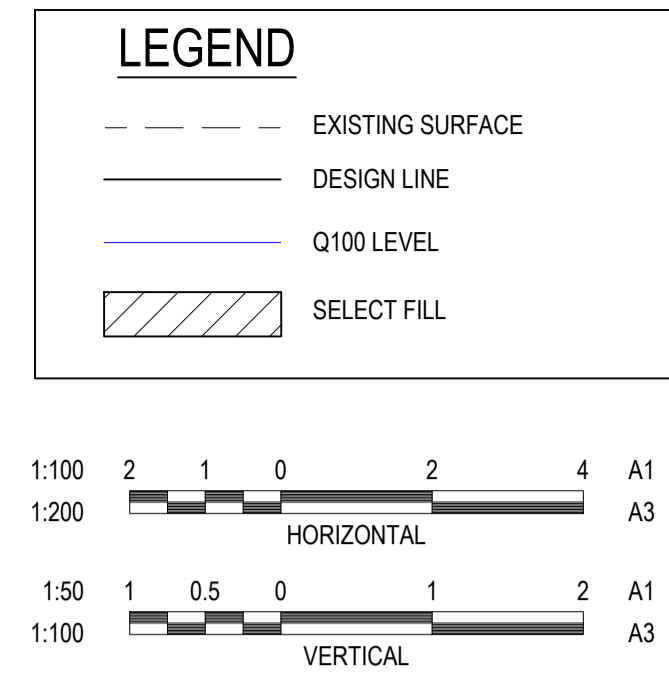
TRIM PLACE SETOUT - ALIGNMENT O

PT NO	EASTING	NORTHING	RL
O1	269191.447	5789372.331	19.02
O2	269192.302	5789372.339	19.006
O3	269193.035	5789373.073	18.97
O4	269195.317	5789377.753	18.917
O5	269195.523	5789379.424	18.906
O6	269193.514	5789381.194	18.969
O7	269194.977	5789393.85	18.894
O8	269197.541	5789395.853	18.803
O9	269197.663	5789396.845	18.797
O10	269201.633	5789396.358	18.797
O11	269201.291	5789393.578	18.815
O12	269202.597	5789391.907	18.899
O13	269205.575	5789391.541	19.012
O14	269204.356	5789381.616	19.074
O15	269201.378	5789381.951	18.961
O16	269199.706	5789380.675	18.896
O17	269199.288	5789377.265	18.917
O18	269195.865	5789370.245	18.981
O19	269195.131	5789369.511	19.023
O20	269195.123	5789368.657	19.045



FOOTPATH SETOUT - ALIGNMENT P

PT NO	EASTING	NORTHING	RL
P1	269204.086	5789391.724	18.974
P2	269204.123	5789392.024	18.972
P3	269203.619	5789395.612	18.903
P4	269202.25	5789398.837	18.816
P5	269202.869	5789415.787	18.625
P6	269203.083	5789416.216	18.622
P7	269204.756	5789426.712	18.554
P8	269204.728	5789431.808	18.511
P9	269204.866	5789432.936	18.499
P10	269206.355	5789432.753	18.491
P11	269206.217	5789431.626	18.495
P12	269206.243	5789426.911	18.515
P13	269204.43	5789415.556	18.59
P14	269204.207	5789415.109	18.593
P15	269203.631	5789399.423	18.799
P16	269205.578	5789396.198	18.919
P17	269205.612	5789391.841	19.01
P18	269205.575	5789391.541	19.012



CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

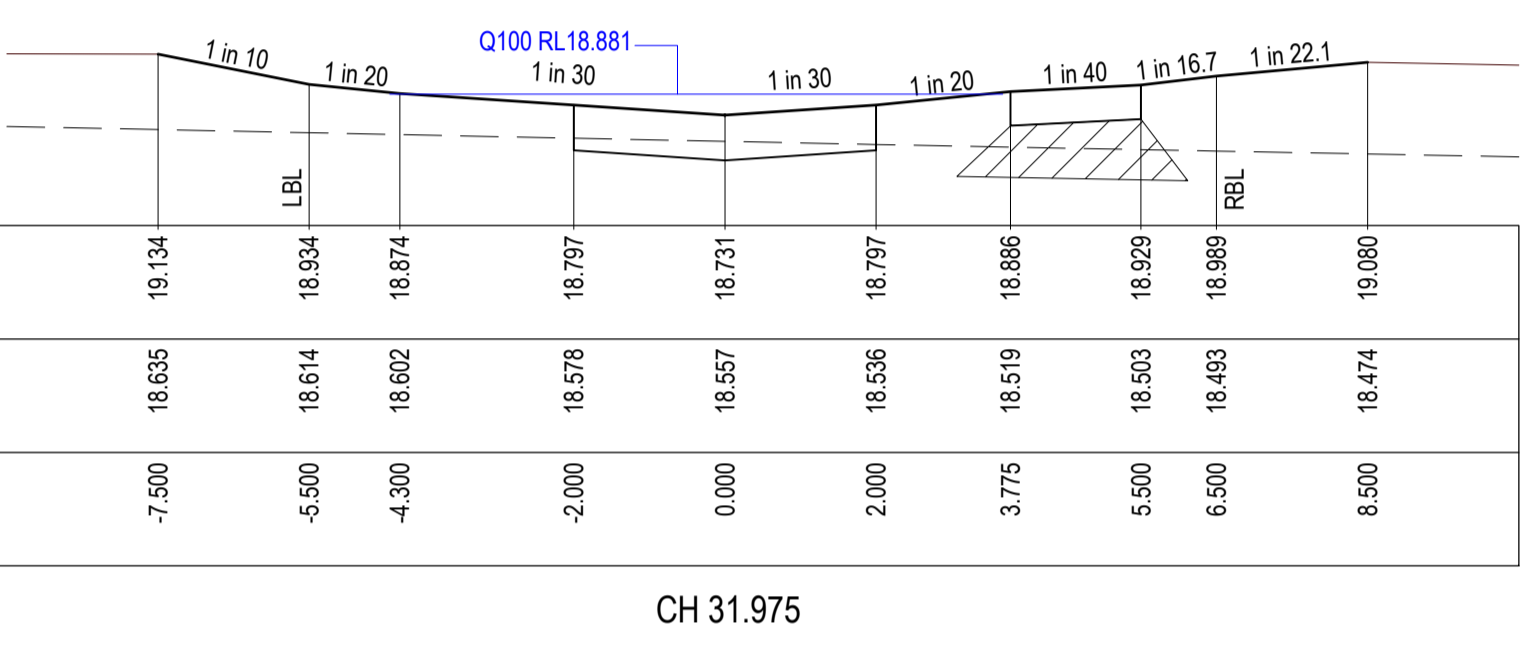
NOTE:
"SELECT FILL" EXTENDING 200mm BELOW NATURAL SURFACE REQUIRED UNDER ALL PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. SELECT FILL IS TO BE TO LEVEL 1 STANDARD AND IN ACCORDANCE WITH SECTION 7.4 OF "REPORT ON GEOTECHNICAL INVESTIGATION CORIDALE ESTATE" PREPARED BY DOUGLAS PARTNERS (FILE NAME: 87082.00.R.001.REVO, DATED 17/01/2020).

