

REDSTONE ESTATE STAGE 10

VILLAWOOD PROPERTIES

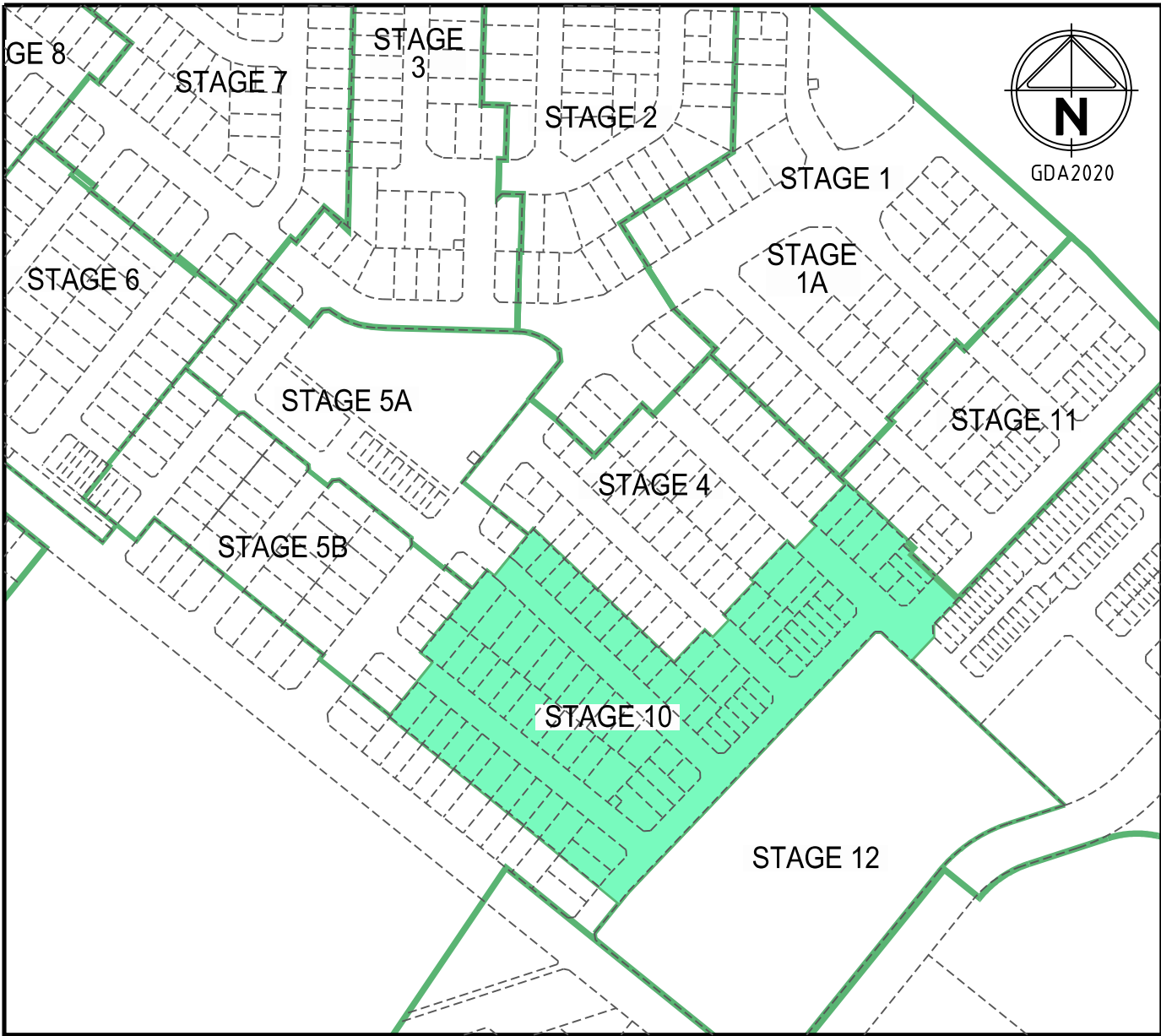
HUME COUNCIL STANDARD NOTES:

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH VPA AND HUME CITY COUNCIL STANDARD DRAWINGS, SPECIFICATIONS, APPROVED PLANS AND TO THE SATISFACTION OF THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE
- COUNCIL TO BE NOTIFIED SEVEN (7) CLEAR WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORKS WITH A PRECOMMENCEMENT MEETING BEING HELD BETWEEN HUME CITY COUNCIL, THE DEVELOPER'S CONSULTANT AND THE CONTRACTOR BEFORE WORKS COMMENCE. A SITE MANAGEMENT PLAN IS TO BE SUBMITTED PRIOR TO COMMENCEMENT OF WORKS AND PRIOR TO AN ONSITE PRECOMMENCEMENT MEETING
- PRIOR TO COMMENCEMENT OF THE WORKS, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION
 - SOURCE OF QUARRY MATERIAL
 - N A T A APPROVED TEST RESULTS FOR THE F C R THAT IS TO BE USED
 - IF THE SOURCE OF THE QUARRY MATERIAL IS CHANGED DURING THE COURSE OF THE WORKS, THEN NEW TEST RESULTS SHALL BE PROVIDED
- PRIOR TO COMMENCEMENT OF WORKS ON SITE, THE CONTRACTOR MUST ENSURE THAT ALL MATTERS RELATING TO THE OCCUPATIONAL HEALTH AND SAFETY ACT 2004 AND OHS REGULATIONS 2007 HAVE BEEN AND WILL BE COMPLIED WITH
- ON COMMENCEMENT OF CONSTRUCTION WORKS, THE CONTRACTOR MUST COMPLY WITH THE RECOMMENDATIONS OF THE ENVIRONMENT PROTECTION AUTHORITY PUBLICATION "CONSTRUCTION TECHNIQUES FOR SEDIMENT POLLUTION CONTROL" APPROPRIATE SILTATION CONTROL IS TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD OF THE WORKS
- THE DISPOSAL SITE FOR SPOIL REMOVAL FROM SITE AND TRUCK ROUTE IS TO BE SUBMITTED TO AND APPROVED BY THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE IN WRITING PRIOR TO THE COMMENCEMENT OF ANY WORKS
- WHERE WORKS ARE IN THE VICINITY OF EXISTING SERVICES, THESE SERVICES ARE TO BE LOCATED AND EXPOSED/PROVED PRIOR TO COMMENCEMENT OF WORKS, AND THE RELEVANT AUTHORITIES NOTIFIED SEVEN (7) CLEAR DAYS PRIOR TO THE COMMENCEMENT OF THE WORKS
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE
- ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)
- ALL CO-ORDINATES ARE TO MAP GRID OF AUSTRALIA (MGA)
- THE CONTRACTOR MUST ARRANGE THE REQUISITE INSPECTIONS OF THE WORKS WITH THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE AS PER THE HOLD POINTS IN THE VPA MANUAL AND HUME CITY COUNCIL SPECIFICATIONS
- FILL AREAS TO BE STRIPPED OF TOPSOIL, FILLED AND TOPSOIL REPLACED TO OBTAIN FINAL FILL LEVELS AS SHOWN ON PLAN. FILLING IS TO BE CLEAN CLAY COMPACTED TO A DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY VALUE DETERMINED BY THE STANDARD COMPACTION TEST IN ACCORDANCE WITH A S 1289 5.11-2003
- FILLING TO COMPLY WITH A S 3798-2007, LEVEL 1 UNLESS SPECIFIED OTHERWISE
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL IMPORTED FILL MATERIAL, INCLUDING TOPSOIL, SATISFIES THE DESCRIPTION FOR CLEAN FILL MATERIAL IN EPA BULLETIN PUBLICATION NO 448 (SEPT '95) AND SUBSEQUENT REVISIONS. THE CONTRACTOR SHALL IF REQUIRED PROVIDE VERIFICATION INCLUDING TEST CERTIFICATES TO THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE
- WHERE, AS A CONDITION OF THE PLANNING PERMIT OR AS A RESULT OF THE PRE-CONSTRUCTION MEETING, FENCING OF AREAS CONTAINING TREES, NATIVE GRASSES AND SHRUBS IS REQUIRED, A THREE STRAND STAR PICKET AND WIRE FENCE SHALL BE CONSTRUCTED
- NO TREE OR NATIVE VEGETATION IS TO BE DISTURBED OR REMOVED WITHOUT PRIOR APPROVAL FROM COUNCIL'S SUSTAINABLE ENVIRONMENT DEPARTMENT. ANY TREES REMOVED, VEGETATION OR OTHER MATERIALS ARE NOT TO BE BURNED ON SITE
- BEFORE COMMENCING WORK ON TRENCHES IN EXCESS OF 15M DEEP, NOTICE OF SUCH PROPOSAL IS TO BE FORWARDED BY THE CONTRACTOR TO WORKSAFE VICTORIA
- THE CONTRACTOR IS TO OBTAIN A BUILDING PERMIT FOR ANY STRUCTURES/FENCES AND FOR ANY RETAINING WALLS OVER 10M IN HEIGHT
- ANY INFRASTRUCTURE DAMAGE DURING THE DEFECTS LIABILITY PERIOD IS THE RESPONSIBILITY OF THE DEVELOPER OR HIS REPRESENTATIVE AND IS TO BE REINSTATED TO THE SATISFACTION OF THE CHIEF EXECUTIVE OFFICER OR HIS REPRESENTATIVE
- PRIOR TO STATEMENT OF COMPLIANCE ALL DISTURBED AREAS (INCLUDING NATURE STRIPS, BATTERS, ALLOTMENTS WITH GRADES OF 15 AND GREATER, AND RESERVES) ARE TO BE REINSTATED TO A CLEAN, TIDY CONDITION, TOP DRESSED (100mm LOAMY TOP SOIL FREE OF RUBBISH, DEBRIS, CLUMPS, SODS AND CLAY LUMPS) LIGHTLY COMPACTED AND HYDRO MULCHED. HYDROMULCH AND SEED MIX TO BE:
 - 40KG/HA KIKUYU
 - 200KG/HA TURF TYPE PERENNIAL RYE
 - 100KG/HA FINE LEAF FESCUE
 - 1500KG/HA OF CELLULOSE FIBRE
 - SOIL BINDER, SPECIFICALLY MANUFACTURED FOR HYDROMULCHING, USED AT MANUFACTURERS RECOMMENDED RATES (E.G ORGANIC GAUR TACKFIRES @ 20-30 KG/HA, BASED ON, SITE CONDITIONS)GRASS IS TO BE ESTABLISHED PRIOR TO THE END OF THE MAINTENANCE PERIOD, UNLESS OTHERWISE AGREED IN WRITING
- FOOTPATHS ARE TO BE 50mm OFFSET FROM TITLE BOUNDARIES UNLESS NOTED OTHERWISE. VEHICLE CROSSING ALIGNMENTS ARE GENERALLY TO BE PARALLEL TO THE SIDE BOUNDARY
- ALL NEW CONCRETE WORKS SHALL BE JOINED INTO ABUTTING EXISTING CONCRETE WITH 450mm LONG Y20 DOWEL BARS @ 600 CENTRES, UNLESS OTHERWISE SPECIFIED
- ANY EXPOSED AGGREGATE CONCRETE WORKS TO BE ACHIEVED BY SAND-BLASTING ONLY. WASHING AGGREGATE OFF WITH WATER IS NOT PERMITTED
- SERVICE CONDUITS TRENCHES UNDER ROAD PAVEMENTS ARE TO BE BACKFILLED WITH 20mm 3% CEMENT TREATED CLASS 3 CRUSHED ROCK COMPACTED TO A DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY VALUE DETERMINED BY THE MODIFIED COMPACTION TEST IN ACCORDANCE WITH A S 1289 5.2.1-2003. ALL SERVICE CONDUITS TRENCHES UNDER FOOTPATH, VEHICULAR CROSSINGS, PARKING BAYS AND WITHIN 750MM OF PARKING BAYS TO BE BACKFILLED WITH CLASS 3 CRUSHED ROCK
- ALL STORMWATER DRAINS TO BE CLASS 2 R.C. OR RIGID F.R.C. PIPES WITH ADCOL FLEXIBLE COLLARS UNLESS NOTED OTHERWISE. ALL PIPES UP TO & INCLUDING 750mm DIA. ARE TO BE RUBBER RING JOINTED. INTERLOCKING/FLUSH JOINTS WITH EXTERNAL BANDS CAN ONLY BE USED ON PIPE SIZES OVER 750mm DIA.

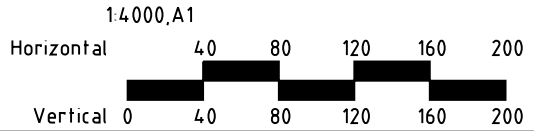
- WHERE NEW ASPHALT, CONCRETE K & C, PATHS AND DRIVEWAYS MATCH INTO EXISTING, THE EXISTING SURFACE IS TO BE SAW CUT AND MATCHED NEATLY
- ALL REDUNDANT ASSETS ARE TO BE REMOVED AND DISPOSED OFF SITE
- ALL TREES AND SHRUBS ARE TO BE RETAINED UNLESS OTHERWISE SHOWN OR DIRECTED BY THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE
- AT THE COMPLETION OF ALL WORKS, ALL RUBBISH, DEBRIS AND SURPLUS SPOIL SHALL BE REMOVED AND THE SITE SHALL BE CLEARED TO THE SATISFACTION OF THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE
- ALL DRAINS BEHIND KERB AND CHANNEL SHALL BE BACKFILLED TO MATCH PAVEMENT SUBGRADE LEVEL WITH 20mm CLASS 3 F.C.R. COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY VALUE DETERMINED BY THE MODIFIED COMPACTION TEST IN ACCORDANCE WITH A S 1289 5.2.1-2003. ALL DRAINS, SEWERS, GAS & WATER MAINS LAID THROUGH THE ROAD PAVEMENT (EXCEPT CONDUITS) ARE TO BE BACKFILLED WITH 20mm CLASS 2 F.C.R. COMPACTED TO 98% OF THE MAXIMUM DRY DENSITY VALUE DETERMINED BY THE MODIFIED COMPACTION TEST IN ACCORDANCE WITH A S 1289 5.2.1-2003
- PAVEMENT DEPTH SPECIFIED IS A MINIMUM DEPTH AND MAY BE VARIED BY THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE. SOFT SPOTS SHALL BE EXCAVATED TO A PROOF ROLLED BASE AND BACKFILLED WITH APPROVED MATERIAL COMPACTED IN 150mm LAYERS TO ACHIEVE TO A DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY VALUE DETERMINED BY THE STANDARD COMPACTION TEST IN ACCORDANCE WITH A S 1289 5.11-2003
- ALL EXISTING ASSETS AFFECTED BY THE WORKS, EG SIGNS, VEHICLE CROSSINGS, FOOTPATHS, KERB AND LINEMARKING SHALL BE REINSTATED BY THE CONTRACTOR PRIOR TO THE COMPLETION OF THE WORKS TO THE SATISFACTION OF THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE
- PRIOR TO THE COMPLETION OF THE WORKS ALL FIRE HYDRANTS ARE TO BE MARKED IN ACCORDANCE WITH "IDENTIFICATION OF STREET HYDRANTS FOR FIREFIGHTING PURPOSES" PUBLICATION (DEVELOPED BY C.F.A., M.F.B. & E.S.B). MARKINGS TO BE VIA BLUE PAVEMENT MARKER AND A (RED TOPPED) WHITE POST
- AGRICULTURAL DRAINS ARE TO BE PLACED BEHIND ALL KERB AND CHANNEL, KERB ONLY AND EDGE STRIPS IN ACCORDANCE WITH EDM STANDARD DRAWING 202
- ALL TABLE DRAINS AND VERGES ARE TO BE REINSTATED UPON COMPLETION OF WORKS TO THE SATISFACTION OF THE CHIEF EXECUTIVE OFFICER AND/OR THEIR REPRESENTATIVE
- ALL TRAFFIC CONTROL MEASURES, SIGNS AND LINEMARKING SHALL BE IN ACCORDANCE WITH A S 1742 - 1, 2 & 3. STREET NAME SIGNS ARE TO BE IN ACCORDANCE WITH STANDARD DRAWING SD408
- ALL LINEMARKING PAINT SHALL BE LONG LIFE TYPE IN ACCORDANCE WITH SECTION 95C OF THE HUME CITY COUNCIL SPECIFICATIONS. LATERAL WORKS AND ARROWS BEING COLD APPLIED PLASTIC TROWELLED INTO PLACE (MATERIAL: DEGAOUR PLASTELINE) AND LONGITUDINAL LINES BEING EXTRUDED THERMOPLASTIC MATERIAL
- ALL SIGNS TO BE CLASS 1 HIGH INTENSITY TYPE AND TO COMPLY WITH THE REQUIREMENTS OF A S 1743-2001
- HOUSE DRAIN CONNECTIONS TO 150mm DIAMETER PIPES TO BE VIA A MANUFACTURED JUNCTION PIECE. 150mm DIAMETER STORMWATER PIPES ARE TO BE HEAVY DUTY SEWER GRADE PVC PIPES SHALL BE BACKFILLED WITH 10mm MINUS F.C.R. TO 150mm ABOVE TOP OF PIPE IN ALL LOCATIONS
- 100mm HOUSE DRAIN CONNECTIONS TO BE LAID AT AN OFFSET OF 55mm FROM THE LOW SIDE OF TITLE BOUNDARY ROAD FRONTAGE AND PROPERTY INLETS 10m FROM THE LOW SIDE OF TITLE BOUNDARY REAR EASEMENTS UNLESS OTHERWISE SHOWN
- BLASTING GENERALLY IS NOT ENCOURAGED, HOWEVER, BLASTING MAY BE REQUIRED AS A LAST RESORT DEPENDING ON GROUND CONDITIONS. COUNCIL IS TO BE NOTIFIED IN WRITING IF ANY BLASTING IS NECESSARY. RESIDENTS LIKELY TO BE AFFECTED BY THE BLASTING AND ALL SERVICE AUTHORITIES SHALL BE NOTIFIED IN WRITING PRIOR TO WORKS COMMENCING. COPIES OF THESE NOTIFICATIONS ARE TO BE SUBMITTED TO COUNCIL. RESIDENT NOTIFICATION LETTER IS TO INCLUDE BLASTING GUIDELINES, FIRING AND MISFIRE PROCEDURES AND CONTRACTOR AND CONSULTANT CONTACT NAMES AND PHONE NUMBERS. ALL BLASTING IS TO BE WITHIN THE LIMITS FOR AIR AND GROUND VIBRATION LEVELS AS SET DOWN IN A S 2187 2.1993. ALL BLASTS SHALL BE MONITORED FOR AIR AND NOISE VIBRATION AT POTENTIALLY AFFECTED RESIDENCES. "FORM A" FROM AS2187 2-1993, AND WAVE TRACE COPIES ARE TO BE SUBMITTED TO COUNCIL FOR EACH BLAST. BLASTING IS TO BE RESTRICTED TO BETWEEN 9:00am AND 3:30pm. BLASTING IS NOT TO OCCUR ON WEEKENDS OR PUBLIC HOLIDAYS. BLASTING AREA SIGNS ARE TO BE PLACED AT ALL ENTRANCES TO THE SITE
- FENCING TO BE PROVIDED ALONG LOT BOUNDARIES ABUTTING RESERVES TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY
- WHERE SODIC SOILS ARE ENCOUNTERED, SODIC SOIL INVESTIGATIONS SHOULD BE CARRIED OUT BY A QUALIFIED SOIL SCIENTIST AND THE RECOMMENDATIONS OF THE REPORT SHOULD BE APPLIED DURING ROAD & DRAINAGE DESIGN AND CONSTRUCTION