WARNING
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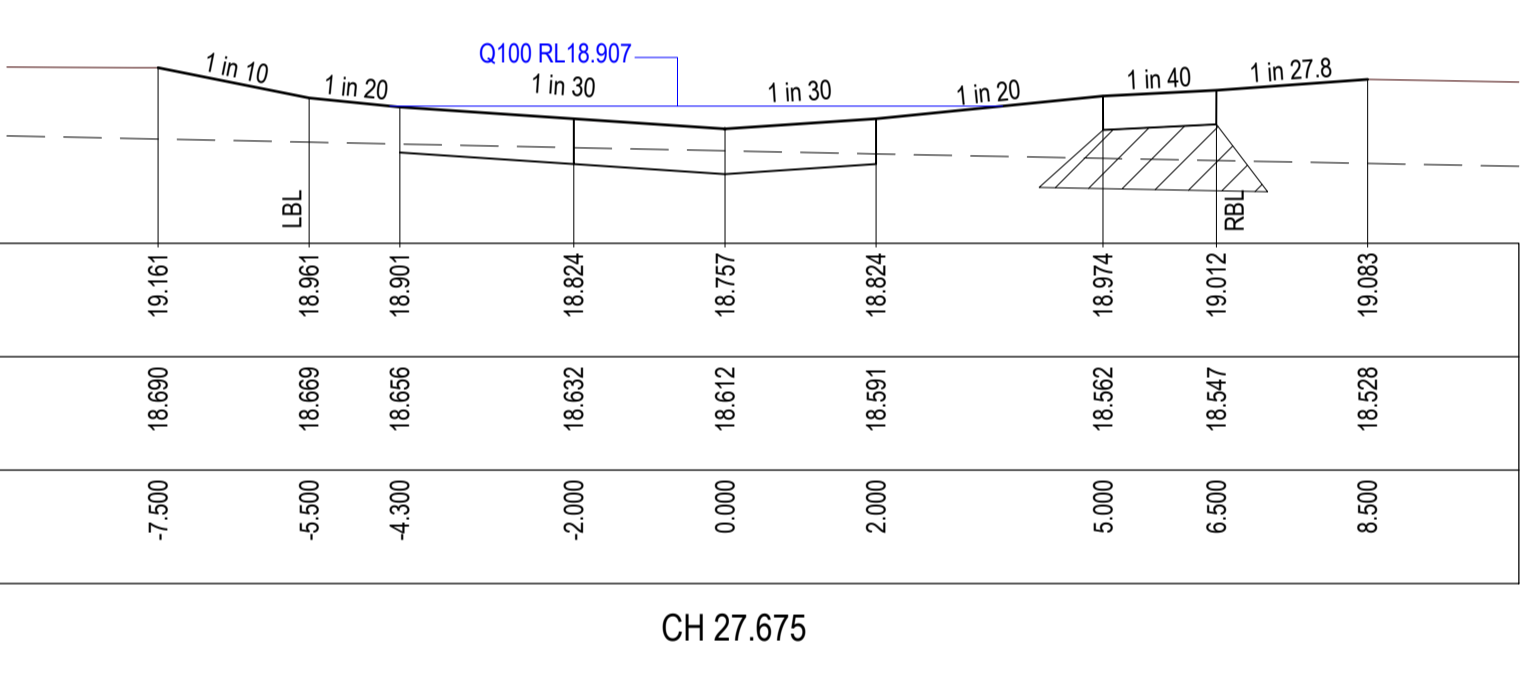
SIGNED (CONSULTANT)
Brad Arnold

SIGNED (CONTRACTOR)
AM

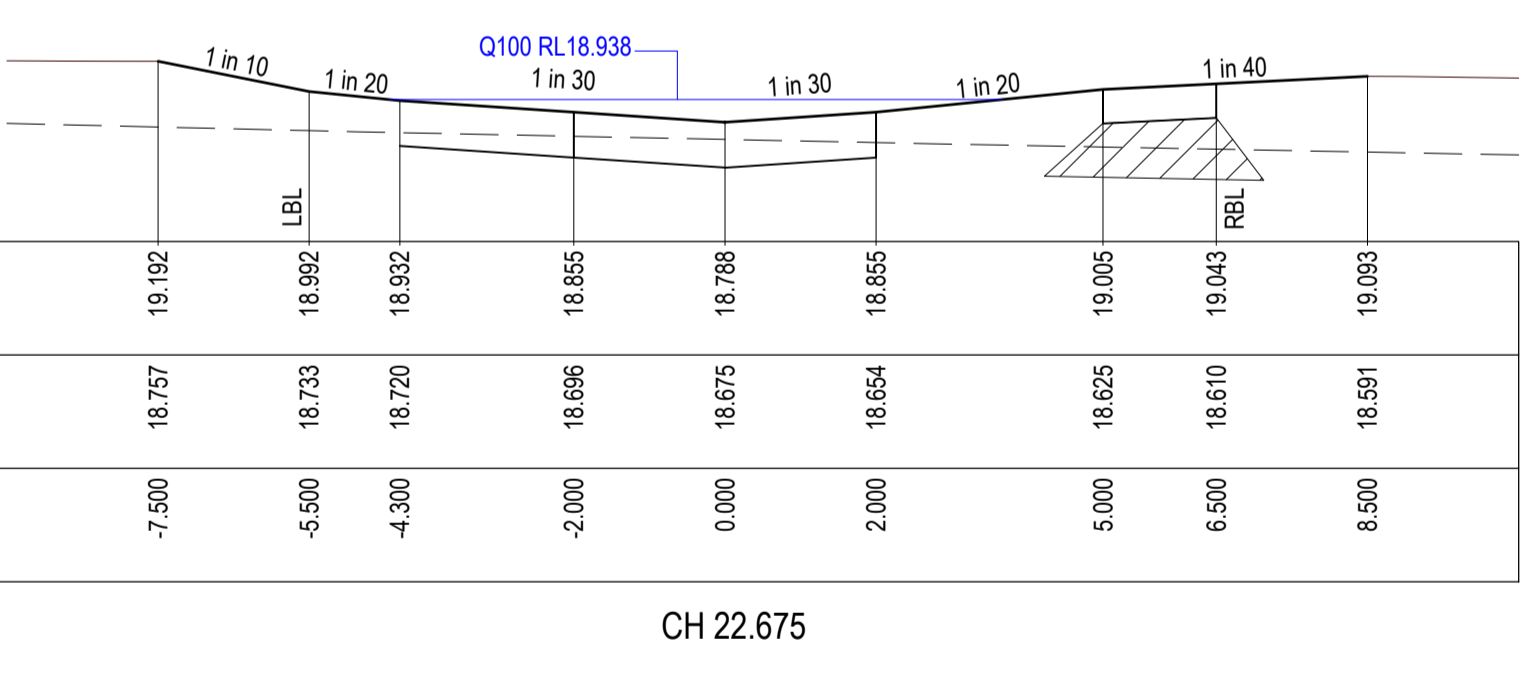
DATUM	DESIGN SURFACE	EXISTING SURFACE	OFFSET
DATUM18.0	19.134	18.635	-7.500
DESIGN SURFACE	18.934	18.614	-5.500
EXISTING SURFACE	18.874	18.602	-4.300
OFFSET	18.797	18.578	-2.000
	18.731	18.557	0.000
	18.797	18.536	2.000
	18.886	18.519	3.775
	18.929	18.503	5.900
	18.989	18.493	6.800
	19.080	18.474	8.500



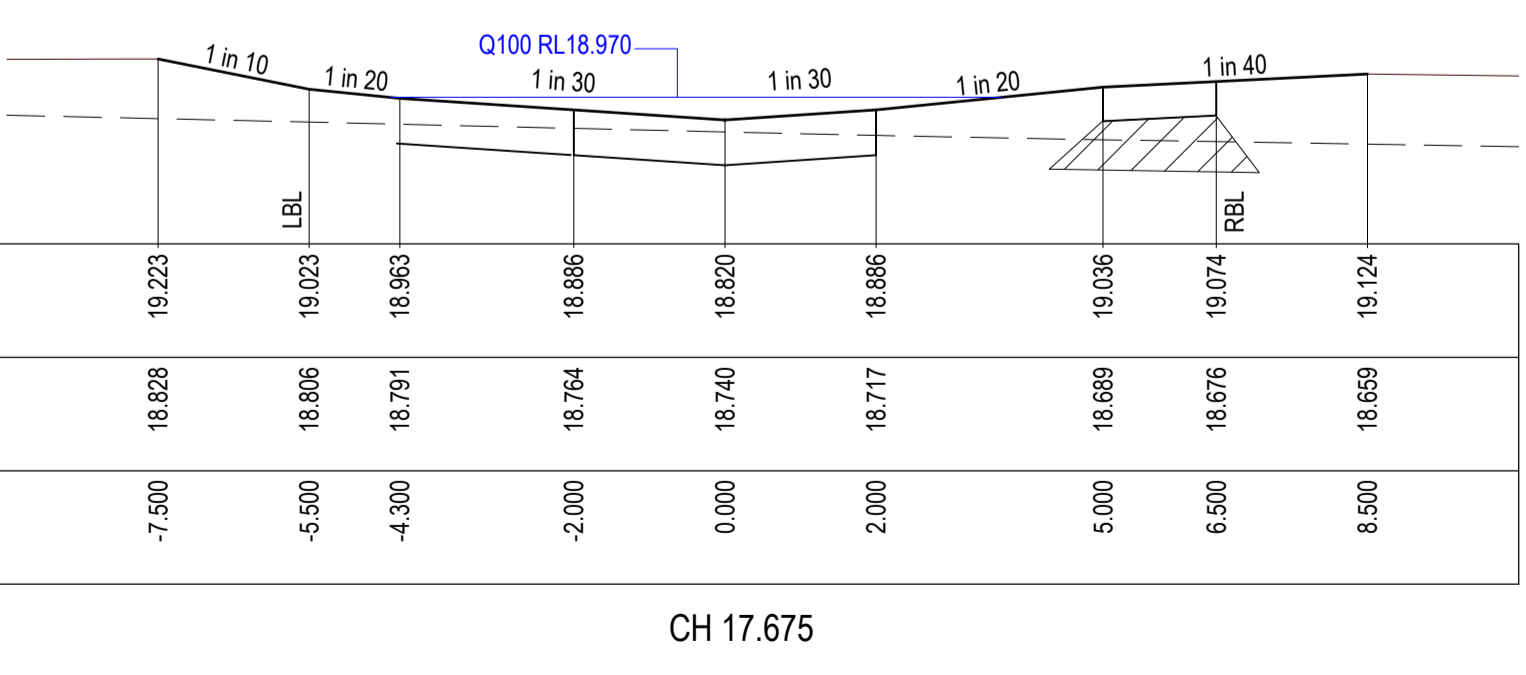
DATUM	DESIGN SURFACE	EXISTING SURFACE	OFFSET
DATUM18.0	19.161	18.690	-7.500
DESIGN SURFACE	18.961	18.669	-5.500
EXISTING SURFACE	18.901	18.656	-4.300
OFFSET	18.824	18.632	-2.000
	18.757	18.612	0.000
	18.824	18.591	2.000
	18.874	18.562	5.000
	19.012	18.547	6.500
	19.083	18.528	8.500



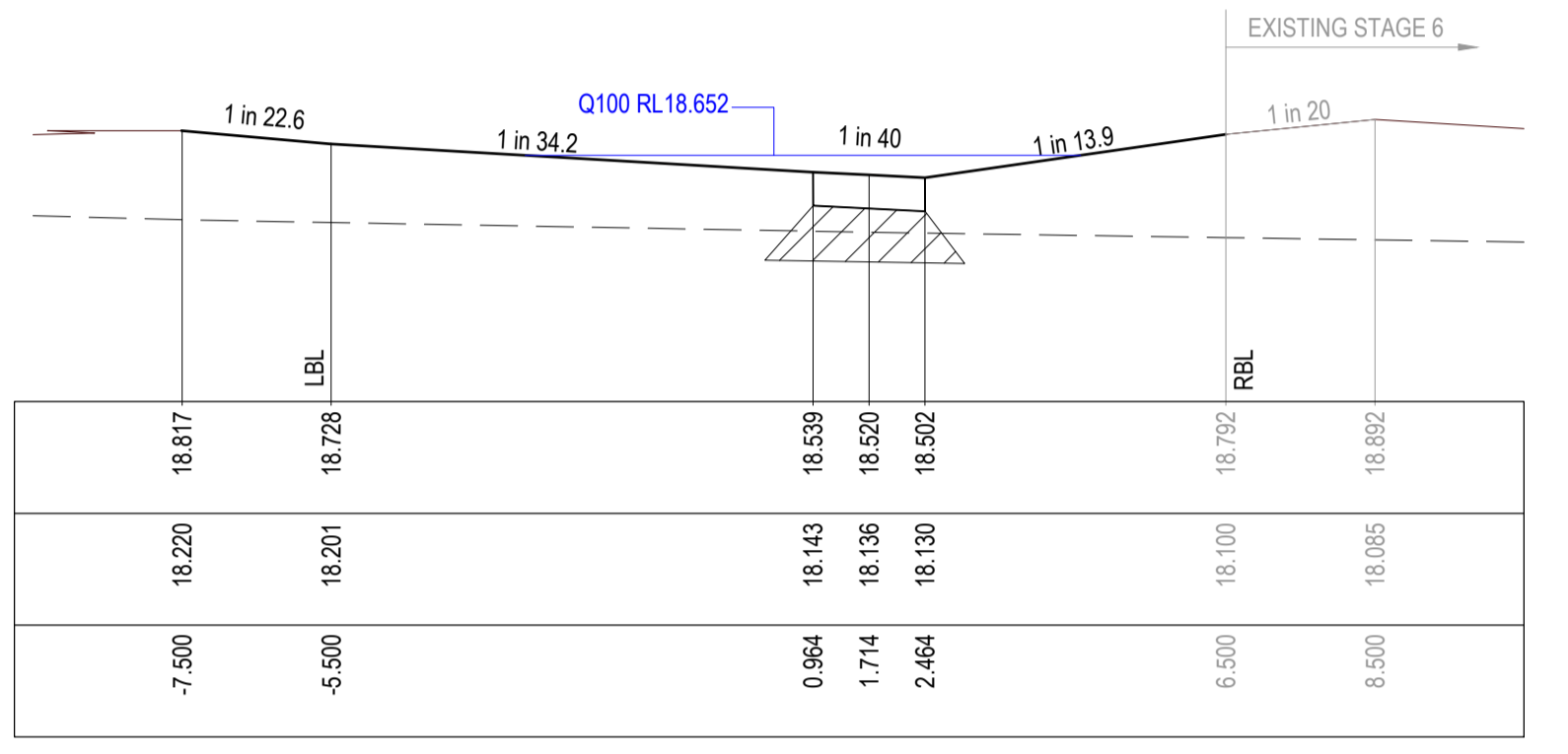
DATUM	DESIGN SURFACE	EXISTING SURFACE	OFFSET
DATUM18.0	19.192	18.757	-7.500
DESIGN SURFACE	18.992	18.733	-5.500
EXISTING SURFACE	18.932	18.720	-4.300
OFFSET	18.855	18.696	-2.000
	18.786	18.675	0.000
	18.855	18.654	2.000
	19.005	18.625	5.000
	19.043	18.610	6.500
	19.083	18.591	8.500