SERVICES OFFSETS AND LOCATION TABLE

Location	WATER		ELECTRICITY		TELECOM
	DW	CABLES	POLE	BOK	
PEDRO ROAD (LOTS 1013-1023)	2.65 S	2.50 N	0.90 BOK	1.80 N	
PEDRO ROAD (LOT 1024)	2.65 S	2.30 N	0.90 BOK	1.80 N	
ZOE STREET	2.65 S	2.50 N	0.90 BOK	1.80 N	
MAVRA ROAD	2.65 N	2.30 S	0.90 BOK	1.80 S	
GOSHAWK ROAD	2.60 S	2.50 N	0.90 BOK	1.80 E	
EAGLEHAWK STREET	3.60 S	2.40 N	0.90 BOK	1.80 E	
ALPACA DRIVE	2.60 N	3.10 S	0.90 BOK	2.10 S	



LOCALITY PLAN



DRAWING SCHEDULE

DRAWING	DESCRIPTION	SHEET No.	REVISION
305921R01	FACE SHEET	1	7
305921R02	DETAIL PLAN - SHEET 1 OF 2	2	4
305921R03	DETAIL PLAN - SHEET 2 OF 2	3	5
305921R04	LONGITUDINAL SECTIONS - MAVRA ROAD	4	0
305921R05	LONGITUDINAL SECTIONS - PEDRO ROAD & GOSHAWK ROAD	5	0
305921R06	LONGITUDINAL SECTIONS - EAGLEHAWK ST, ZOE ST & ALPACA DR	6	0
305921R07	CROSS SECTIONS - MAVRA ROAD	7	0
305921R08	CROSS SECTIONS - MAVRA ROAD	8	0
305921R09	CROSS SECTIONS - PEDRO ROAD	9	0
305921R10	CROSS SECTIONS - ZOE STREET	10	0
305921R11	CROSS SECTIONS - EAGLEHAWK STREET & GOSHAWK ROAD	11	0
305921R12	CROSS SECTIONS - ALPACA DRIVE	12	0
305921R13	INTERSECTION DETAILS - SHEET 1 OF 2	13	0
305921R14	INTERSECTION DETAILS - SHEET 2 OF 2	14	2
305921R15	DRAINAGE LONGSECTIONS - SHEET 1 OF 5	15	0
305921R16	DRAINAGE LONGSECTIONS - SHEET 2 OF 5	16	0
305921R17	DRAINAGE LONGSECTIONS - SHEET 3 OF 5	17	1
305921R18	DRAINAGE LONGSECTIONS - SHEET 4 OF 5	18	1
305921R19	DRAINAGE LONGSECTIONS - SHEET 5 OF 5 & PIT SCHEDULE	19	4
305921R20	TYPICAL CROSS SECTIONS AND TYPICAL DETAILS	20	0
305921R21	PAVEMENT DETAILS	21	1
305921R22	SIGNAGE, LINEMARKING & CARPARKING PLAN	22	2
305921R23	RETAINING WALL DETAILS - SHEET 1 OF 2	23	3
305921R24	RETAINING WALL DETAILS - SHEET 2 OF 2	24	1
305921R25	SMALL LOTS LEVEL PLAN	25	1
305921R26	DRAINAGE OUTFALL PLAN	26	0



**DIAL BEFORE
YOU DIG**
www.1100.com.au

WARNING
BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

LEGEND

DESCRIPTION

DESCRIPTION	EXISTING	PROPOSED
WATER MAIN, VALVE AND HYDRANT	DW	NDW
WATER RECYCLED	NDW	NDW
UNDERGROUND ELECTRICITY	E	E
OVERHEAD ELECTRICITY & POLE	OE	OE
TELECOMMUNICATIONS & SERVICE PIT	T	T
OPTIC FIBRE	OF	OF
OVERHEAD TELECOMMUNICATIONS	OT	OT
GAS MAIN	G	G
BRANCH SEWER & MAINTENANCE STRUCTURE	S	S
SEWER & MAINTENANCE STRUCTURE	S	S
SEWER RISING MAIN		
CENTRAL INVERT		
COUNCIL STORMWATER DRAIN AND PIT		
STORM WATER DRAINAGE PROPERTY INLETS		
COUNCIL STORM WATER PITS		
HOUSE DRAIN	H	H
AG DRAIN AND FLUSHER		
MWC STORM WATER DRAIN & PIT		
MWC STORM WATER PITS		
STORM WATER DRAINAGE PIT NUMBER		
GAS & WATER CONDUITS		
CONCRETE VEHICLE CROSSING		
PAVEMENT SAWCUT LINE		
RIDGE / CHANGE OF GRADE LINE		
SURFACE CONTOUR MINOR	169.00	169.00
SURFACE CONTOUR MAJOR	168.90	168.90
SURFACE LEVEL	123.45	FS124.68
BATTER LEVEL (TOP / TOE)	1124.80	T124.80
RETAINING WALL LEVEL (TOP/BOTTOM)	TW112.76	TW128.50 BW126.74
EARTHWORKS GRADE		1 in 150
SIGN AND POST		
LIGHT & POLE (BY OTHERS)		
STREET SIGN		
PERMANENT SURVEY MARK		
TEMPORARY BENCH MARK		
BOLLARD		
ROAD CHAINAGES	CH116.57 (L/R)TP CH116.57	CH116.57 (L/R)TP CH116.57
LOT CHAINAGES	CH20.06	CH20.06
SETOUT POINT		A2
LIMIT OF WORKS		
BATTER		
EXCAVATION GREATER THAN 0.20m		
FILLING GREATER THAN 0.20m		
ROCK BEACHING		
RETAINING WALL		
RANDOM ROCK RETAINING WALL		
FENCE - TREE PROTECTION		
FENCE - VEHICLE EXCLUSION		
FENCES		
GUARD RAIL		
TREE (& SURVEYED CANOPY) TO BE RETAINED		
TREE TO BE PROTECTED		
TREE TO BE REMOVED		
VEGETATION LINE		
FOOTPATH		
TACTILE GROUND SURFACE INDICATOR		
KERB TRANSITION		B2 SM2

7	DRAWING SCHEDULE UPDATED - R01 & R26 ADDED	M.T.S	07/05/24
6	DRAWING SCHEDULE UPDATED - R01 & R5	M.T.S	16/02/24
5	DRAWING SCHEDULE UPDATED - R01, R02, R03, & R19	M.T.S	08/02/24
4	DRAWING SCHEDULE UPDATED - R01, R02, R03, R14, R19, R23 & R24	M.T.S	29/01/24
3	DRAWING SCHEDULE UPDATED - R01, R02, R03, R21, R22, R23 & R25	M.T.S	12/01/24
2	DRAWING SCHEDULE UPDATED - R01, R02, R03, R14, R18, R19, R22, R23 & R25	M.T.S	31/10/23
1	DRAWING SCHEDULE UPDATED - R01, R17 & R19	M.T.S	24/10/23
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire

spiire.com.au

ABN 55 050 029 635



Designed
R. WEINBER
Authorised
M. TOOMER-SMITH

Redstone.
Your world awaits

Checked
D CAMERON
Date
20/06/22

REDSTONE ESTATE STAGE 10 FACE SHEET

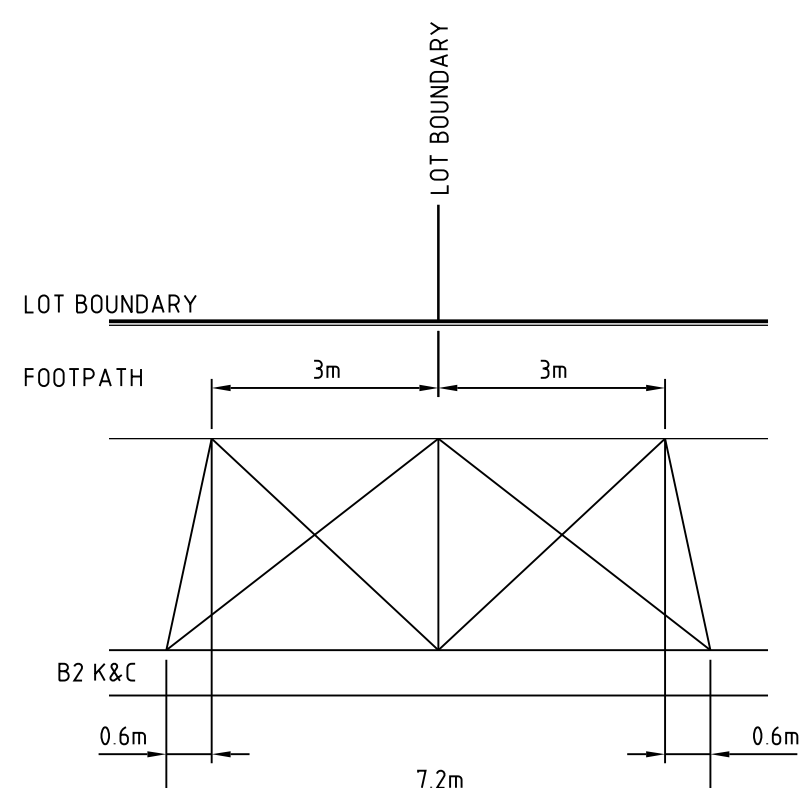
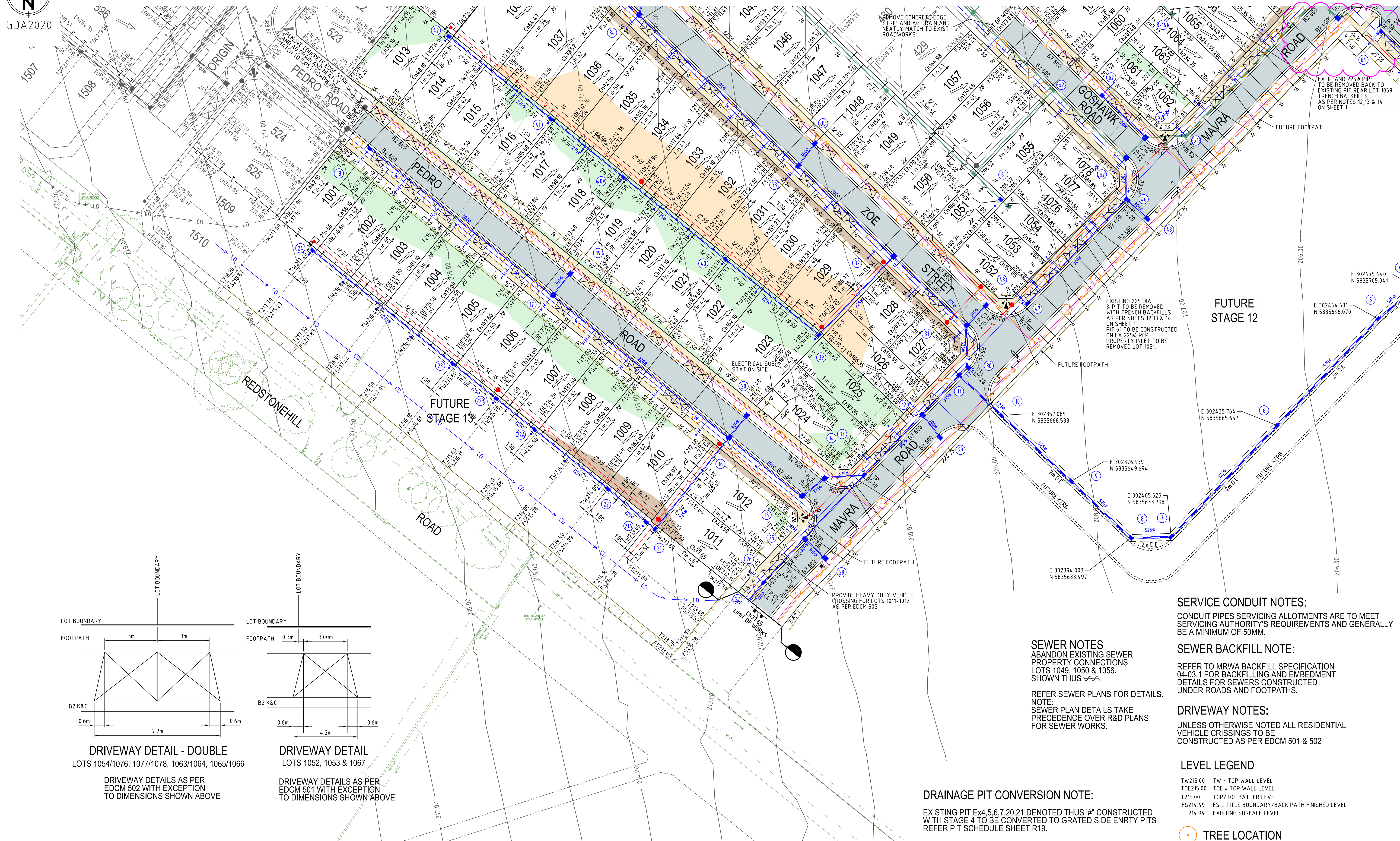
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

AS CONSTRUCTED Drg No **305921R01**

Rev
7

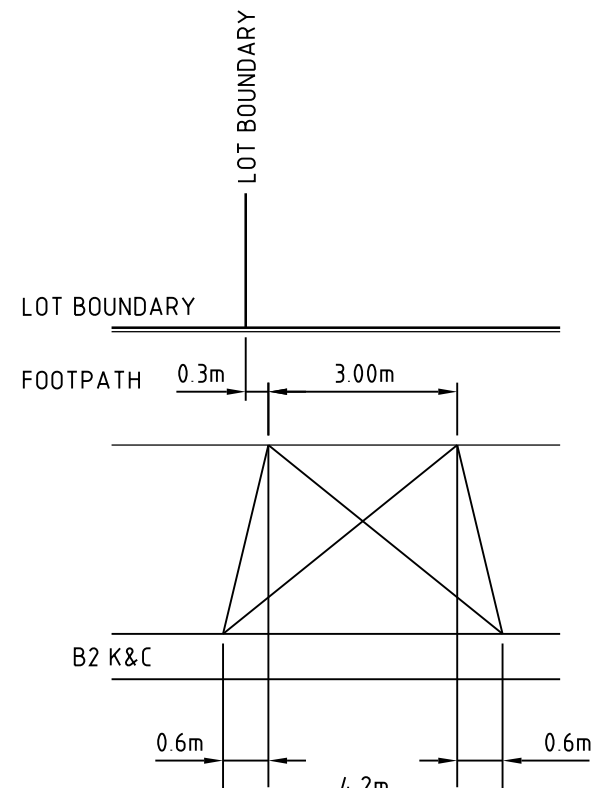


FOR CONTINUATION REFER SHEET 3



DRIVEWAY DETAIL - DOUBLE
LOTS 1054/1076, 1077/1078, 1063/1064, 1065/1066

DRIVEWAY DETAILS AS PER
EDCM 502 WITH EXCEPTION
TO DIMENSIONS SHOWN ABOVE



DRIVEWAY DETAIL
LOTS 1052, 1053 & 1067

DRIVEWAY DETAILS AS PER
EDCM 501 WITH EXCEPTION
TO DIMENSIONS SHOWN ABOVE

SERVICE CONDUIT NOTES:

CONDUIT PIPES SERVICING ALLOTMENTS ARE TO MEET
SERVICING AUTHORITY'S REQUIREMENTS AND GENERALLY
BE A MINIMUM OF 50MM.

SEWER BACKFILL NOTE:

REFER TO MRWA BACKFILL SPECIFICATION
04-03.1 FOR BACKFILLING AND EMBEDMENT
DETAILS FOR SEWERS CONSTRUCTED
UNDER ROADS AND FOOTPATHS.

DRIVEWAY NOTES:

UNLESS OTHERWISE NOTED ALL RESIDENTIAL
VEHICLE CRISSINGS TO BE
CONSTRUCTED AS PER EDCM 501 & 502

LEVEL LEGEND

TW215.00 TW = TOP WALL LEVEL
TOE215.00 TOE = TOP WALL LEVEL
T215.00 TOP/TOE BATTER LEVEL
FS214.49 FS = TITLE BOUNDARY/BACK PATH FINISHED LEVEL
214.94 EXISTING SURFACE LEVEL



TREE LOCATION

SEWER NOTES

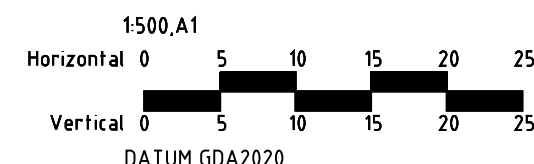
ABANDON EXISTING SEWER
PROPERTY CONNECTIONS
LOTS 1049, 1050 & 1056.
SHOWN THUS

REFER SEWER PLANS FOR DETAILS.
NOTE:
SEWER PLAN DETAILS TAKE
PRECEDENCE OVER R&D PLANS
FOR SEWER WORKS.

DRAINAGE PIT CONVERSION NOTE:

EXISTING PIT Ex4.5 6.7 20.21 DENOTED THUS 'H' CONSTRUCTED
WITH STAGE 4 TO BE CONVERTED TO GRATED SIDE ENTRY PITS
REFER PIT SCHEDULE SHEET R19.

4	PIT 64 MOVED 0.6M TO TP	M.T.S	08/02/24
3	Ex PIT DRAINAGE NUMBERS ADDED. SEWER NOTE UPDATED REMOVED LOT 1055	M.T.S	29/01/24
	DRIVEWAY DETAILS ADDED		
2	LOT LAYOUT UPDATED 1052 TO 1078 AND 1061 TO 1081. TREES, CONDUITS UPDATED	M.T.S	12/01/24
	RET WALL ADDED REAR LOT 1061 & 1062		
1	LOT LAYOUT UPDATED, LOTS 1051 TO 1055 & 1058 TO 1081	M.T.S	31/10/23
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the
benefit of and use by the client in accordance with the terms of the
retainer. Spiire Australia Pty Ltd does not and shall not assume any
responsibility or liability whatsoever to any third party arising out of
any use or reliance by third party on the content of this document.