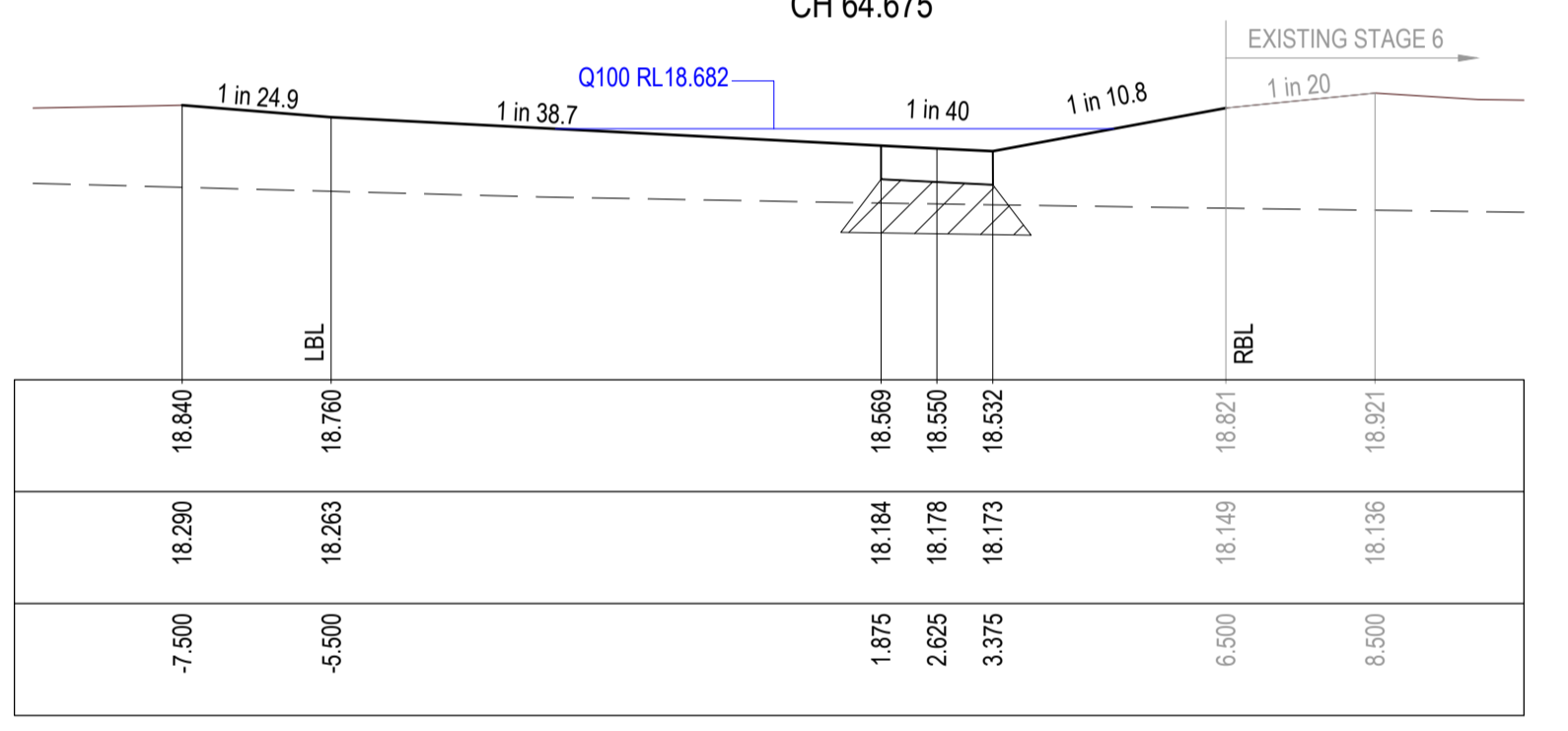
DATUM	DESIGN SURFACE	EXISTING SURFACE	OFFSET
DATUM18.0	19.223	18.628	-7.500
DESIGN SURFACE	19.023	18.606	-5.500
EXISTING SURFACE	18.963	18.731	-4.300
OFFSET	18.886	18.764	-2.000
	18.820	18.740	0.000
	18.886	18.717	2.000
	19.036	18.689	5.000
	19.074	18.676	6.500
	19.124	18.659	8.500



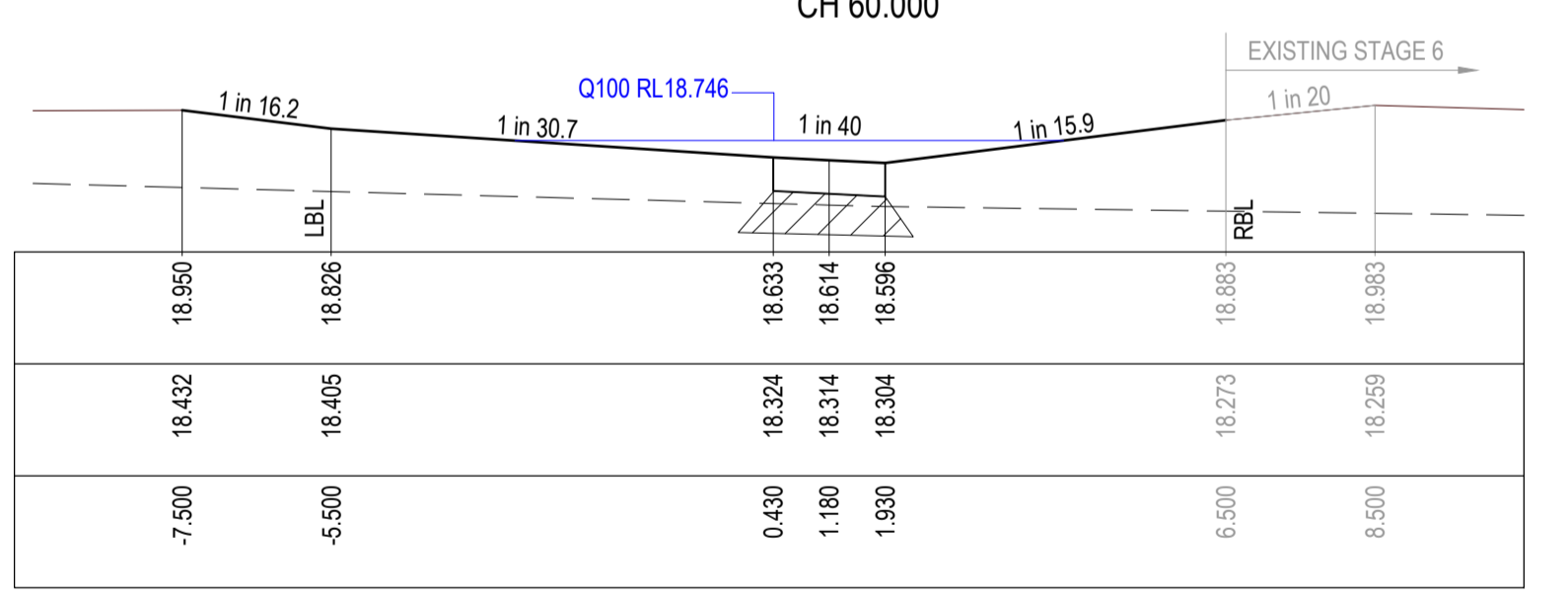
DATUM	DESIGN SURFACE	EXISTING SURFACE	OFFSET
DATUM17.0	18.617	18.220	-7.500
DESIGN SURFACE	18.728	18.201	-5.500
EXISTING SURFACE	18.539	18.143	0.964
OFFSET	18.520	18.136	1.714
	18.502	18.130	2.464
	18.792	18.100	6.500
	18.882	18.085	8.500



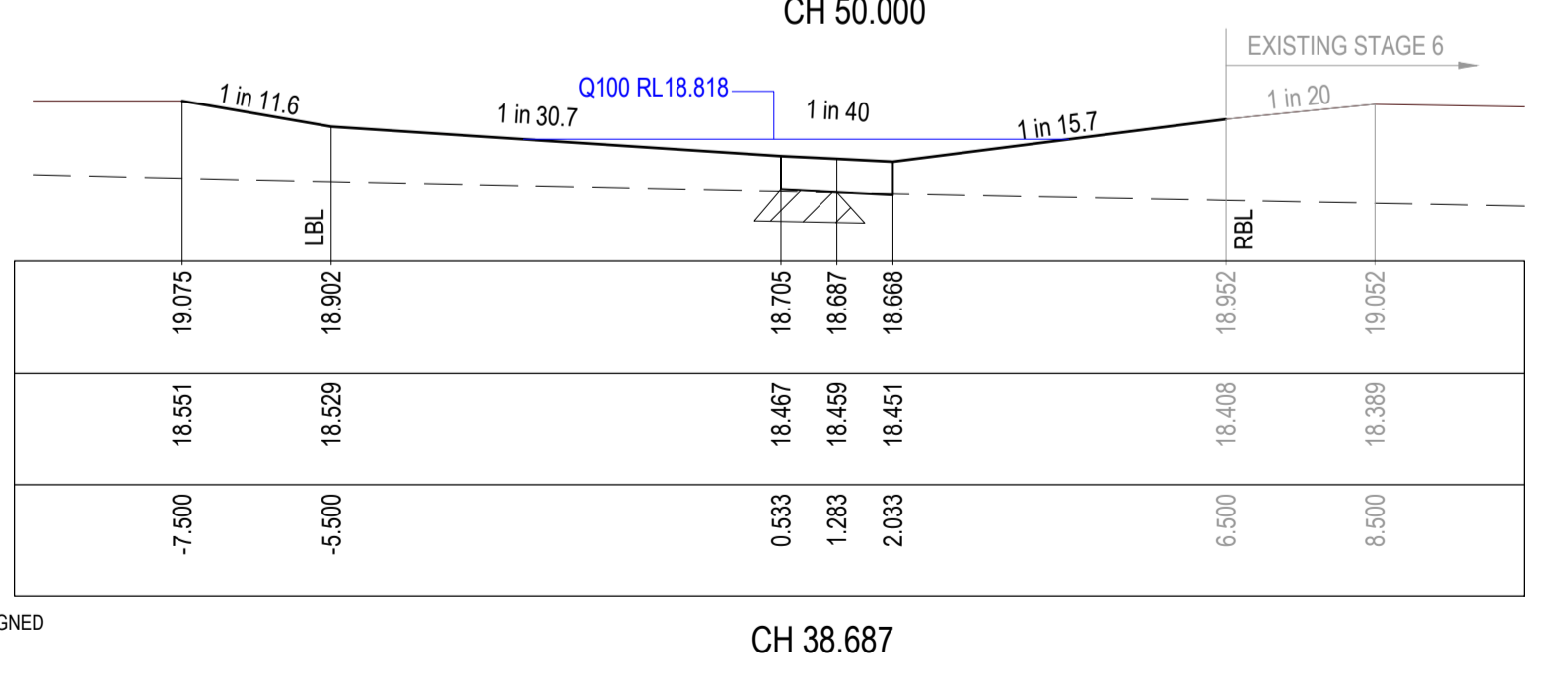
DATUM	DESIGN SURFACE	EXISTING SURFACE	OFFSET
DATUM17.0	18.840	18.290	-7.500
DESIGN SURFACE	18.760	18.263	-5.500
EXISTING SURFACE	18.569	18.184	1.875
OFFSET	18.550	18.178	2.625
	18.532	18.173	3.375
	18.821	18.149	6.500
	18.921	18.136	8.500



DATUM	DESIGN SURFACE	EXISTING SURFACE	OFFSET
DATUM18.0	18.950	18.452	-7.500
DESIGN SURFACE	18.825	18.405	-5.500
EXISTING SURFACE	18.633	18.324	0.430
OFFSET	18.614	18.314	1.180
	18.596	18.304	1.930
	18.883	18.273	6.500
	18.983	18.259	8.500



DATUM	DESIGN SURFACE	EXISTING SURFACE	OFFSET
DATUM18.0	19.075	18.551	-7.500
DESIGN SURFACE	18.902	18.459	-5.500
EXISTING SURFACE	18.705	18.467	0.533
OFFSET	18.687	18.459	1.283
	18.668	18.451	2.033
	18.957	18.408	6.500
	19.052	18.389	8.500