spiire

spiire.com.au

ABN 55 050 029 635



Designed
R. WEINBER
Authorised
M. TOOMER-SMITH

Checked
D CAMERON
Date
20/06/22

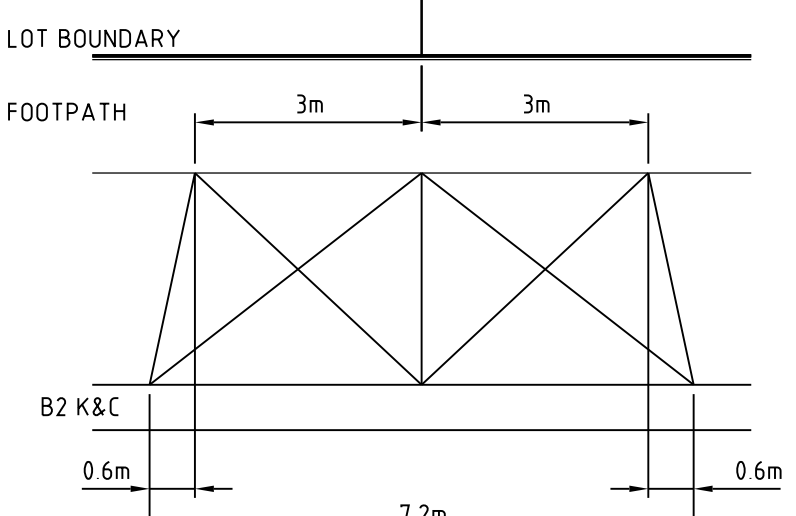
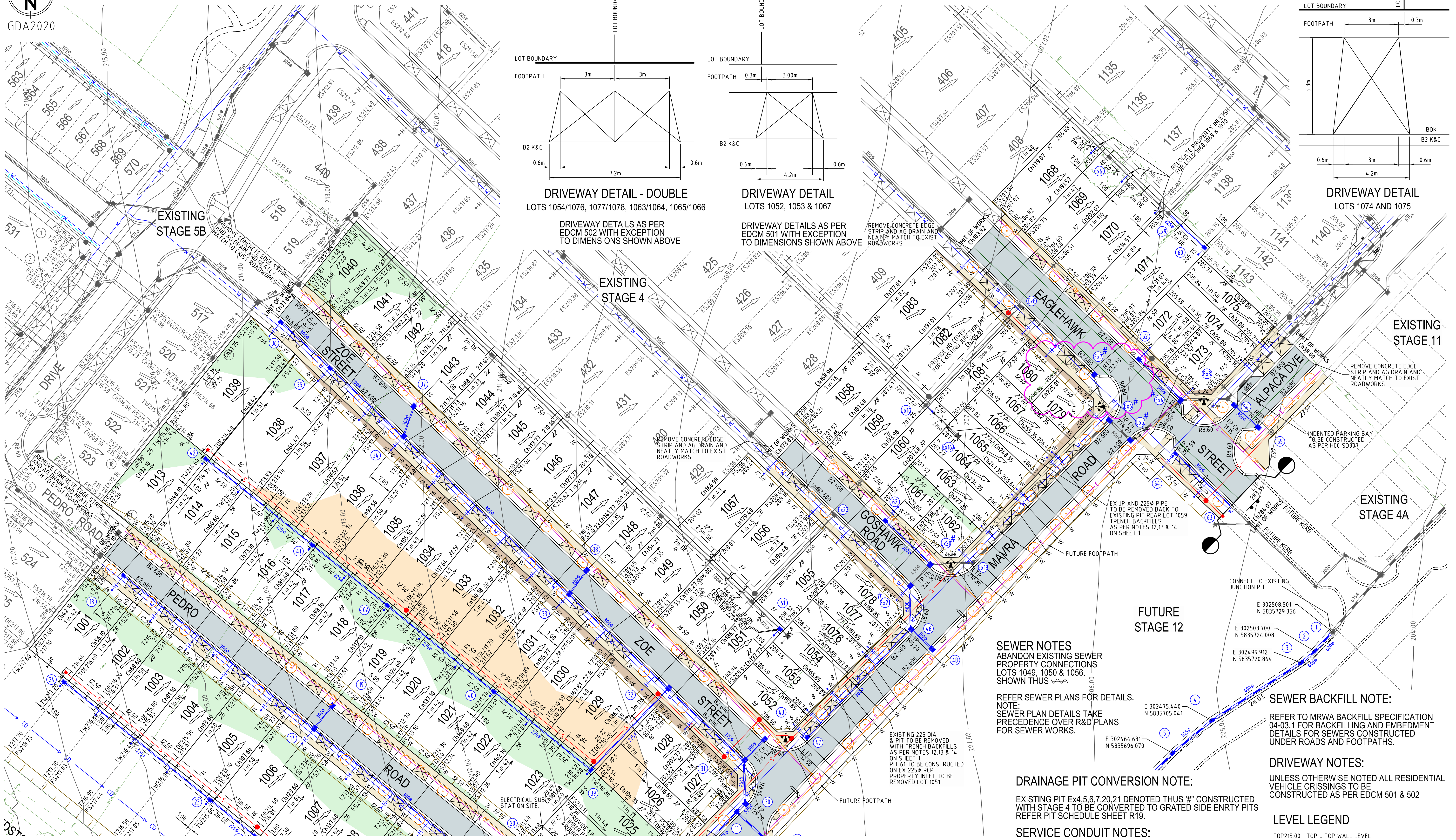
Redstone.
Your world awaits

REDSTONE ESTATE
STAGE 10
ROAD & DRAINAGE FACE PLAN
SHEET 1 OF 2

VILLAWOOD PROPERTIES
HUME CITY COUNCIL

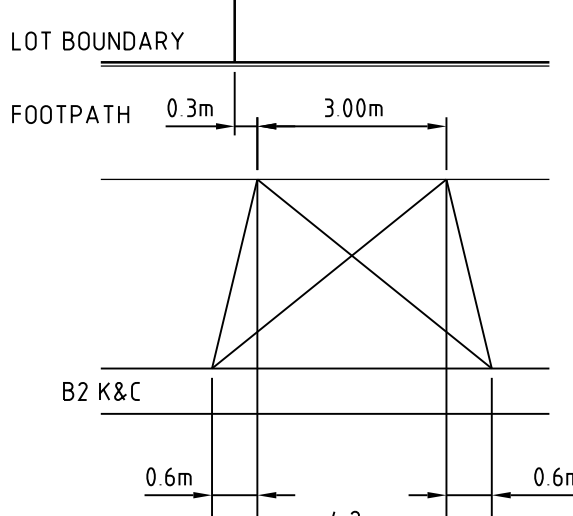
AS CONSTRUCTED Drg No **305921R02**

Rev
4



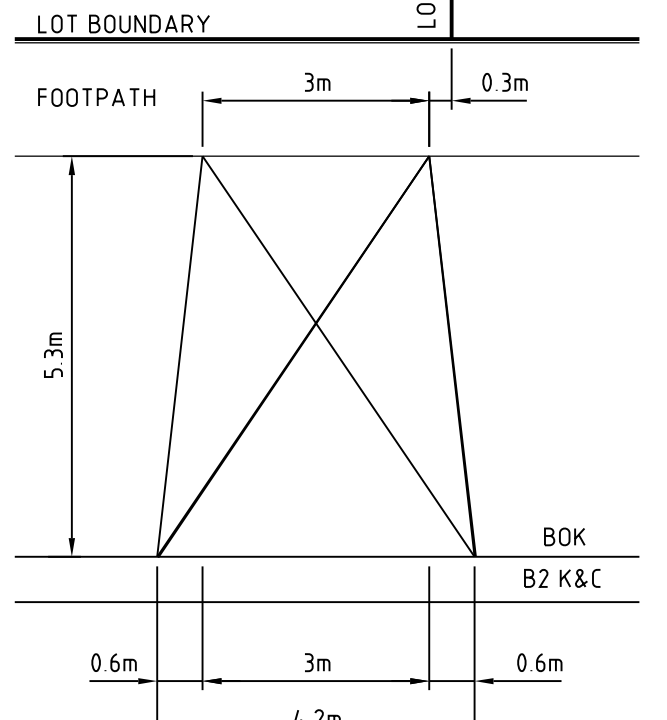
DRIVEWAY DETAIL - DOUBLE
LOTS 1054/1076, 1077/1078, 1063/1064, 1065/1066

DRIVEWAY DETAILS AS PER EDM 502 WITH EXCEPTION TO DIMENSIONS SHOWN ABOVE



DRIVEWAY DETAIL
LOTS 1052, 1053 & 1067

DRIVEWAY DETAILS AS PER EDM 501 WITH EXCEPTION TO DIMENSIONS SHOWN ABOVE



DRIVEWAY DETAIL
LOTS 1074 AND 1075

SEWER NOTES
ABANDON EXISTING SEWER PROPERTY CONNECTIONS LOTS 1049, 1050 & 1056. SHOWN THUS

REFER SEWER PLANS FOR DETAILS.
NOTE:
SEWER PLAN DETAILS TAKE PRECEDENCE OVER R&D PLANS FOR SEWER WORKS.

DRAINAGE PIT CONVERSION NOTE:
EXISTING PIT EX 4.5.6.7.20.21 DENOTED THUS "H" CONSTRUCTED WITH STAGE 4 TO BE CONVERTED TO GRATED SIDE ENTRY PITS REFER PIT SCHEDULE SHEET R19.

SERVICE CONDUIT NOTES:
CONDUIT PIPES SERVICING ALLOTMENTS ARE TO MEET SERVICING AUTHORITY'S REQUIREMENTS AND GENERALLY BE A MINIMUM OF 50MM.

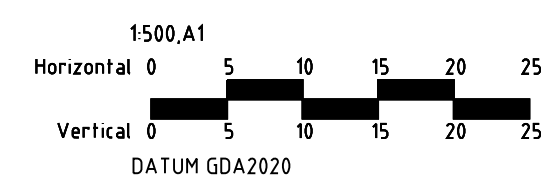
SEWER BACKFILL NOTE:
REFER TO MRWA BACKFILL SPECIFICATION 04-03.1 FOR BACKFILLING AND EMBEDMENT DETAILS FOR SEWERS CONSTRUCTED UNDER ROADS AND FOOTPATHS.

DRIVEWAY NOTES:
UNLESS OTHERWISE NOTED ALL RESIDENTIAL VEHICLE CRISSINGS TO BE CONSTRUCTED AS PER EDM 501 & 502

LEVEL LEGEND

TOP215.00	TOP = TOP WALL LEVEL
TOE215.00	TOE = TOP WALL LEVEL
T215.00	TOP/TOE BATTER LEVEL
FS214.49	FS = TITLE BOUNDARY/BACK PATH FINISHED LEVEL
214.94	EXISTING SURFACE LEVEL

5	LOT 1079 WATER CONDUIT MOVED TO 1.4m O/S FROM SPLAY, TREE RELOCATED	M.T.S	16/02/24
4	PIT 64 MOVED 0.6M TO TP	M.T.S	08/02/24
3	Ex PIT DRAINAGE NUMBERS ADDED. SEWER NOTE UPDATED REMOVED LOT 1055	M.T.S	29/01/24
DRIVEWAY DETAILS ADDED			
2	LOT LAYOUT UPDATED 1052 TO 1078 AND 1061 TO 1081. TREES, CONDUITS UPDATED	M.T.S	12/01/24
RET WALL ADDED REAR LOT 1061 & 1062			
1	LOT LAYOUT UPDATED, LOTS 1051 TO 1055 & 1058 TO 1081	M.T.S	31/10/23
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



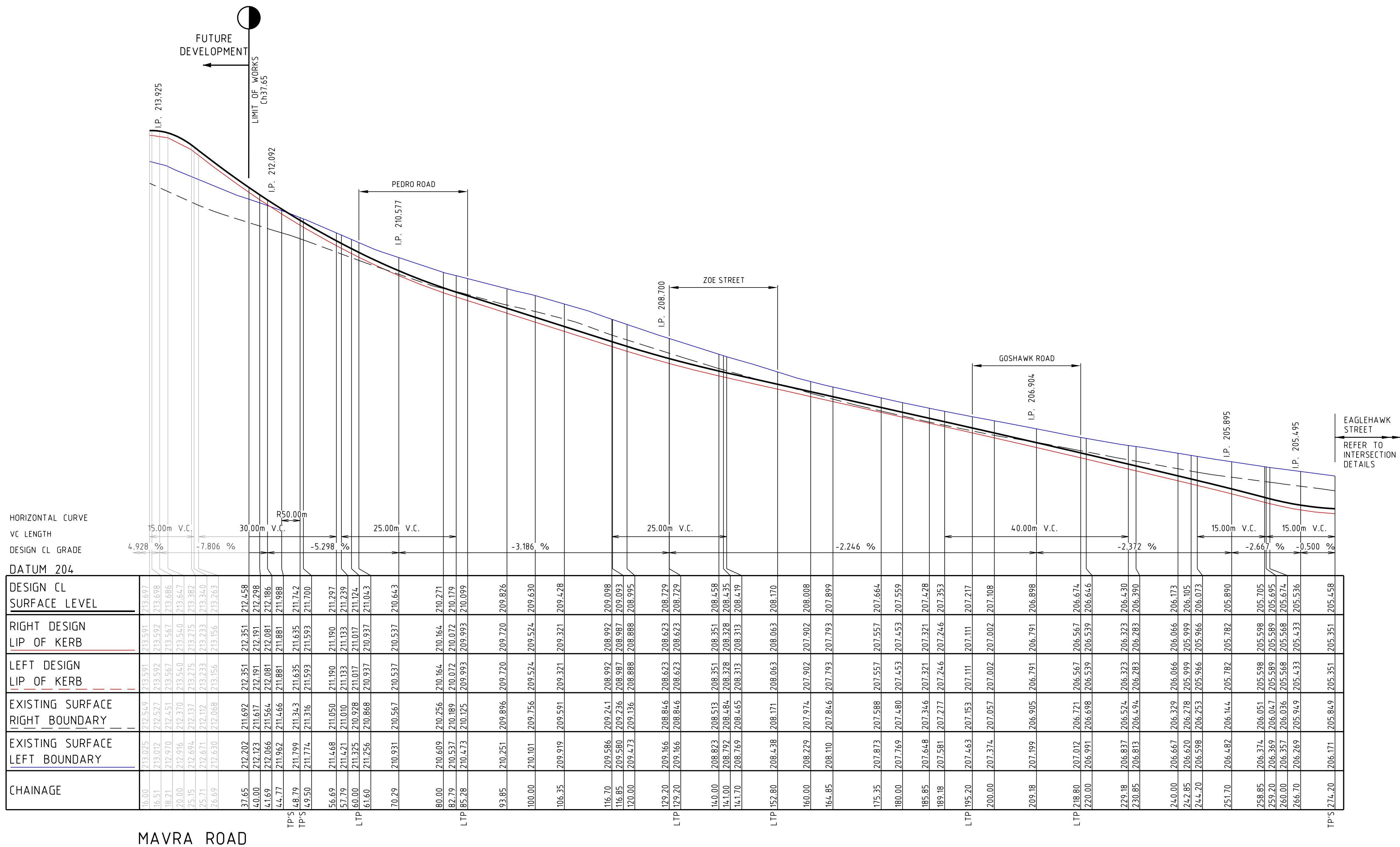
© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire
spiire.com.au
ABN 55 050 029 635

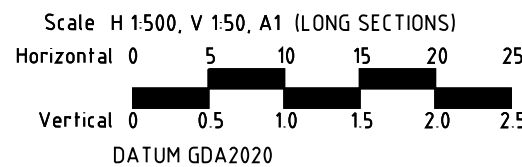
villawood properties
Communities Designed for Living
Designed
R. WEINBER
Authorised
M. TOOMER-SMITH

Redstone.
Your world awaits
Checked
D CAMERON
Date
20/06/22

REDSTONE ESTATE
STAGE 10
ROAD & DRAINAGE FACE PLAN
SHEET 2 OF 2
VILLAWOOD PROPERTIES
HUME CITY COUNCIL
AS CONSTRUCTED Drg No **305921R03** Rev **5**



0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.



spiire.com.au ABN 55 050 029 635



Designed
R. WEINBER
Authorised
M. TOOMER-SMITH

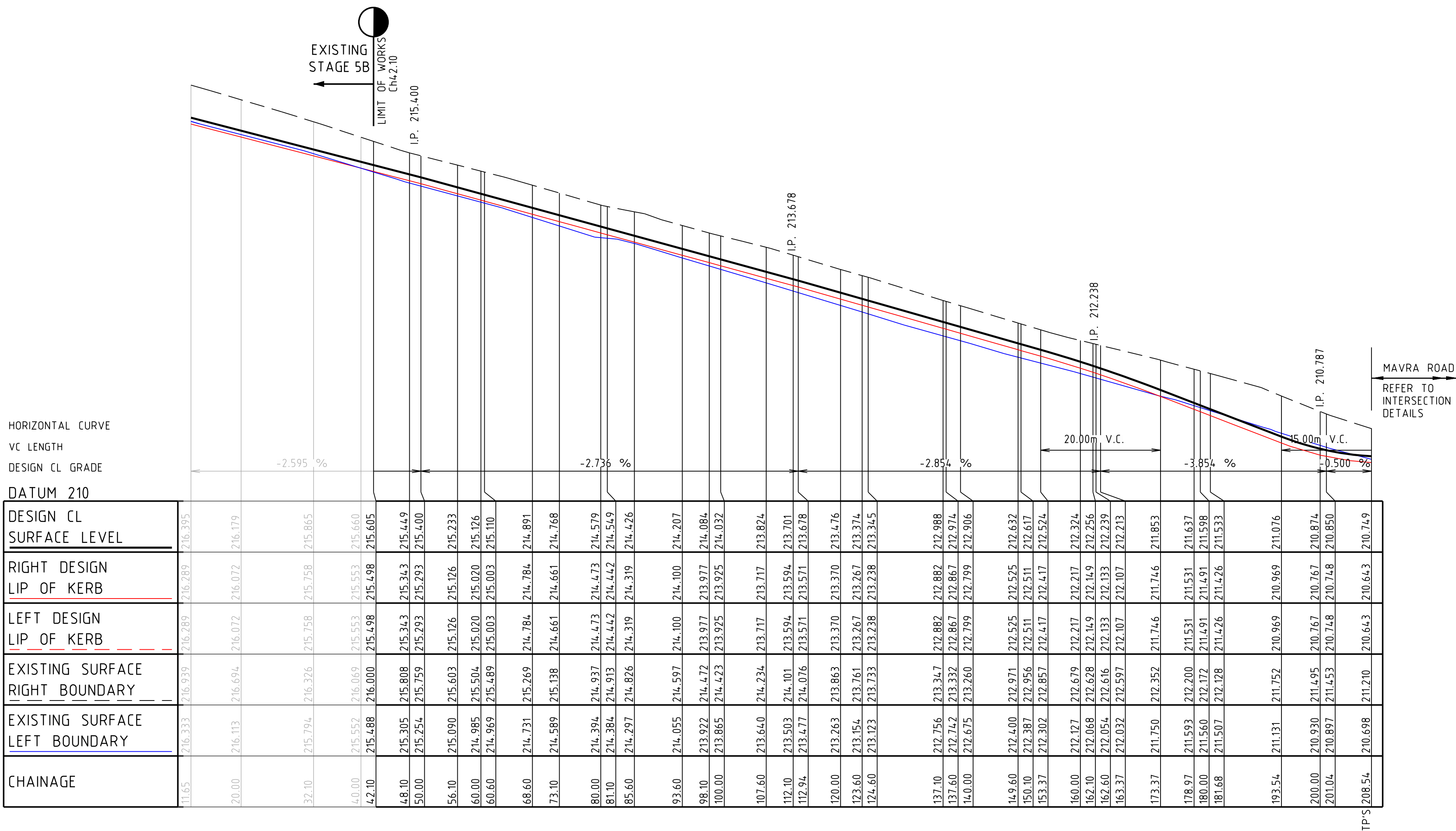


Checked
D. CAMERON
Date
16/06/22

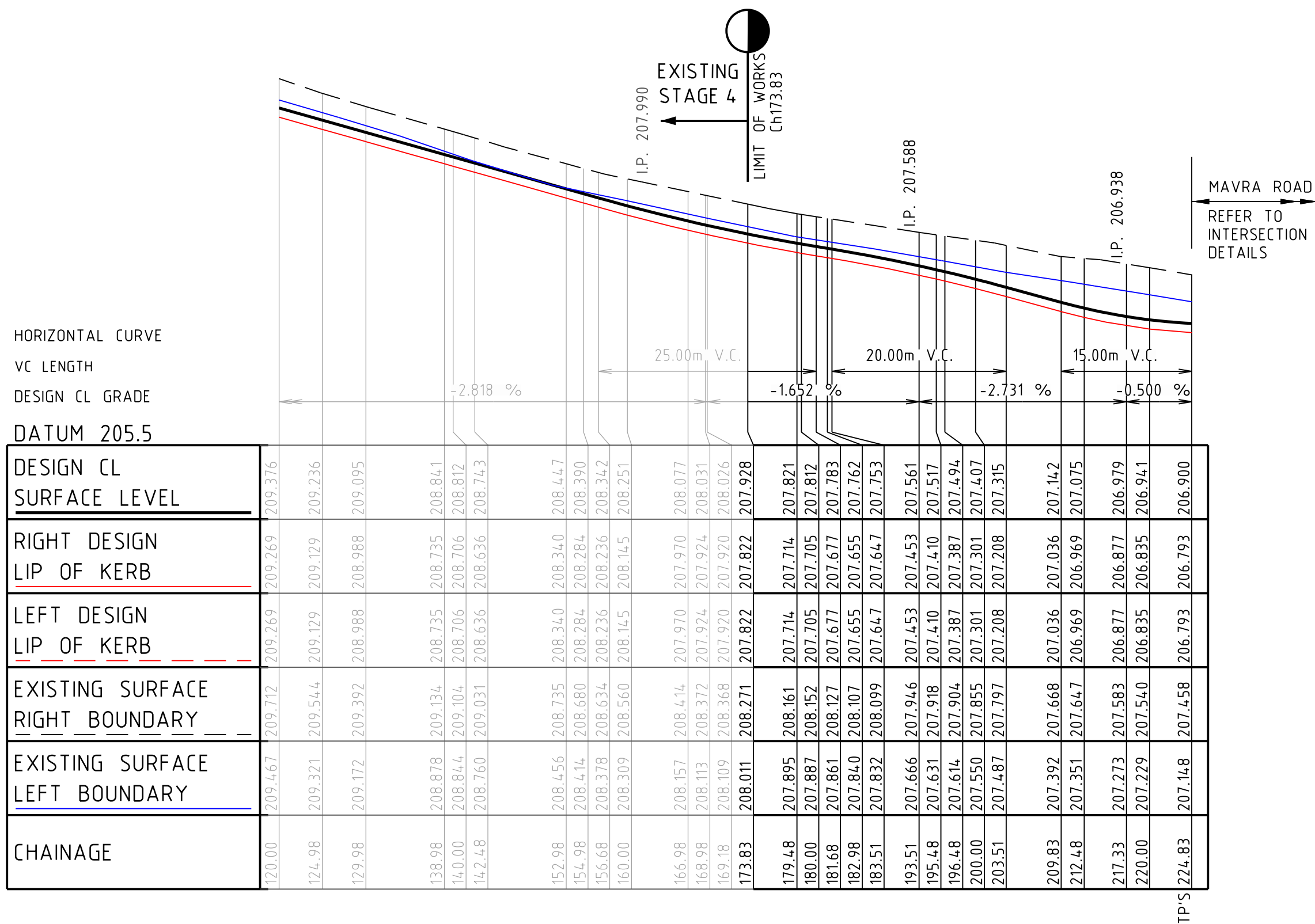
REDSTONE ESTATE
STAGE 10
LONGITUDINAL SECTIONS
MAVRA ROAD
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

AS CONSTRUCTED Drg No 305921R04

Rev 0

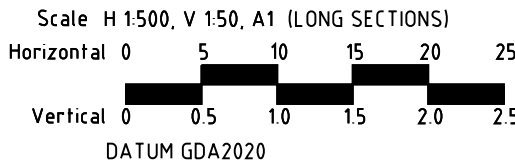


PEDRO ROAD



GOSHAWK ROAD

0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved

This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire.com.au

ABN 55 050 029 635

Communities Designed for Living

Designed
R. WEINBER

Authorised
M. TOOMER-SMITH

Redstone.

Your world awaits

Checked
D. CAMERON

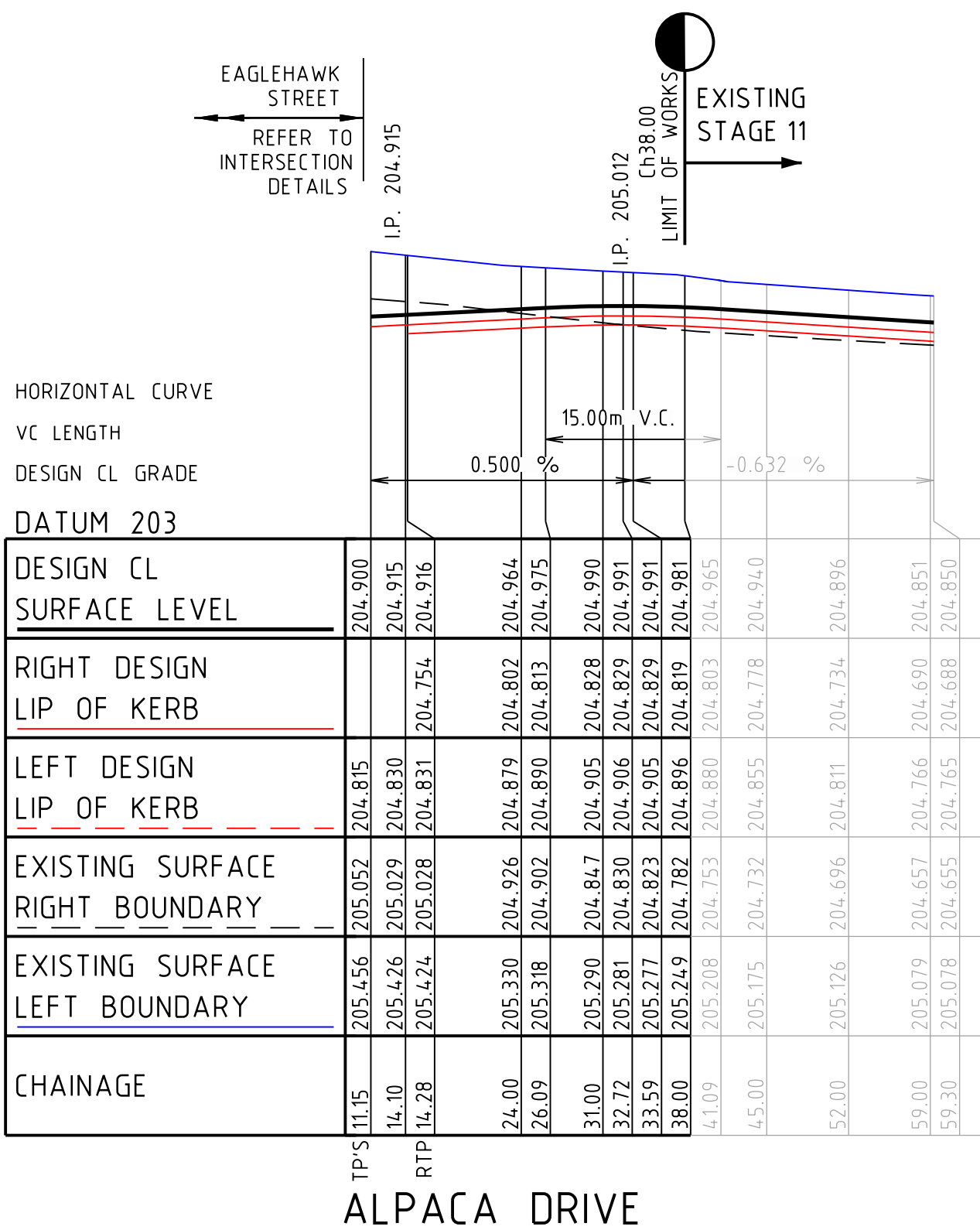
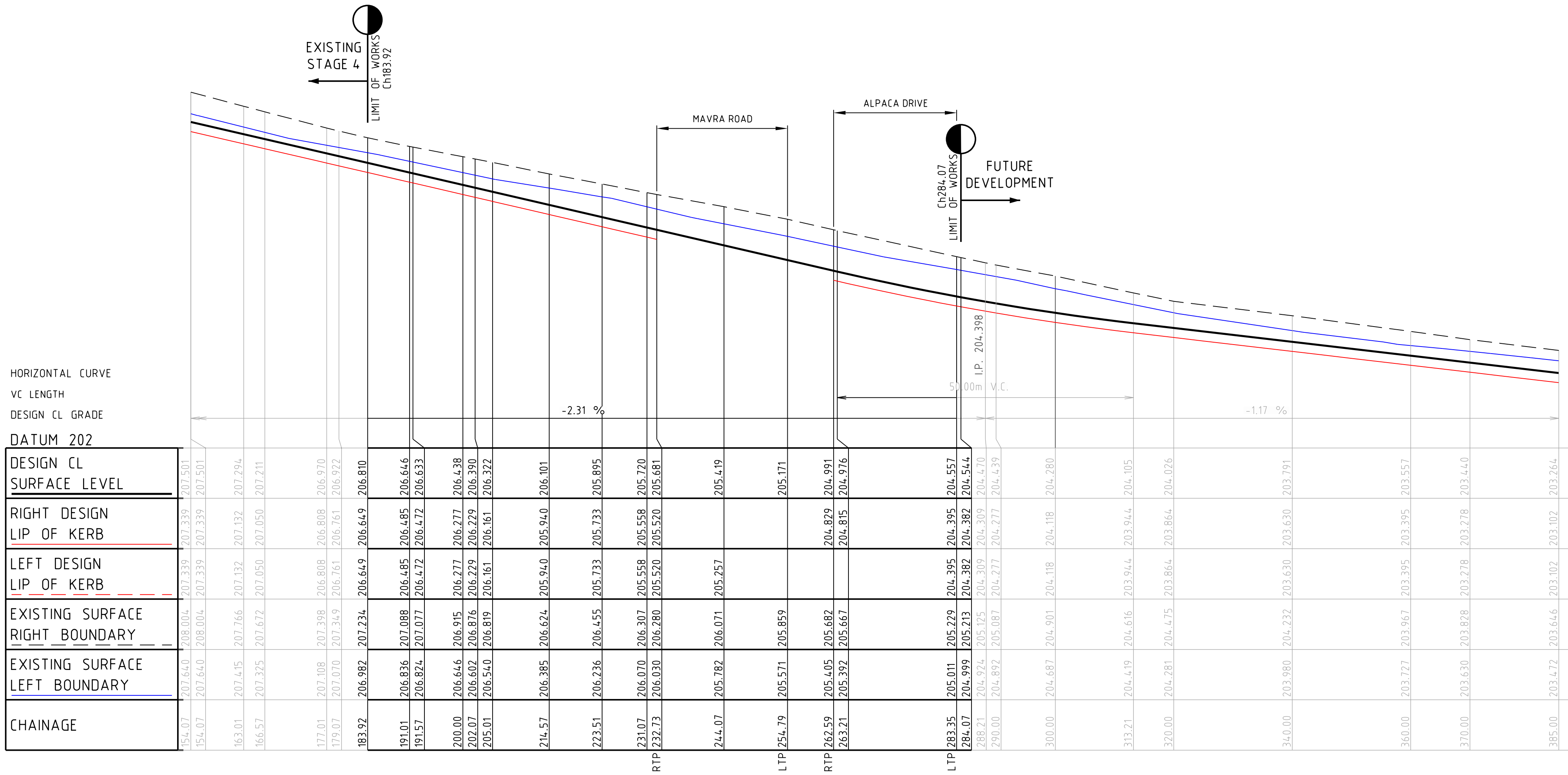
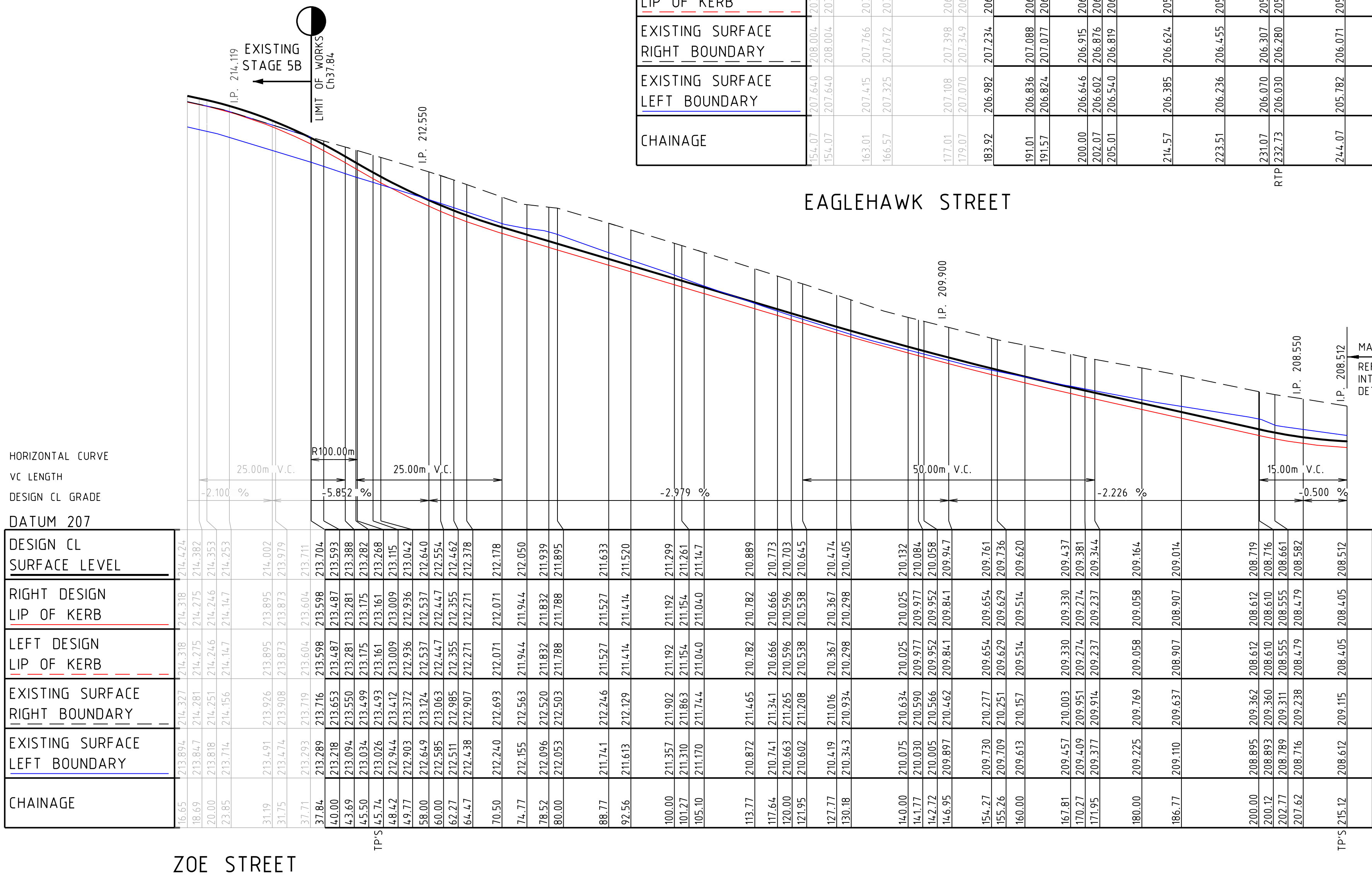
Date
16/06/22

REDSTONE ESTATE
STAGE 10
LONGITUDINAL SECTIONS
PEDRO ROAD & GOSHAWK ROAD
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

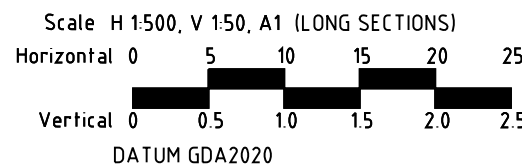
AS CONSTRUCTED

Drg No
305921R05

Rev
0



0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date





(ALLOTMENT MINIMUM GRADE 1 IN 150)

ALLOTMENT BATTER NOTE
IF NOT SHOWN FOR CLARITY
ALL BATTERS WITHIN ALLOTMENTS
TO BE GRADE 1 IN 5.
UNLESS NOTED OTHERWISE



Ch 106.35



Ch 85.28



Ch 61.60



Ch 37.65

[illegible]

MAVRA ROAD

Ch 195.20



Ch 175.35



Ch 152.80



Ch 129.20

Scale H 1:100, V 1:50, A1 (CROSS SECTIONS)

Horizontal 0 1 2 3 4 5

Vertical 0 0.5 1.0 1.5 2.0 2.5

The diagram shows a cross-section of a road profile. The horizontal axis is labeled 'Horizontal' with values 0, 1, 2, 3, 4, 5. The vertical axis is labeled 'Vertical' with values 0, 0.5, 1.0, 1.5, 2.0, 2.5. The profile consists of a series of rectangular blocks of width 1 unit each. The first block is 0.5 units high, the second is 1.0 units high, the third is 1.5 units high, the fourth is 2.0 units high, and the fifth is 2.5 units high. This represents a constant 10% gradient over a 5-unit horizontal distance.



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire

spiire.com.au

ABN 55 050 029 635



Communities Designed for Living

Designed
R. WEINBER

Authorised
M. TOOMER-SMITH

Redstone.

Your world awaits

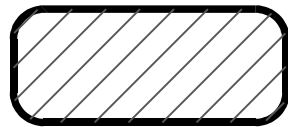
Checked
D. CAMERON

Date
16/06/22

**REDSTONE ESTATE
STAGE 10
CROSS SECTIONS
MAVRA ROAD
VILLAWOOD PROPERTIES
HUME CITY COUNCIL**

AS CONSTRUCTED Drg No **305921R07**

0

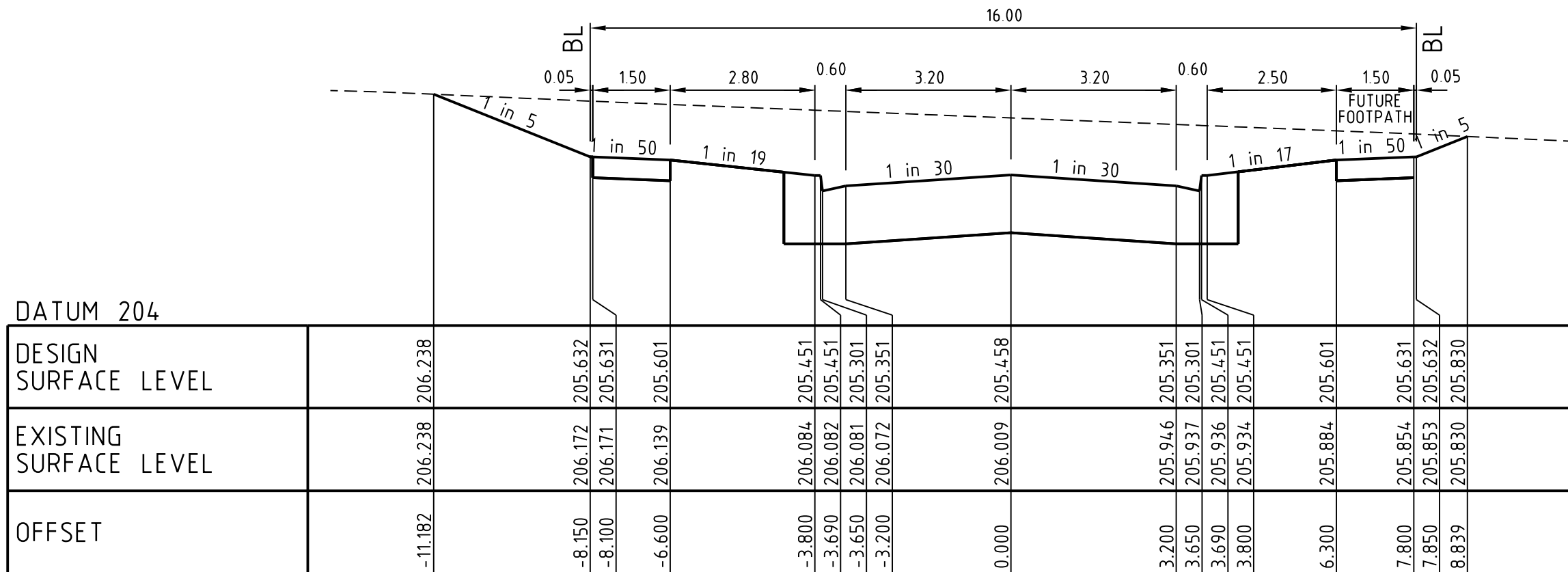


CLASS 3 CRUSHED
ROCK BACKFILL

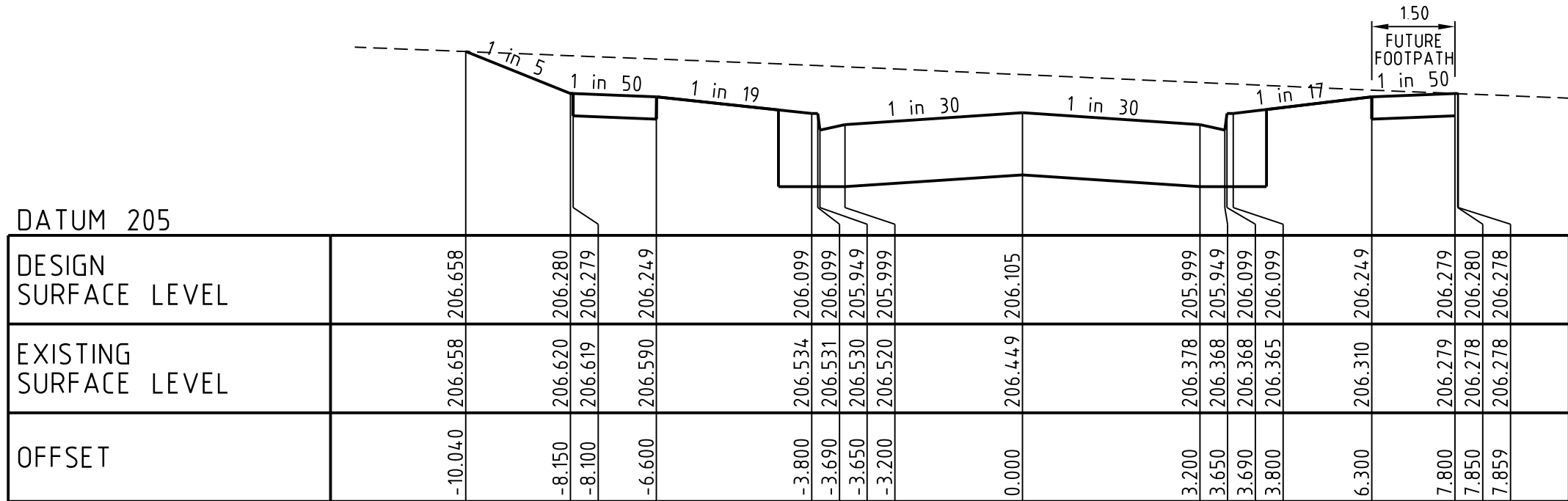
ALLOTMENT GRADE NOTE
FINISHED SURFACE GRADE VARIES
ALONG ALLOTMENT FRONTAGE. PROFILE
INDICATED THUS: LOT GRADE