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
2	09/08/22	REMOVABLE BOLLARD ADDITION	B.LEECH	C.OLOUGHLIN	C.OLOUGHLIN
1	21/03/22	LOT 1717 CROSSOVER CHANGE & RESERVE FENCES AMENDED	I.HOGAN	C.ROHDE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	M.TROUNCE	M.TROUNCE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

villawood properties
Communities Designed for Living

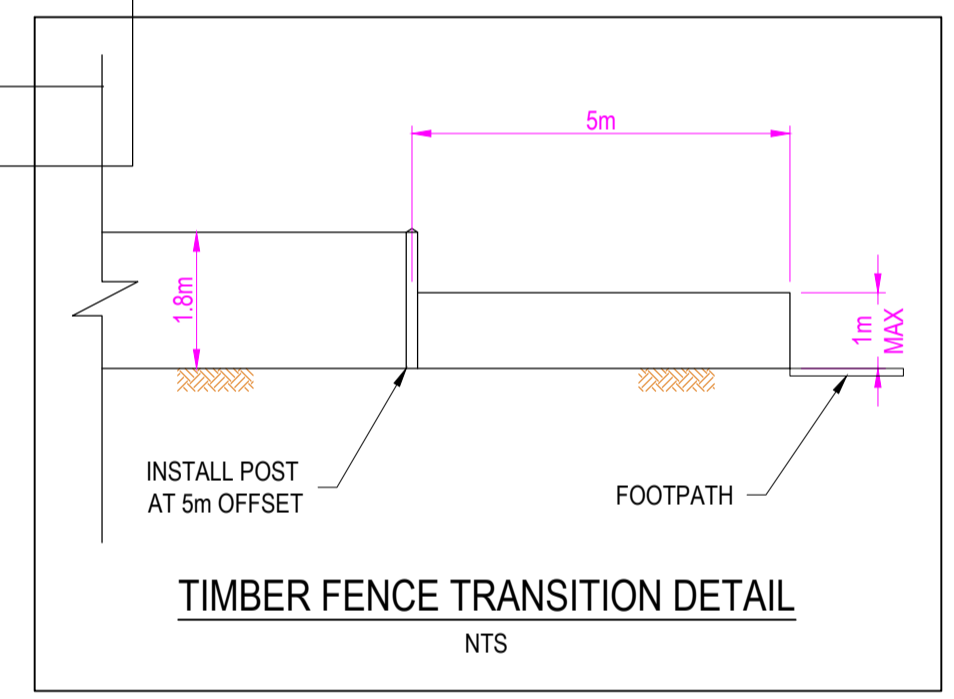
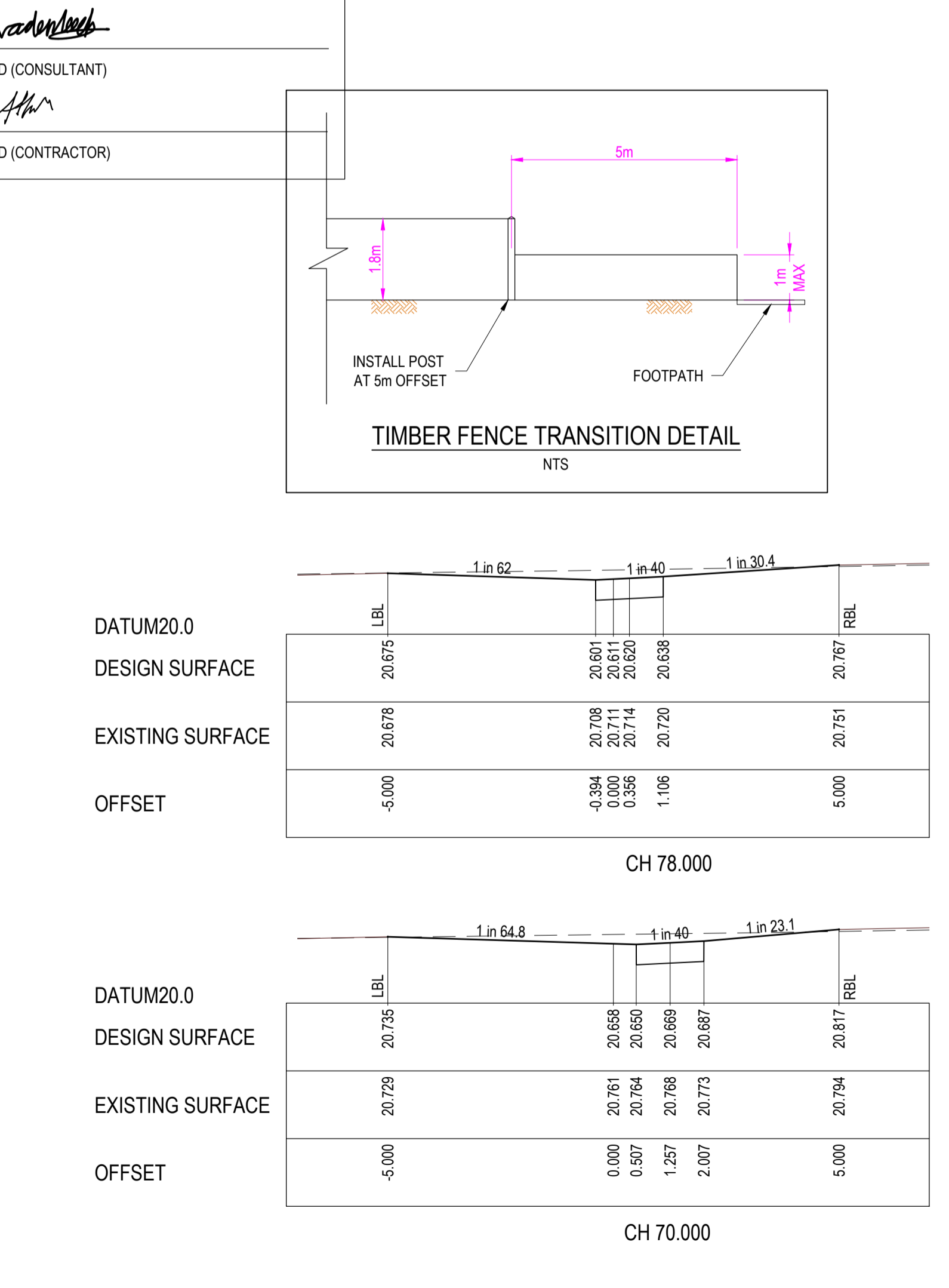
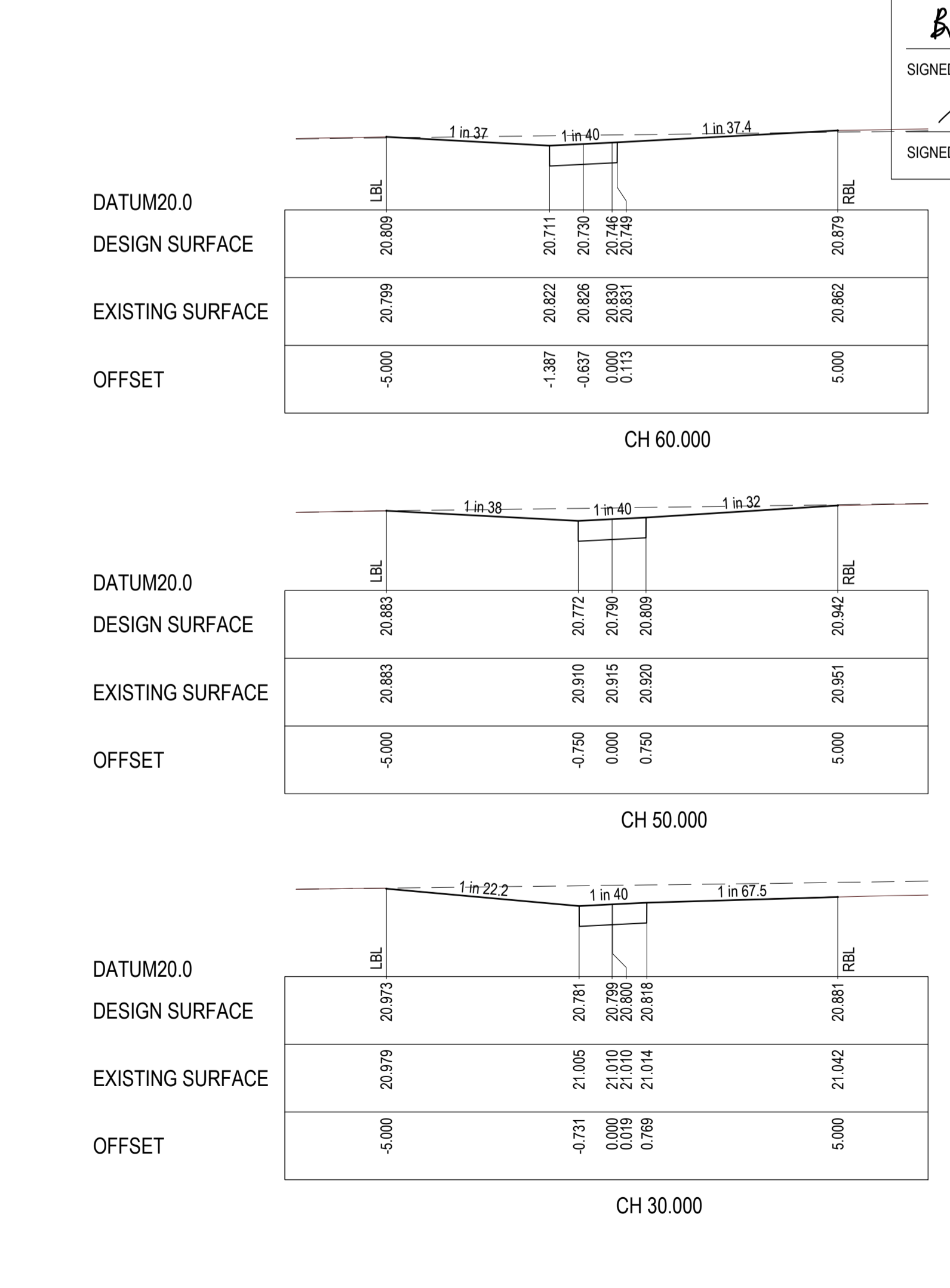
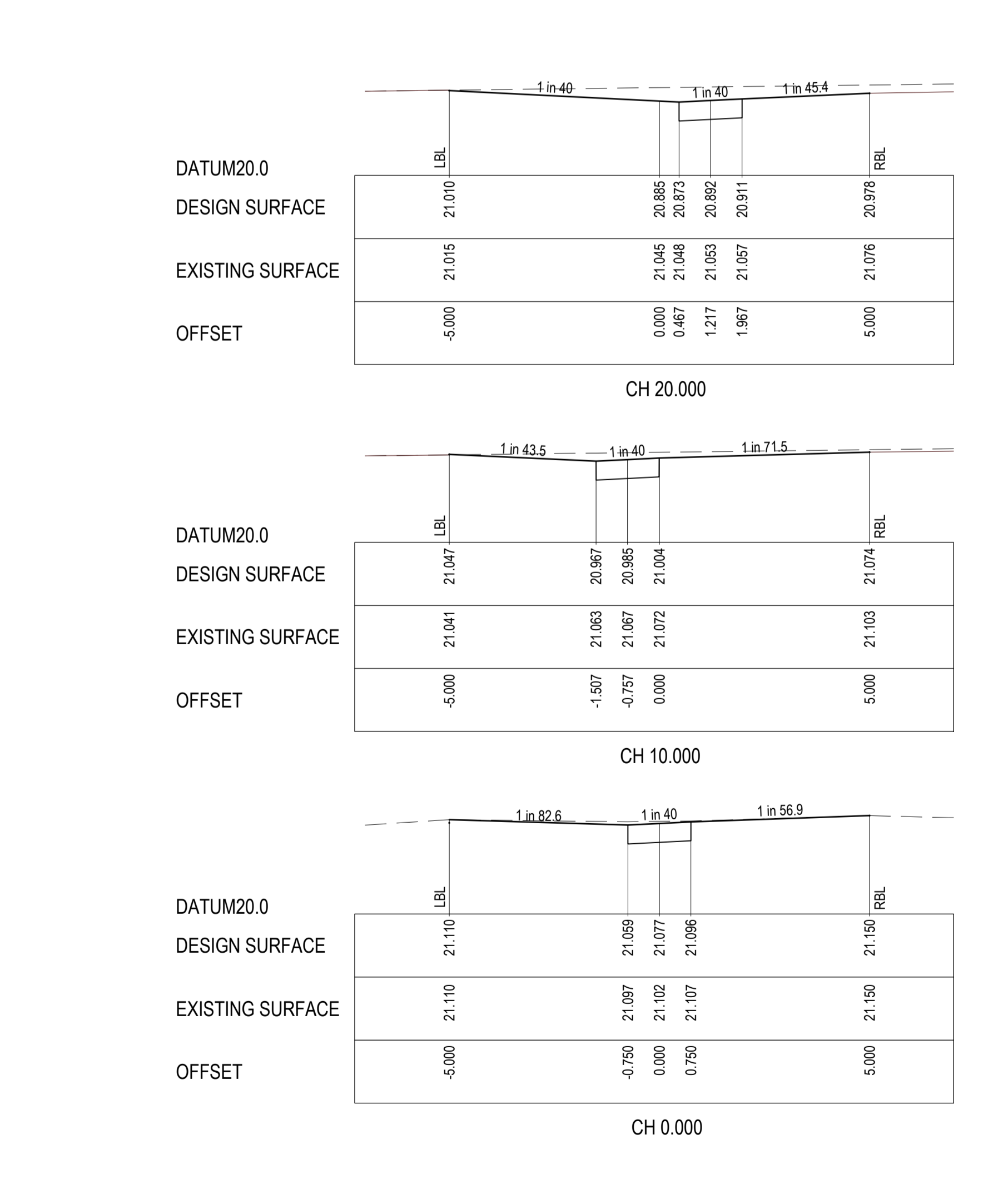
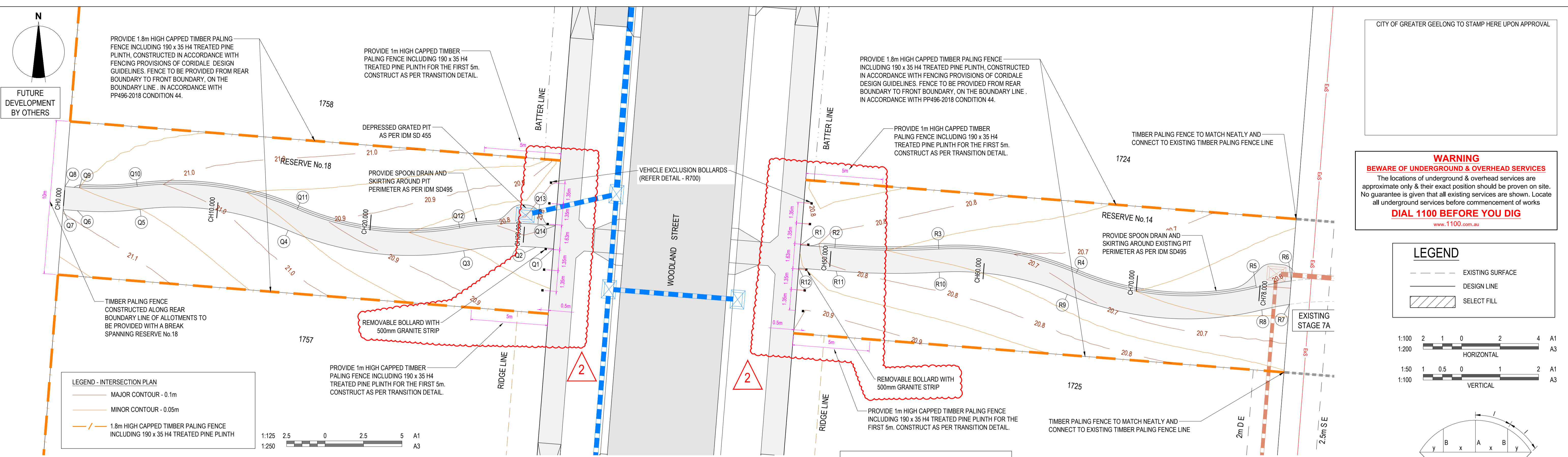
creo CONSULTANTS
Suite 1, 2 Bloombsury Street
Geelong, VIC, Australia 3220