(ALLOTMENT MINIMUM GRADE 1 IN 150)

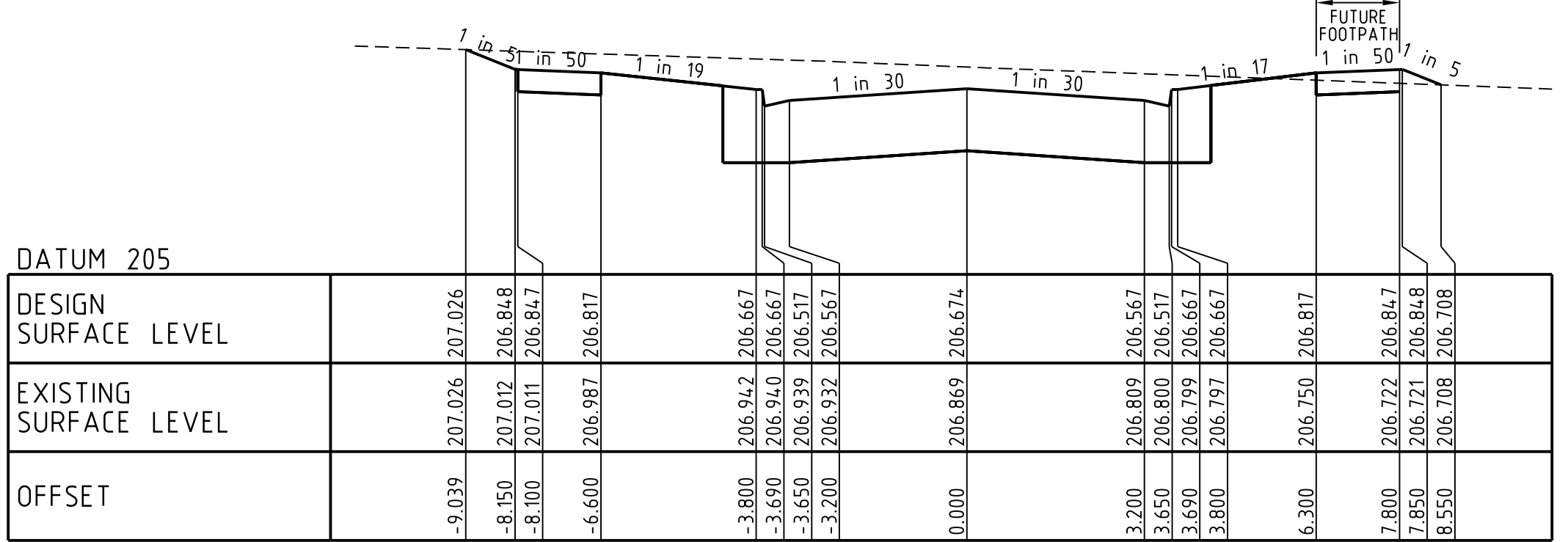
ALLOTMENT BATTER NOTE
IF NOT SHOWN FOR CLARITY
ALL BATTERS WITHIN ALLOTMENTS
TO BE GRADE 1 IN 5.
UNLESS NOTED OTHERWISE



MAVRA ROAD
Ch 274.20

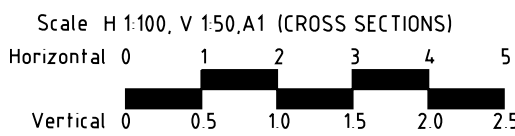


MAVRA ROAD
Ch 242.85



MAVRA ROAD
Ch 218.80

0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire

spiire.com.au

ABN 55 050 029 635



Communities Designed for Living

Designed
R. WEINBER
Authorised
M. TOOMER-SMITH



Your world awaits

Checked
D. CAMERON
Date
16/06/22

REDSTONE ESTATE
STAGE 10
CROSS SECTIONS
MAVRA ROAD
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

AS CONSTRUCTED Drg No 305921R08

Rev 0

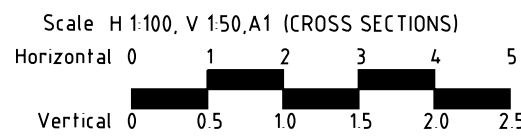


(ALLOTMENT MINIMUM GRADE 1 IN 150)

ALLOTMENT BATTER NOTE
IF NOT SHOWN FOR CLARITY
ALL BATTERS WITHIN ALLOTMENTS
TO BE GRADE 1 IN 5.
UNLESS NOTED OTHERWISE



0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

The Spiire logo, featuring the word "spiire" in a lowercase, sans-serif font. The two dots above the "i" are red, while the rest of the text is dark grey.

spiire.com.au

ABN 55 050 029 635



Communities Designed for Living

Designed
R. WEINBER

Authorised
M. TOOMER-SMITH

Redstone.
Your world awaits

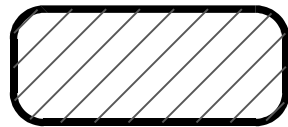
Checked
D. CAMERON

Date
16/06/22

**REDSTONE ESTATE
STAGE 10
CROSS SECTIONS
PEDRO ROAD
VILLAWOOD PROPERTIES
HUME CITY COUNCIL**

AS CONSTRUCTED Drg No **305921R09**

0

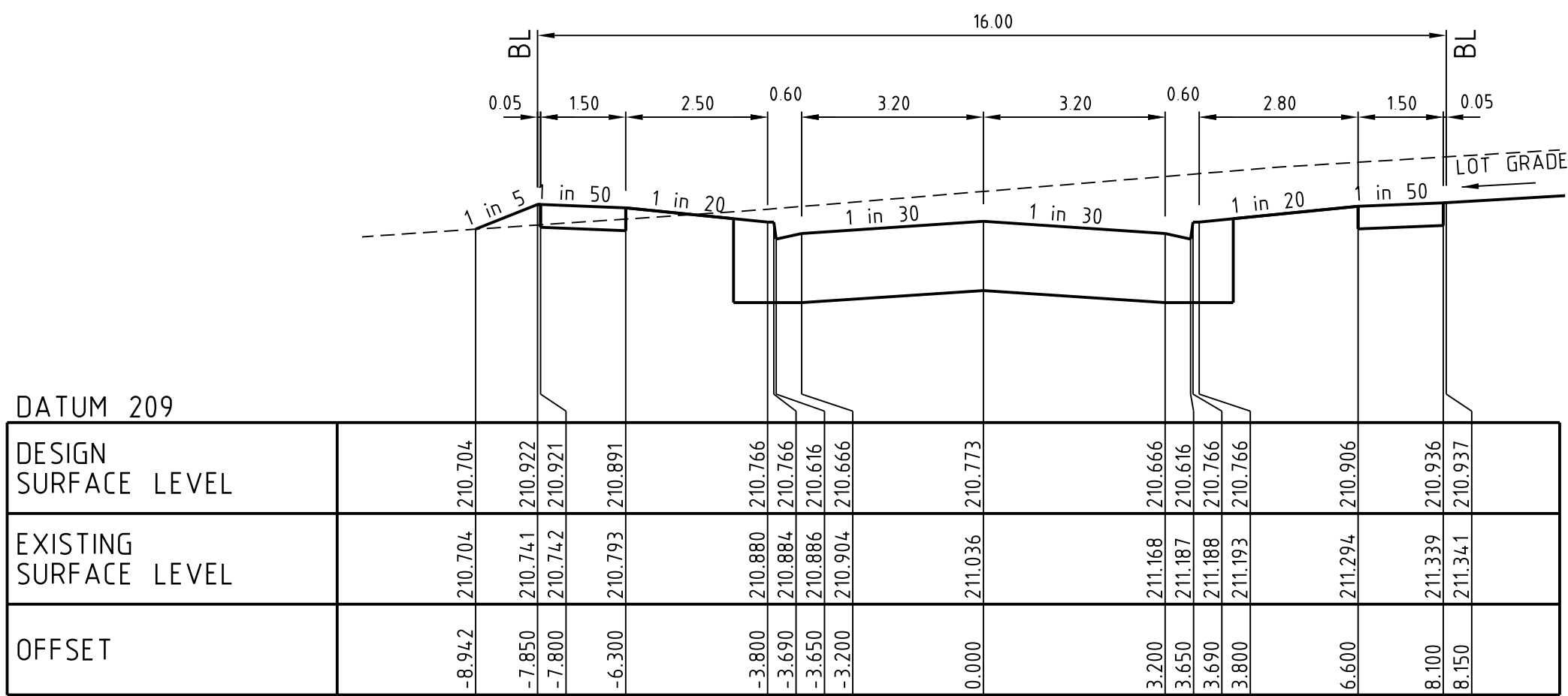


CLASS 3 CRUSHED
ROCK BACKFILL

ALLOTMENT GRADE NOTE
FINISHED SURFACE GRADE VARIES
ALONG ALLOTMENT FRONTAGE. PROFILE
INDICATED THUS: LOT GRADE

(ALLOTMENT MINIMUM GRADE 1 IN 150)

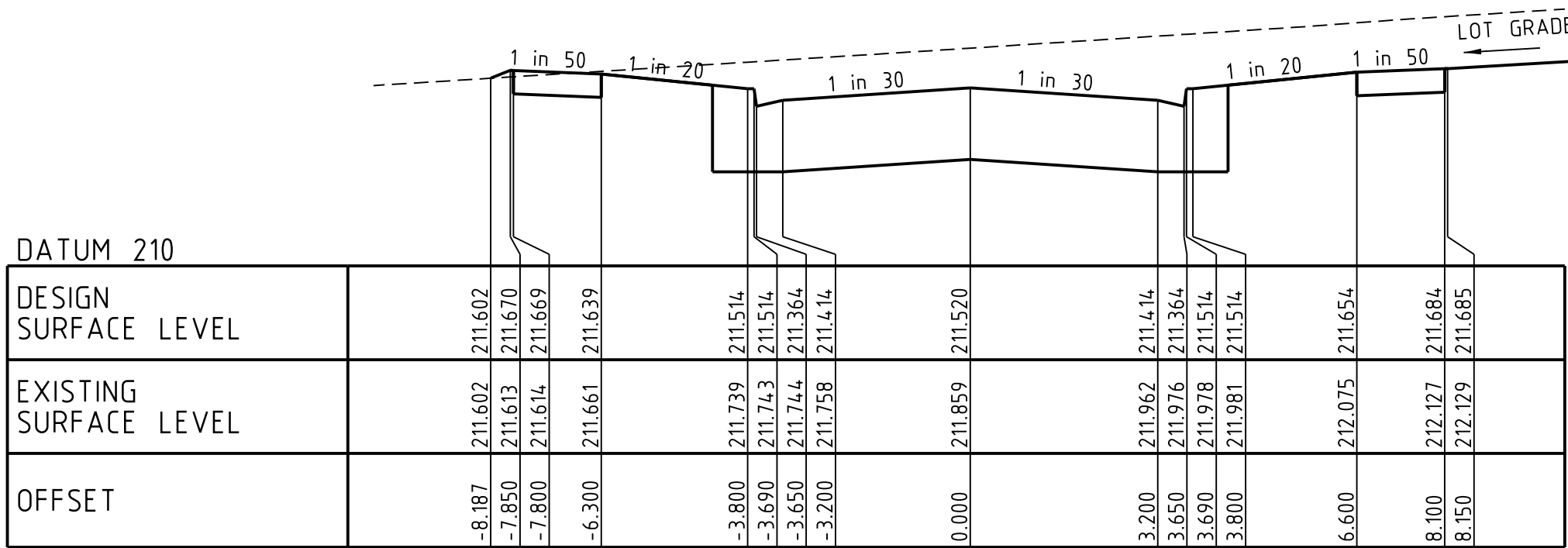
ALLOTMENT BATTER NOTE
IF NOT SHOWN FOR CLARITY
ALL BATTERS WITHIN ALLOTMENTS
TO BE GRADE 1 IN 5,
UNLESS NOTED OTHERWISE



DATUM 209

ZOE STREET

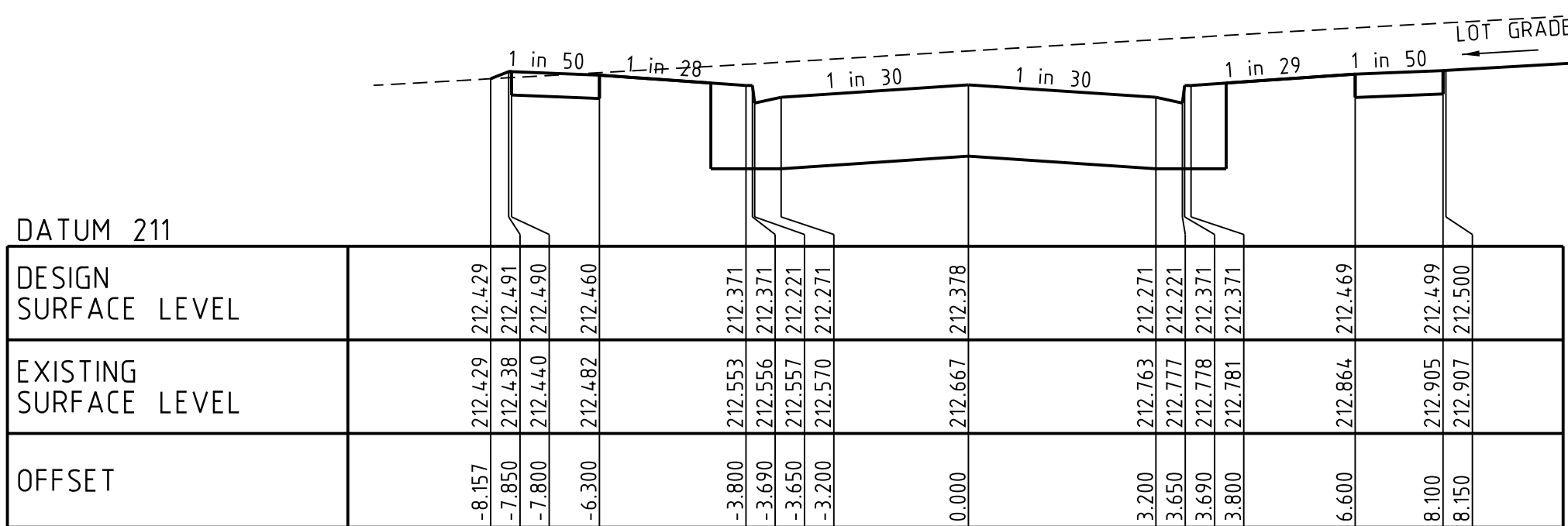
Ch 117.64



DATUM 210

ZOE STREET

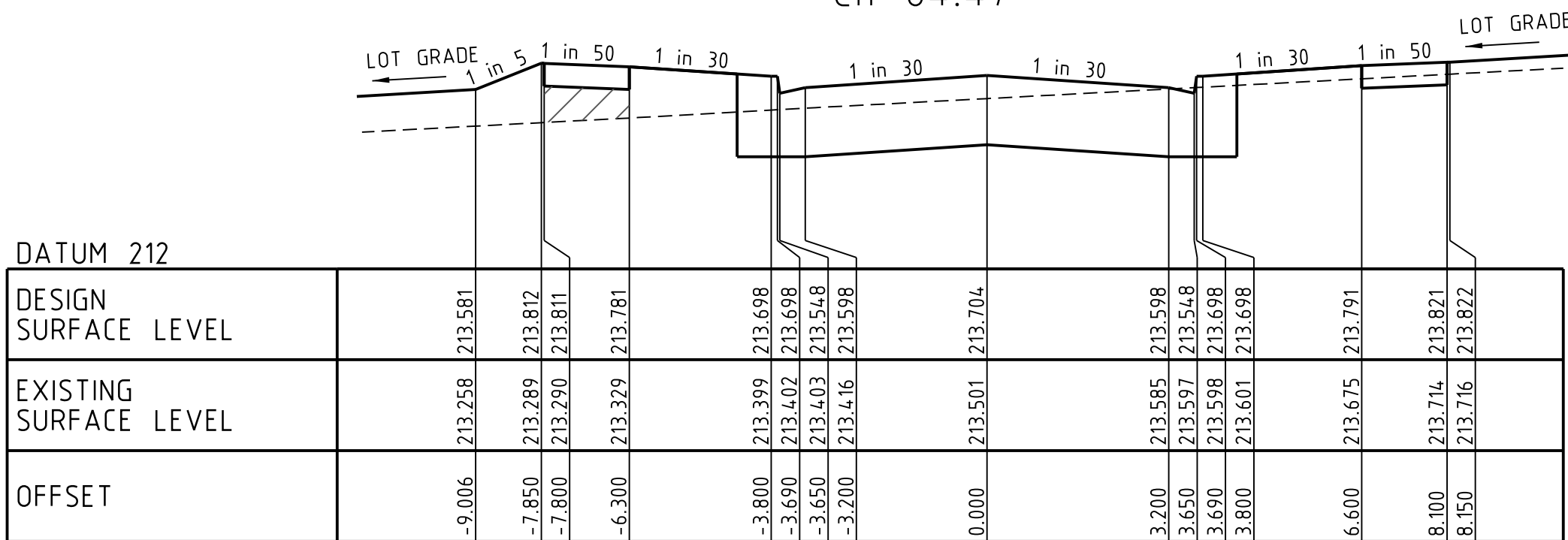
Ch 92.56



DATUM 211

ZOE STREET

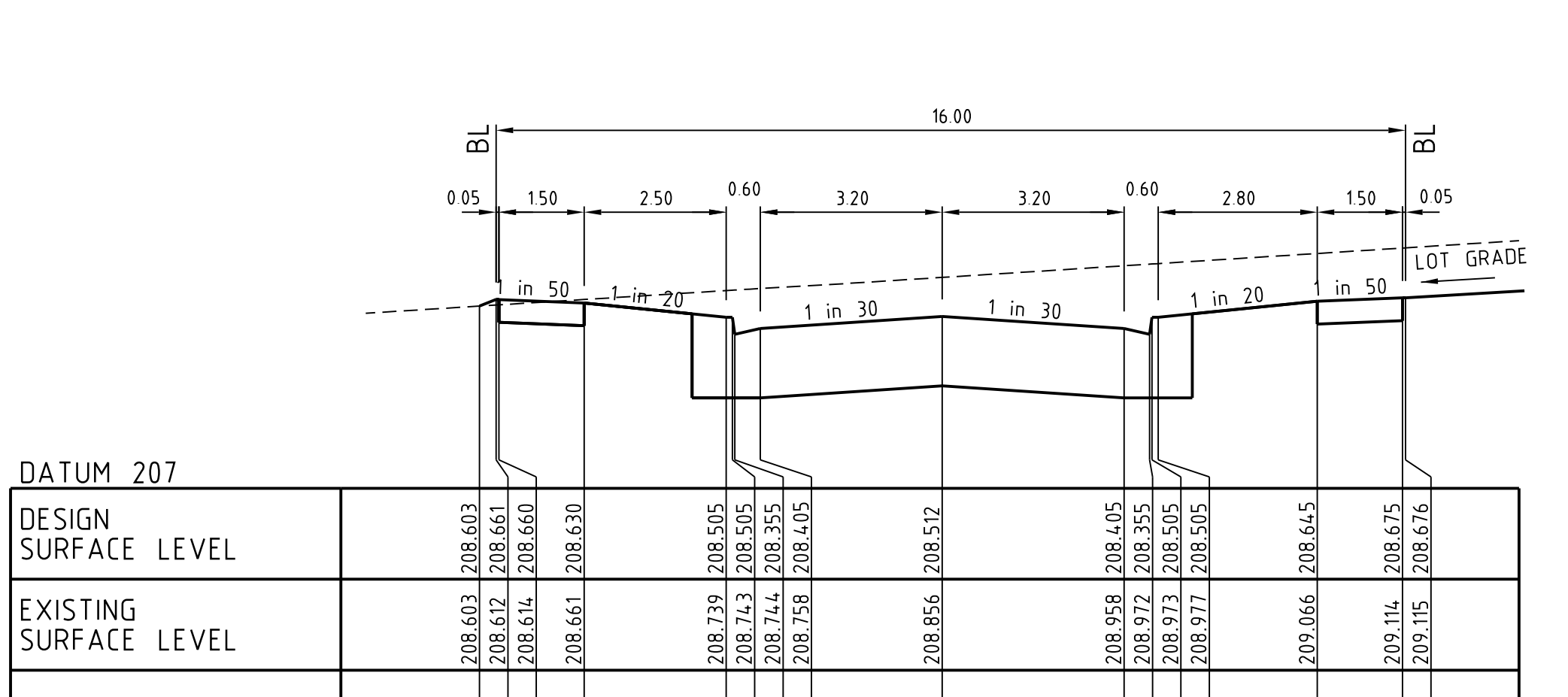
Ch 64.47



DATUM 212

ZOE STREET

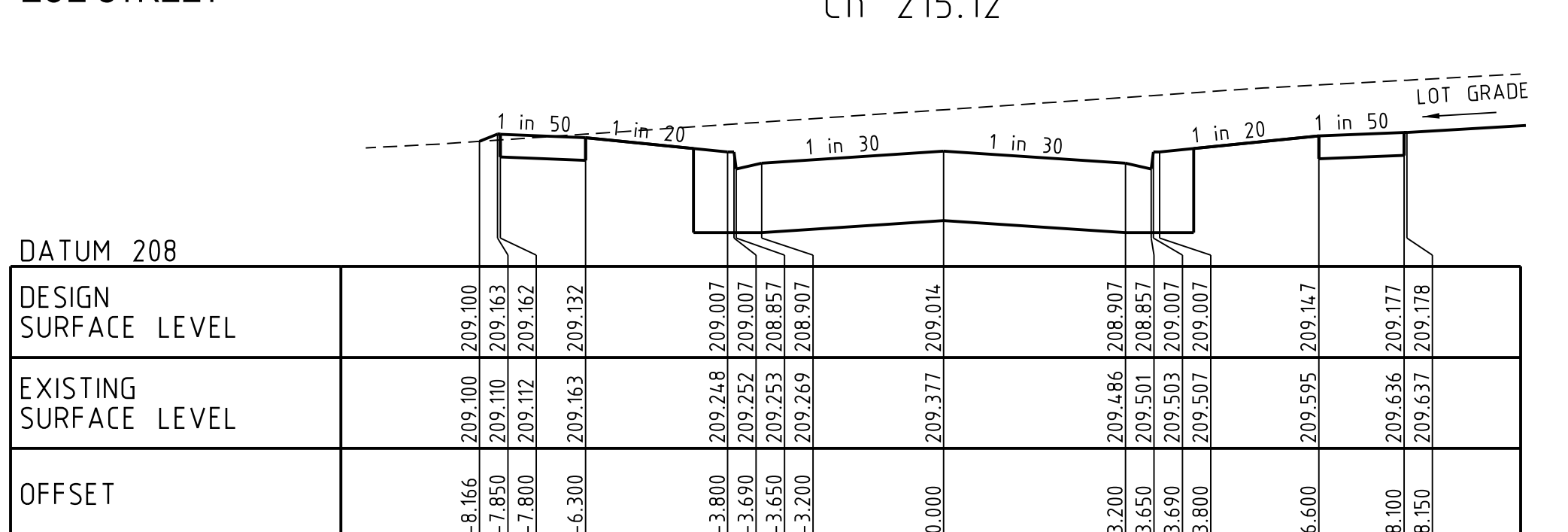
Ch 37.84



DATUM 207

ZOE STREET

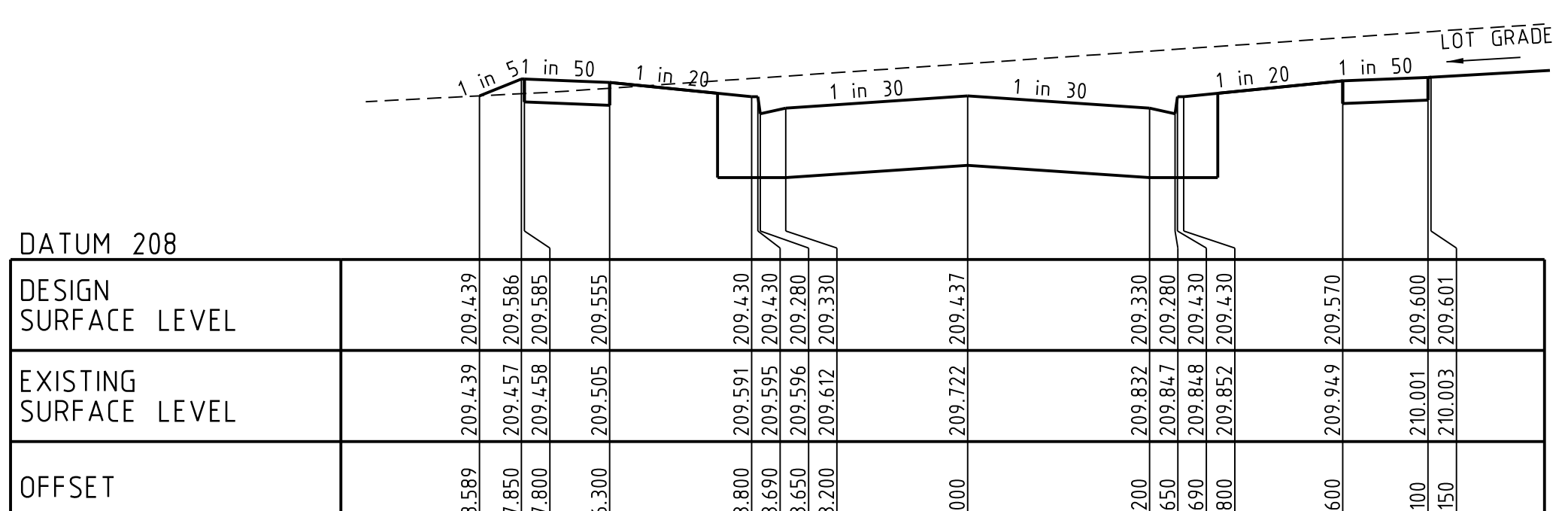
Ch 215.12



DATUM 208

ZOE STREET

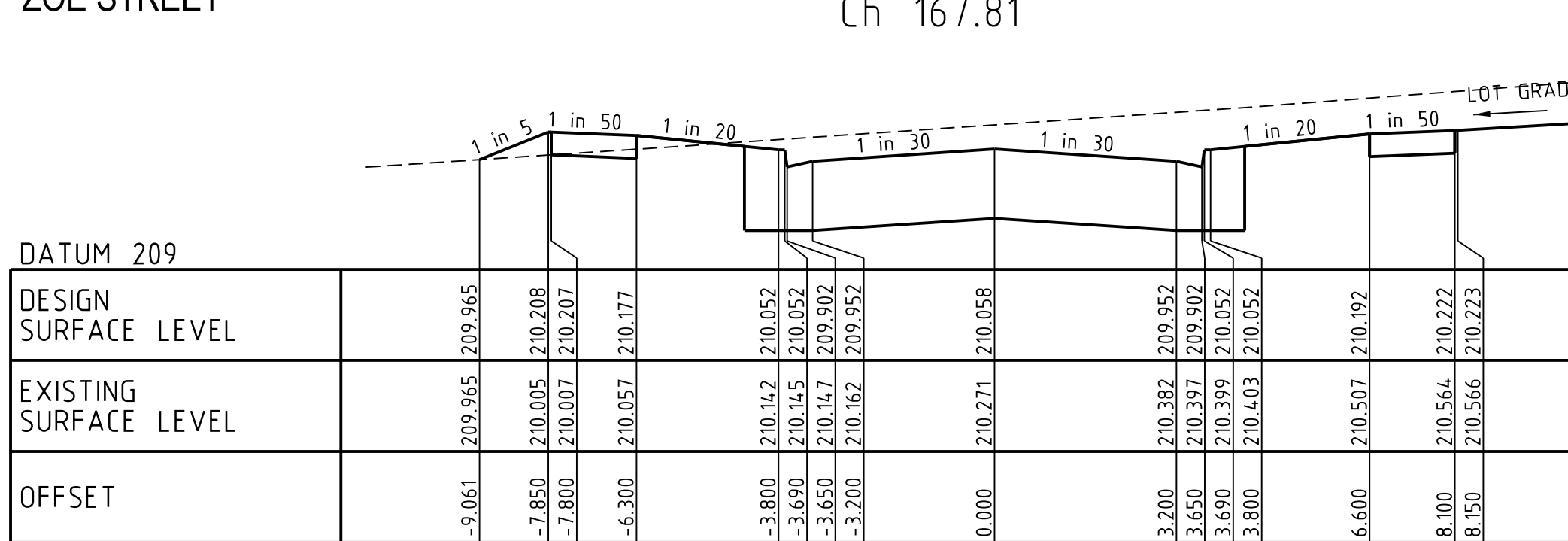
Ch 186.77



DATUM 208

ZOE STREET

Ch 167.81

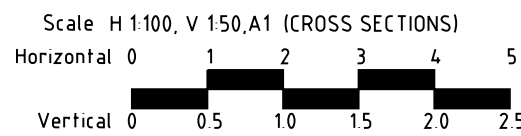


DATUM 209

ZOE STREET

Ch 142.72

Rev	Issue For Construction	M.T.S	30/08/23
0	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire.com.au

ABN 55 050 029 635

Communities Designed for Living

Designed
R. WEINBER

Authorised
M. TOOMER-SMITH

Your world awaits

Checked
D. CAMERON

Date
16/06/22

REDSTONE ESTATE
STAGE 10
CROSS SECTIONS
ZOE STREET
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

AS CONSTRUCTED

Drg No
305921R10

Rev
0



FINISHED SURFACE GRADE VARIES
ALONG ALLOTMENT FRONTAGE, PROFILE
INDICATED THUS: LOT GRADE

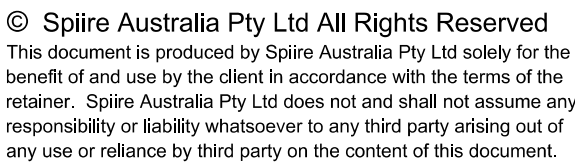
IF NOT SHOWN FOR CLARITY
ALL BATTERS WITHIN ALLOTMENTS
TO BE GRADE 1 IN 5.
UNLESS NOTED OTHERWISE



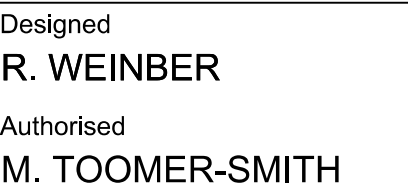
Scale H 1:100, V 1:50, A1 (CROSS SECTIONS)

Horizontal 0 1 2 3 4 5

Vertical 0 0.5 1.0 1.5 2.0 2.5



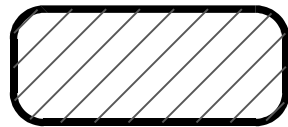
spiire.com.au ABN 55 050 029 635



Checked
D. CAMERON
Date
16/06/22

AS CONSTRUCTED Drg No **305921R11**

Rev
0

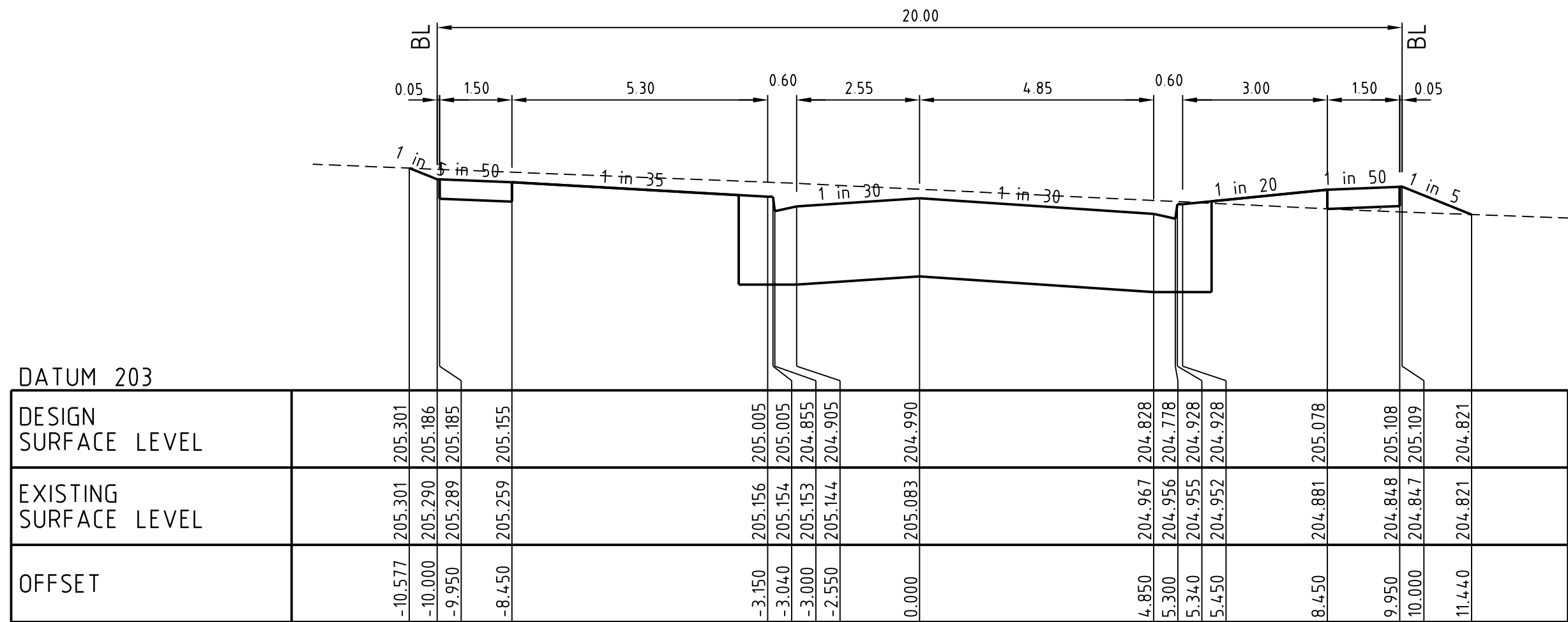


CLASS 3 CRUSHED
ROCK BACKFILL

ALLOTMENT GRADE NOTE
FINISHED SURFACE GRADE VARIES
ALONG ALLOTMENT FRONTAGE. PROFILE
INDICATED THUS: LOT GRADE

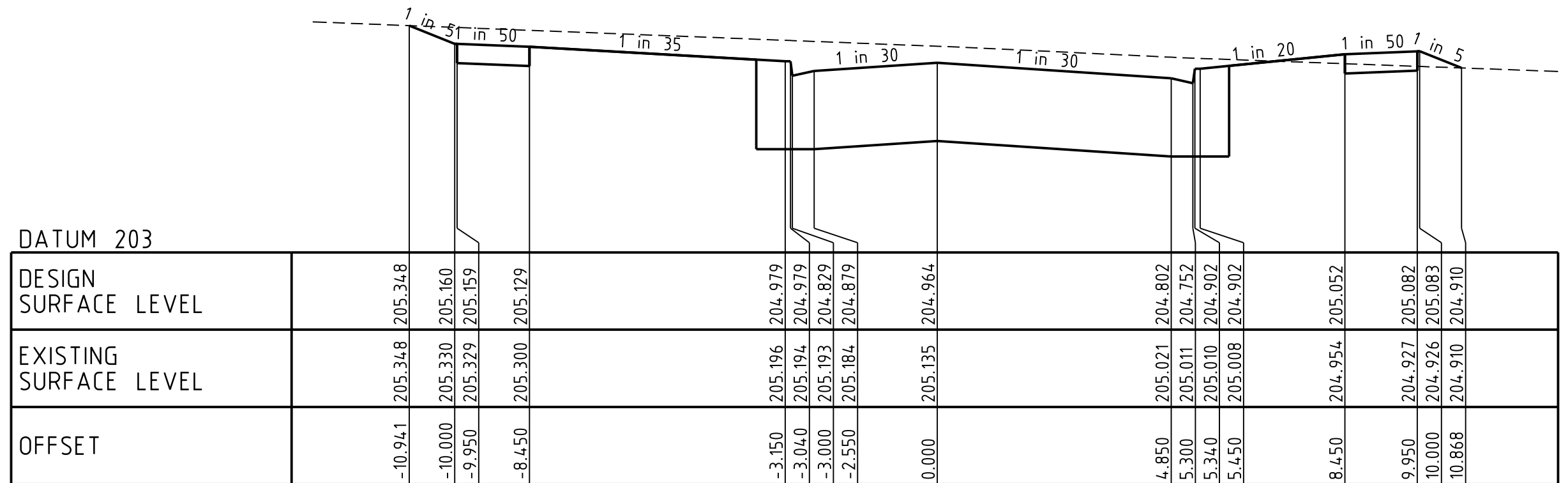
(ALLOTMENT MINIMUM GRADE 1 IN 150)