Coridale
LARA

DRAWING TITLE
CORIDALE ESTATE - STAGE 17A
MUNICIPAL RESERVE DETAIL PLAN - 1
TRIM PLACE & RESERVE No.13
PLANNING PERMIT No: PP-496-2018

STATUS
ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
AS SHOWN	C.ROHDE	M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No:	DRAWING No:	REVISION		
180014.17A	R900	AC		



FOOTPATH SETOUT - ALIGNMENT Q

PT NO	EASTING	NORTHING	RL
Q1	269188.565	5789190.739	20.835
Q2	269187.432	5789190.829	20.826
Q3	269182.723	5789190.601	20.854
Q4	269171.3	5789191.926	20.961
Q5	269161.676	5789193.294	21.05
Q6	269157.604	5789193.202	21.087
Q7	269156.664	5789193.277	21.096
Q8	269156.783	5789194.772	21.059
Q9	269157.723	5789194.697	21.05
Q10	269161.49	5789194.782	21.016
Q11	269171.894	5789193.303	20.919
Q12	269182.46	5789192.078	20.82
Q13	269187.551	5789182.324	20.801
Q14	269188.684	5789192.234	20.827

FOOTPATH SETOUT - ALIGNMENT R

PT NO	EASTING	NORTHING	RL
R1	269204.633	5789190.965	20.845
R2	269206.866	5789190.788	20.77
R3	269213.625	5789190.708	20.73
R4	269222.573	5789189.143	20.675
R5	269234.277	5789188.212	20.603
R6	269236.549	5789188.639	20.589
R7	269236.427	5789187.108	20.627
R8	269234.638	5789186.756	20.638
R9	269221.986	5789187.763	20.716
R10	269213.654	5789189.207	20.766
R11	269206.952	5789189.276	20.807
R12	269204.514	5789189.47	20.86

LIP PROFILE SETOUT

CURVE NO	I	RAD.	ARC A	B	X	Y	I	MID POINT RL
Q2-Q3	14.64	18.5	4.727	0.151	0.113	1.181	1.176	20.832
Q3-Q4	33.415	20	11.664	0.844	0.632	2.906	2.844	20.97
Q4-Q5	30.465	18.5	9.837	0.65	0.487	2.452	2.459	21.005
Q5-Q6	11.69	20	4.081	0.104	0.078	1.02	1.017	21.069
Q9-Q10	11.69	18.5	3.774	0.096	0.072	0.943	0.941	21.033
Q10-Q11	30.465	20	10.634	0.703	0.526	2.651	2.604	20.967
Q11-Q12	33.415	18.5	10.789	0.781	0.585	2.688	2.631	20.869
Q12-Q13	14.64	20	5.11	0.163	0.122	1.277	1.272	20.797

FOOTPATH SETOUT - ALIGNMENT R

PT NO	EASTING	NORTHING	RL
R1	269204.633	5789190.965	20.845
R2	269206.866	5789190.788	20.77
R3	269213.625	5789190.708	20.73
R4	269222.573	5789189.143	20.675
R5	269234.277	5789188.212	20.603
R6	269236.549	5789188.639	20.589
R7	269236.427	5789187.108	20.627
R8	269234.638	5789186.756	20.638
R9	269221.986	5789187.763	20.716
R10	269213.654	5789189.207	20.766
R11	269206.952	5789189.276	20.807
R12	269204.514	5789189.47	20.86

FOOTPATH SETOUT - ALIGNMENT R

CURVE NO	I	RAD.	ARC A	B	X	Y	I	MID POINT RL
R2-R3	7.752	50	6.765	0.114	0.086	1.691	1.689	20.75
R3-R4	26.252	20	9.164	0.523	0.391	2.286	2.256	20.702
R4-R5	37.001	18.5	11.947	0.956	0.715	2.974	2.896	20.638
R5-R6	6.827	20	2.313	0.033	0.025	0.578	0.578	20.596
R7-R8	5.649	18.5	1.824	0.022	0.017	0.456	0.456	20.632
R8-R9	37.001	20	12.916	1.034	0.773	3.215	3.131	20.676
R9-R10	26.424	18.5	8.532	0.49	0.367	2.128	2.1	20.74
R10-R11	7.924	48.5	6.707	0.116	0.087	1.676	1.674	20.786

REVISION	DATE	ISSUE DESCRIPTION	DRAWN	DESIGNED	APPROVED
AC	14/09/22	AS CONSTRUCTED	B.LEECH	M.TROUNCE	M.TROUNCE
2	09/08/22	REMOVABLE BOLLARD ADDITION	B.LEECH	C.O'LOUGHLIN	C.O'LOUGHLIN
1	21/03/22	LOT 1717 CROSSOVER CHANGE & RESERVE FENCES AMENDED	I.HOGAN	C.ROHDE	M.TROUNCE
0	08/02/22	CONSTRUCTION ISSUE	C.ROHDE	M.TROUNCE	C.ROHDE
A	18/10/21	ISSUED FOR APPROVAL	C.ROHDE	C.ROHDE	M.TROUNCE

villawood properties
 Communities Designed for Living

creo CONSULTANTS
 Suite 1, 2 Bloomsbury Street
 Geelong, VIC, Australia 3220

Coridale
 LARA

CORIDALE ESTATE - STAGE 17A
MUNICIPAL RESERVE DETAIL PLAN - 2
RESERVE No.14 & RESERVE No.18
 PLANNING PERMIT No: PP-496-2018

ISSUED FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	M.TROUNCE	OCTOBER 2021
PROJECT No:	DRAWING No:	REVISION
180014.17A	R901	AC