ALLOTMENT BATTER NOTE
IF NOT SHOWN FOR CLARITY
ALL BATTERS WITHIN ALLOTMENTS
TO BE GRADE 1 IN 5,
UNLESS NOTED OTHERWISE



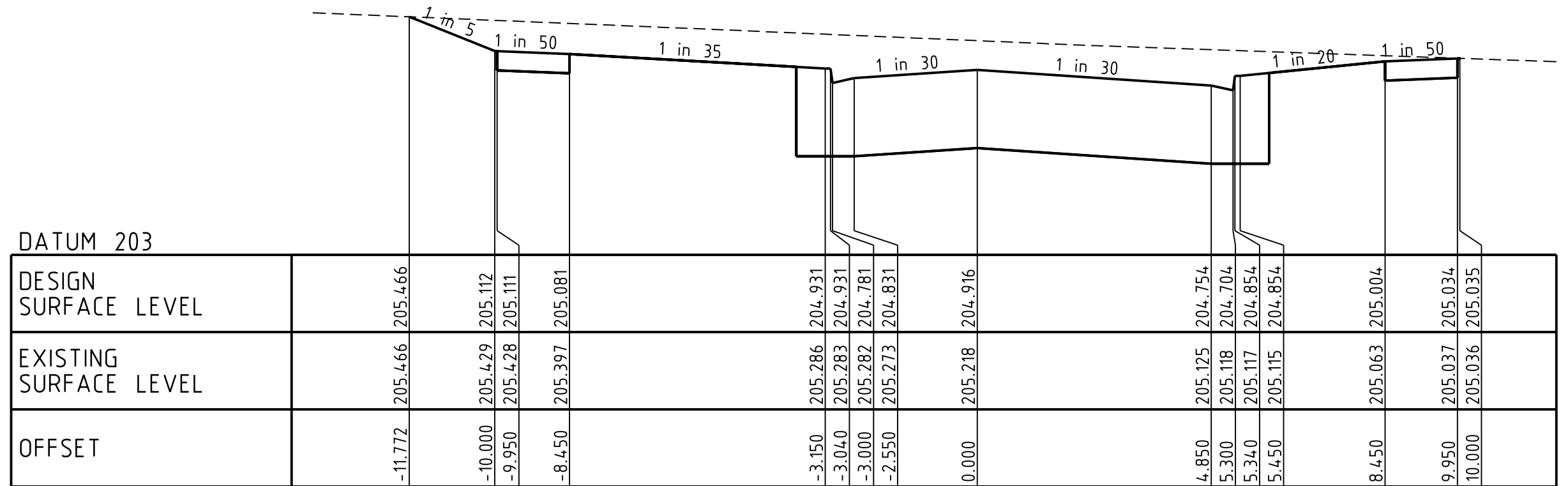
ALPACA DRIVE

Ch 31.00



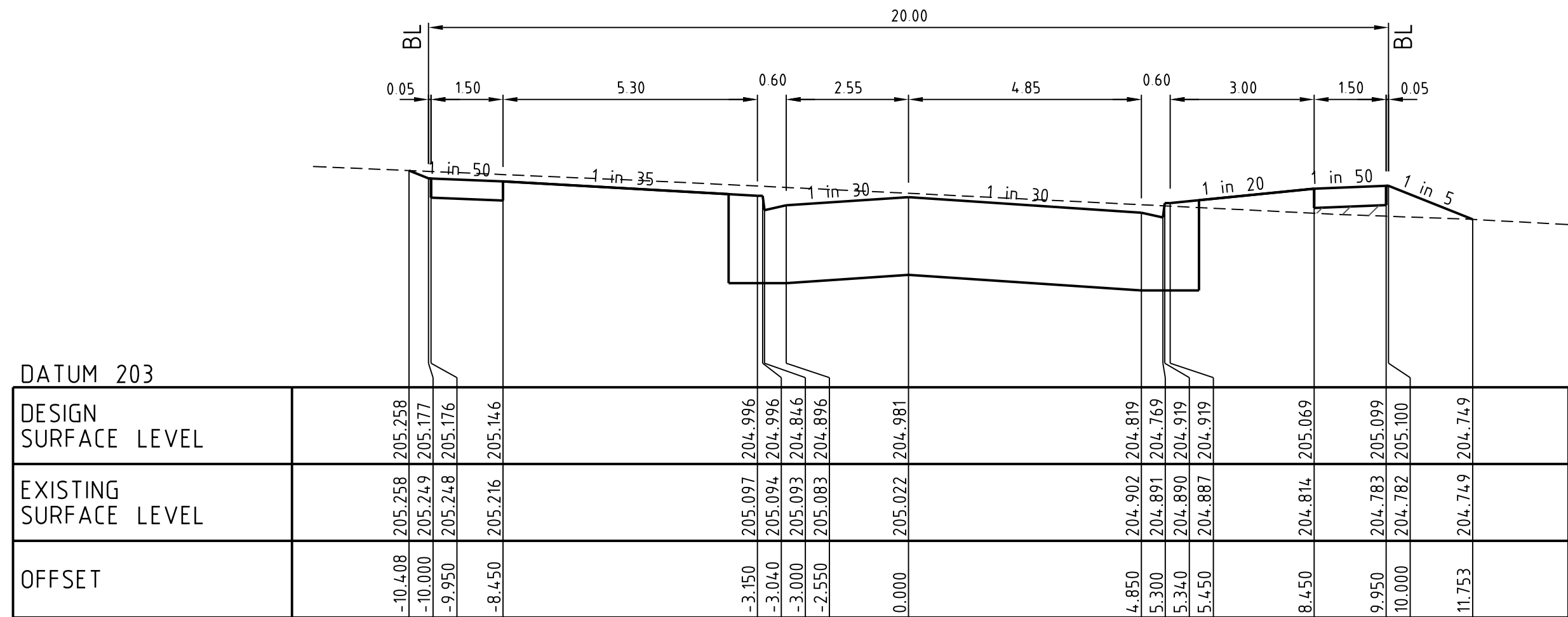
ALPACA DRIVE

Ch 24.00



ALPACA DRIVE

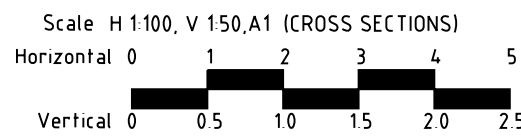
Ch 14.28



ALPACA DRIVE

Ch 38.00

Rev	Amendments	Approved	Date
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire

spiire.com.au

ABN 55 050 029 635



Designed
R. WEINBER
Authorised
M. TOOMER-SMITH

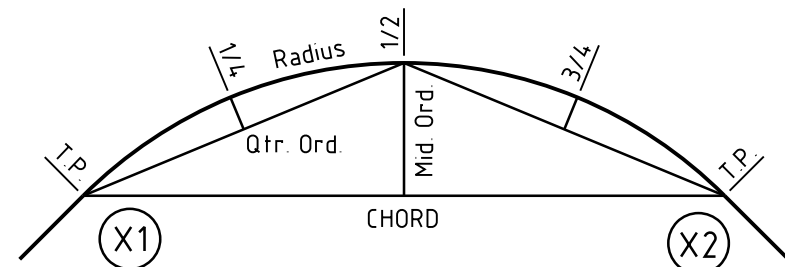
Redstone.
Your world awaits

Checked
D. CAMERON
Date
16/06/22

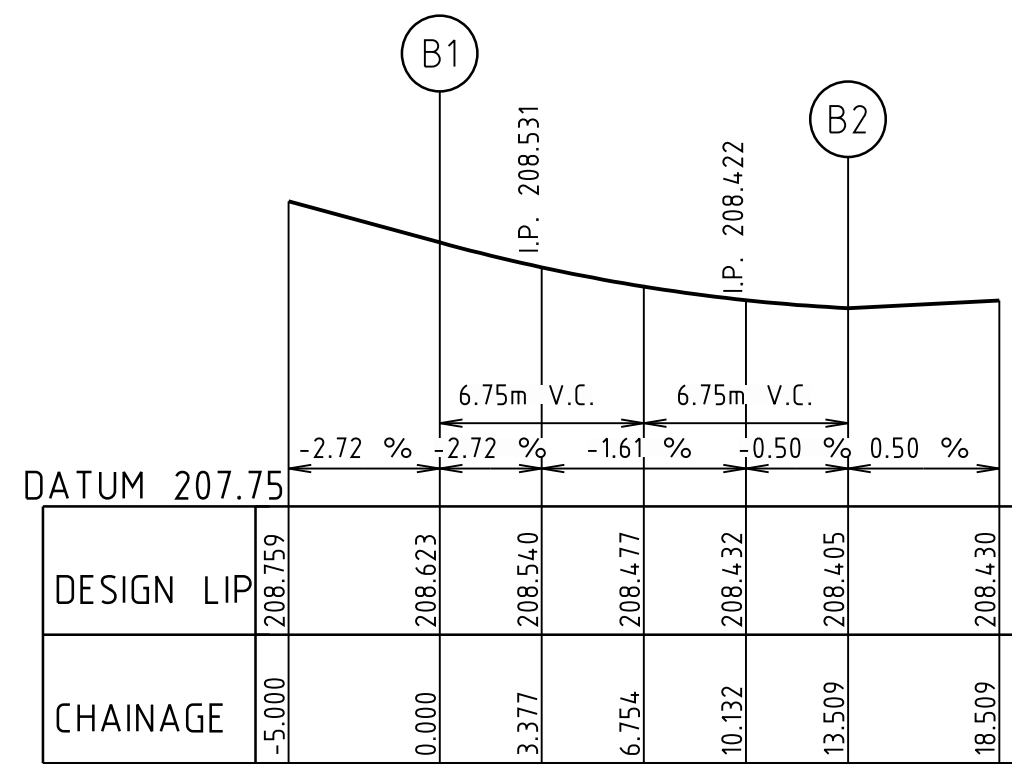
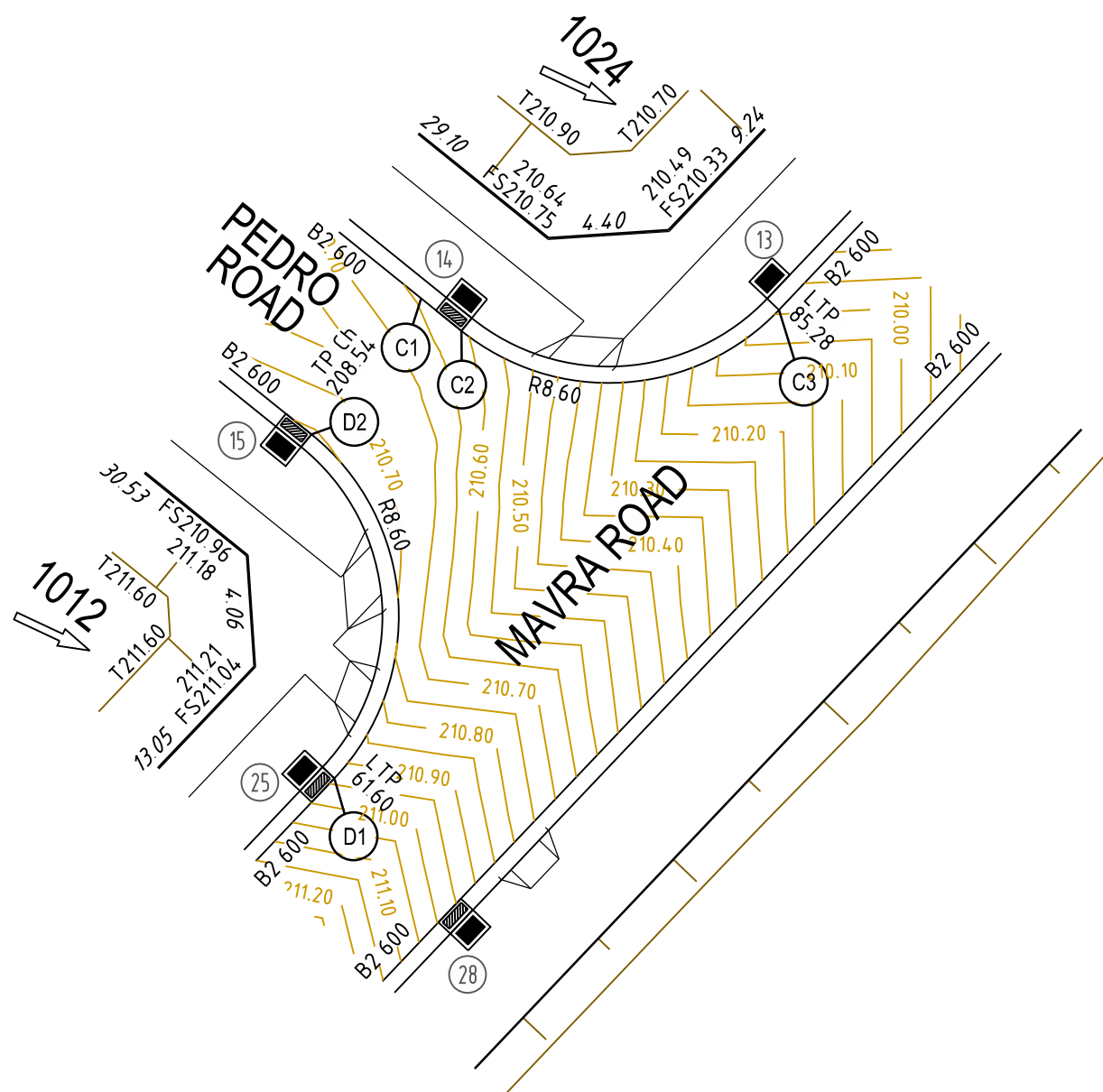
**REDSTONE ESTATE
STAGE 10
CROSS SECTIONS
ALPACA DRIVE**
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

AS CONSTRUCTED Drg No **305921R12**

Rev
0



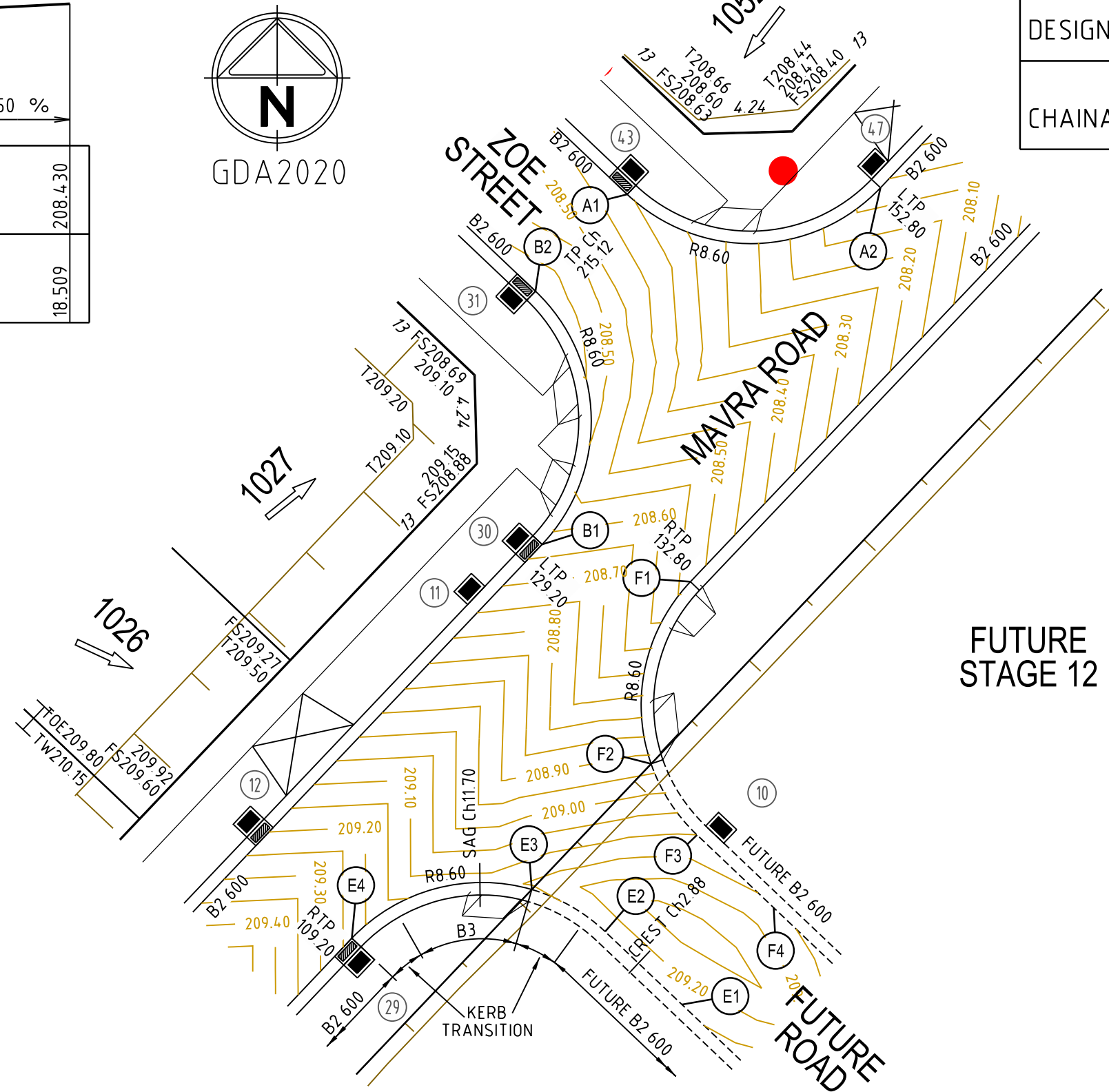
KERB RETURN SETOUT DETAIL



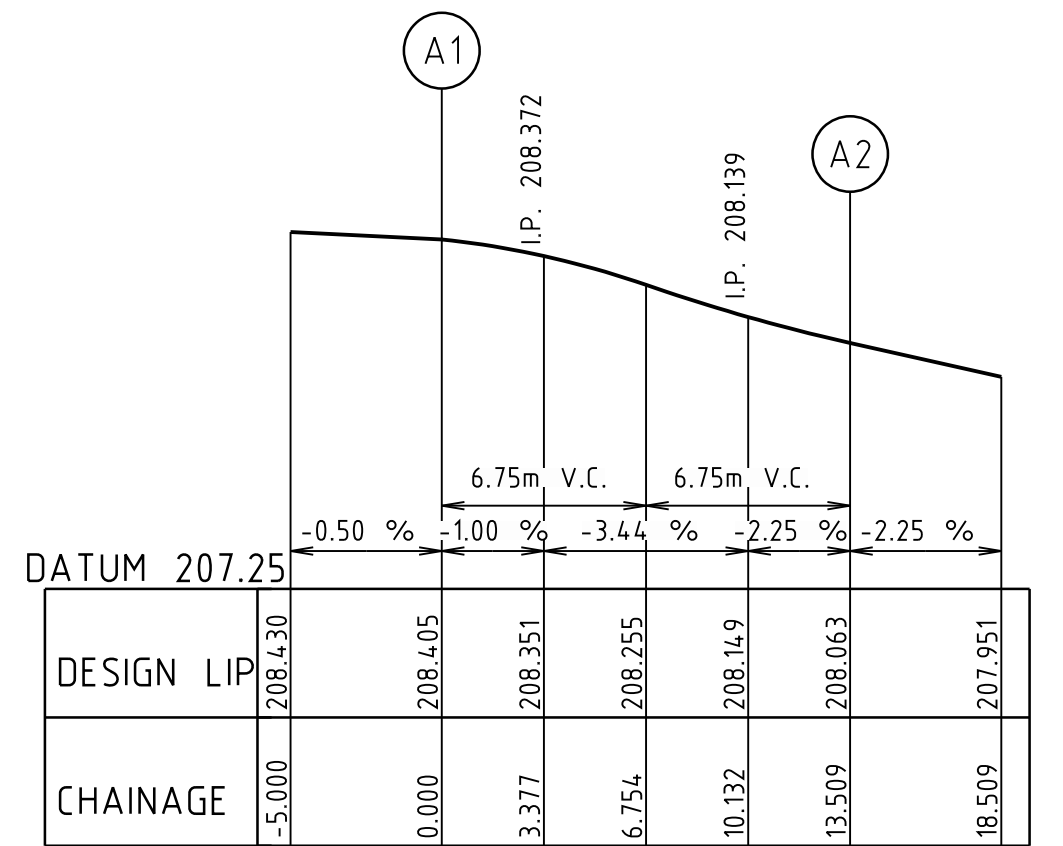
ALIGNMENT B

POINT NO	EASTING	NORTHING	RL
B1	302348.490	5835682.143	208.623
1/4	302350.281	5835684.980	208.540
1/2	302350.849	5835688.287	208.477
3/4	302350.109	5835691.560	208.432
B2	302348.173	5835694.301	208.405

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
B1-B2	8.600	13.509	12.162	2.519	-0.655



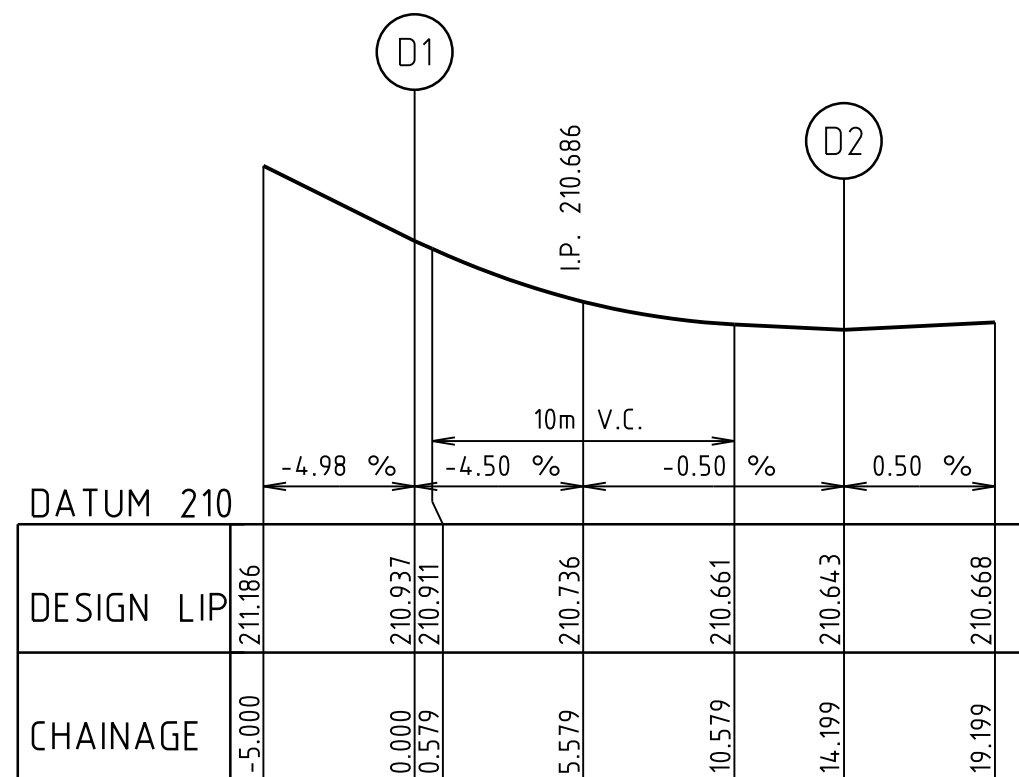
FUTURE
STAGE 12



ALIGNMENT A

POINT NO	EASTING	NORTHING	RL
A1	302352.579	5835698.943	208.405
1/4	302355.416	5835697.152	208.351
1/2	302358.723	5835696.583	208.255
3/4	302361.996	5835697.324	208.149
A2	302364.737	5835699.260	208.063

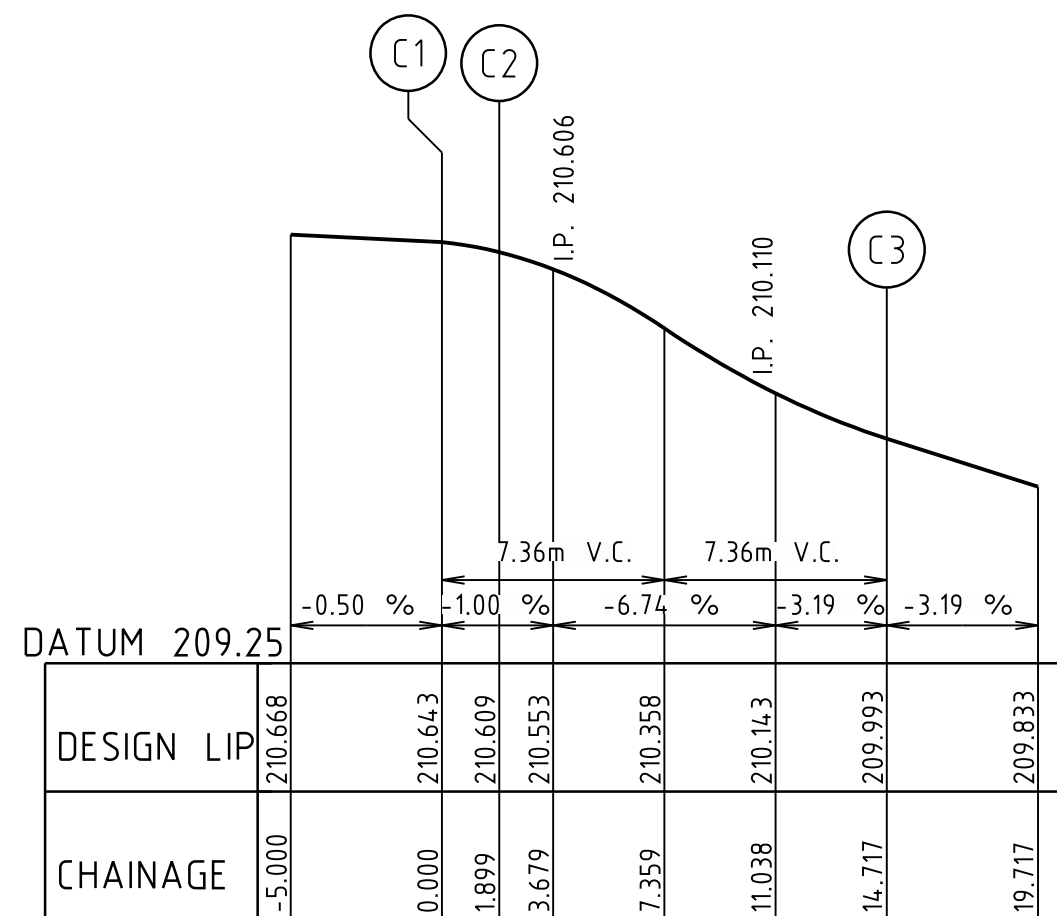
CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
A1-A2	8.600	13.509	12.162	2.519	-0.655



ALIGNMENT D

POINT NO	EASTING	NORTHING	RL
D1	302301.953	5835633.112	210.937
1/4	302303.804	5835636.112	210.806
1/2	302304.296	5835639.602	210.700
3/4	302303.347	5835642.996	210.660
D2	302301.116	5835645.725	210.643

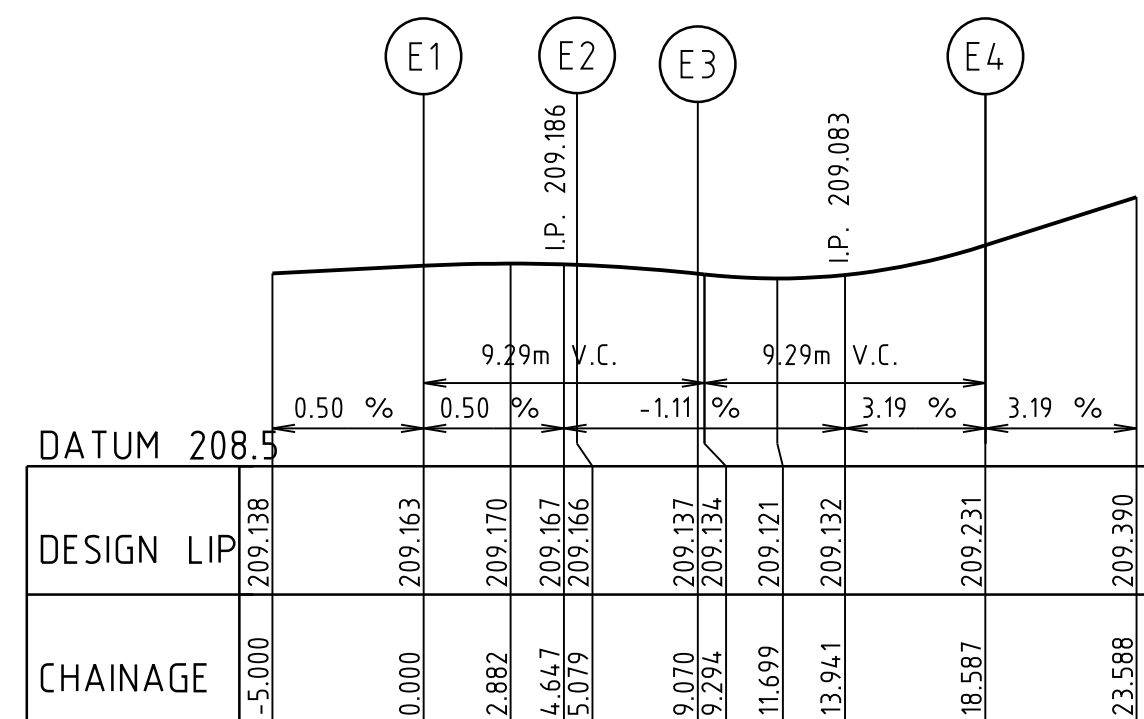
CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
D1-D2	8.600	14.199	12.641	2.768	-0.722



ALIGNMENT C

POINT NO	EASTING	NORTHING	RL
C1	302305.135	5835650.706	210.643
C2	302306.613	5835649.513	210.609
1/4	302309.420	5835648.006	210.490
1/2	302312.583	5835647.624	210.296
3/4	302315.668	5835648.420	210.120
C3	302318.252	5835650.285	209.993

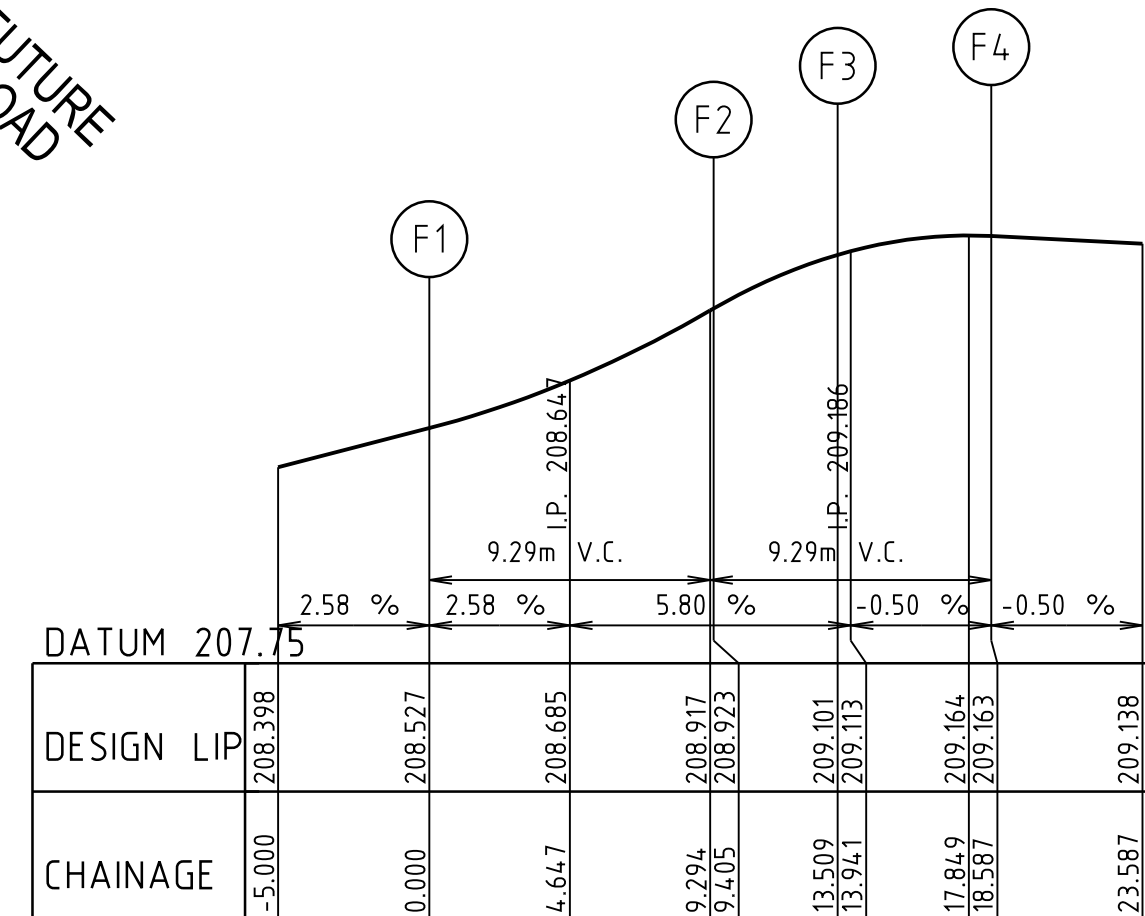
CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
C2-C3	8.600	12.818	11.664	2.280	-0.590



ALIGNMENT E

POINT NO	EASTING	NORTHING	RL
E1	302355.205	5835660.052	209.163
E2	302351.521	5835663.548	209.166
E3	302347.995	5835665.570	209.137
E4	302339.363	5835663.231	209.231

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
E2-E4	8.600	13.507	12.162	2.519	-0.655

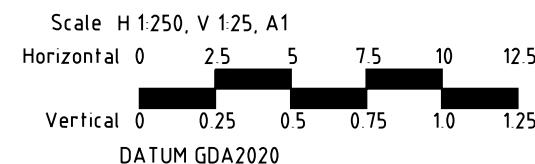


ALIGNMENT F

POINT NO	EASTING	NORTHING	RL
F1	302355.610	5835680.348	208.527
F2	302355.927	5835668.190	208.923
F3	302355.927	5835668.190	209.113
F4	302359.611	5835664.694	209.163

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
F1-F3	8.600	13.507	12.162	2.519	-0.655

Rev	Amendments	Approved	Date
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.



spiire.com.au ABN 55 050 029 635



Designed
R. WEINBER
Authorised
M. TOOMER-SMITH

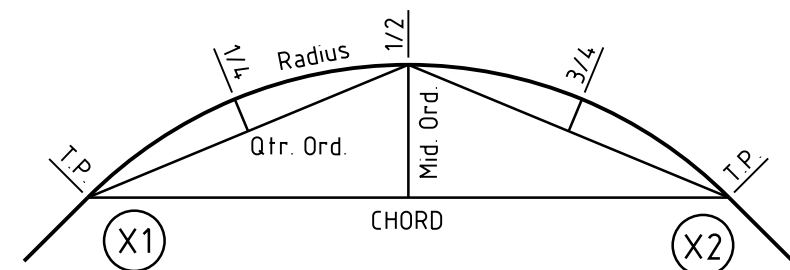
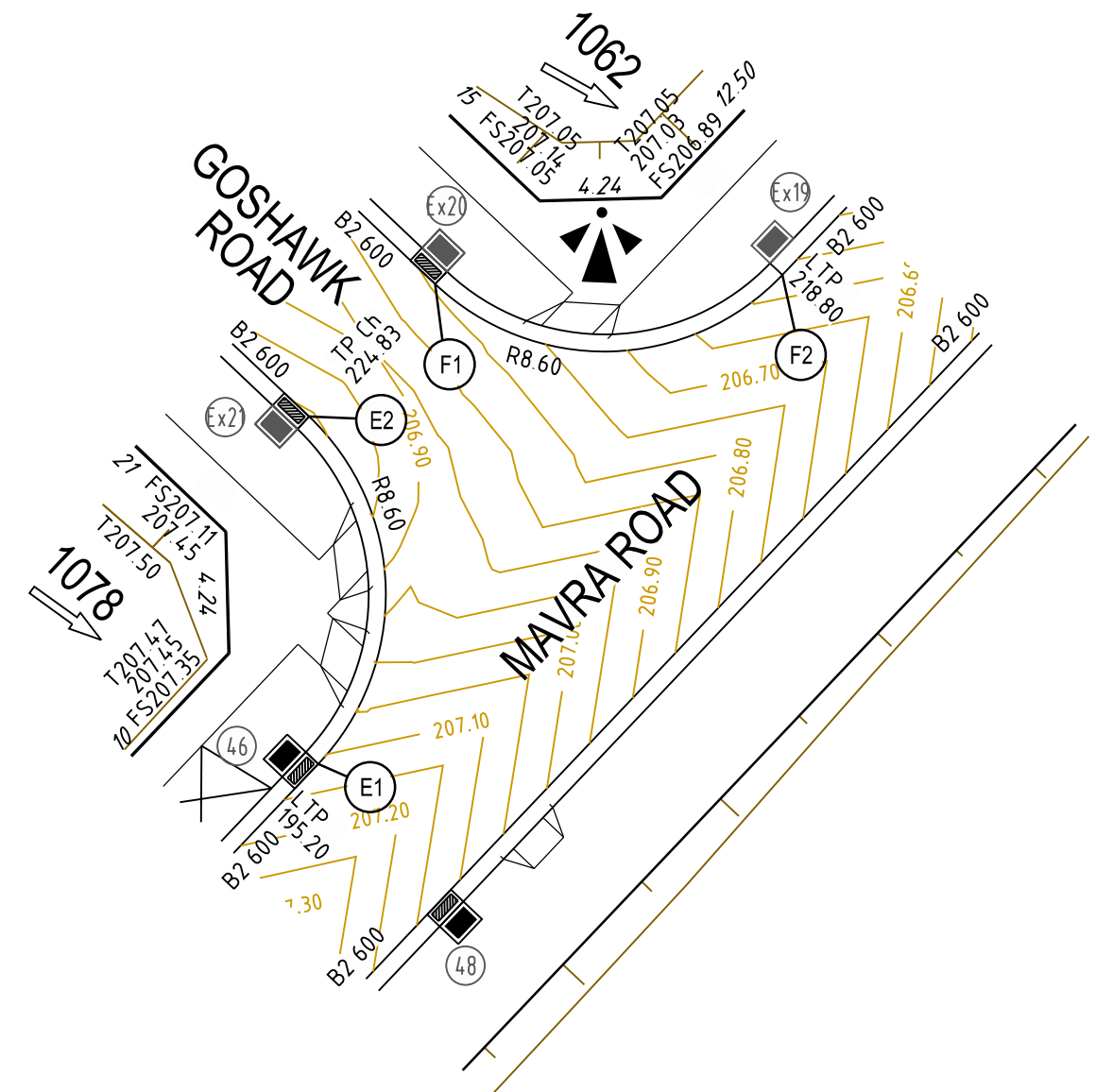


Checked
D. CAMERON
Date
20/06/22

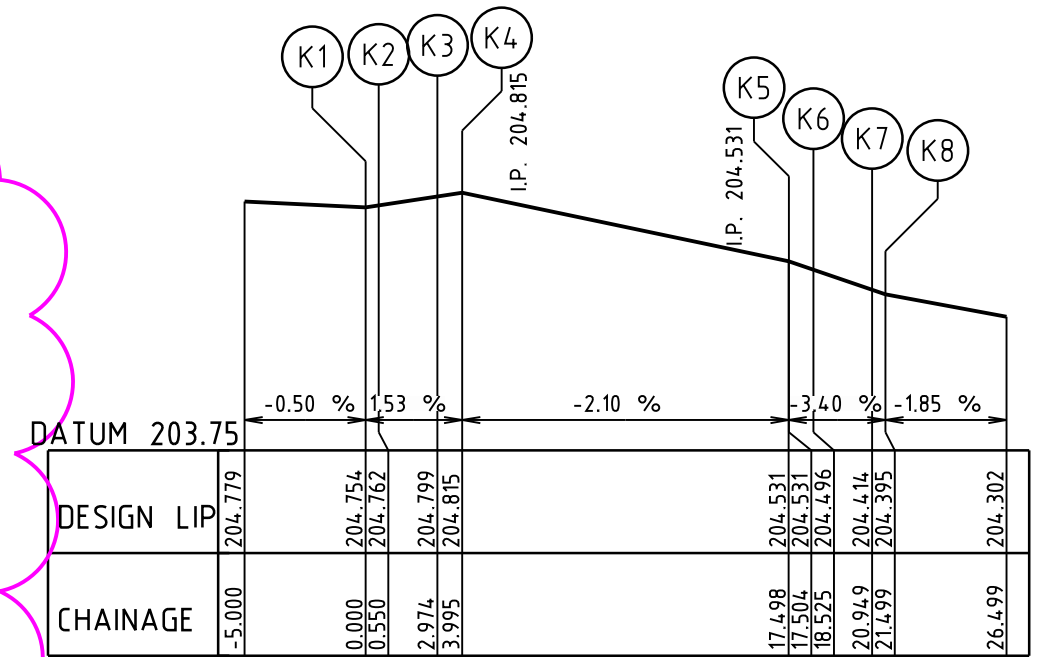
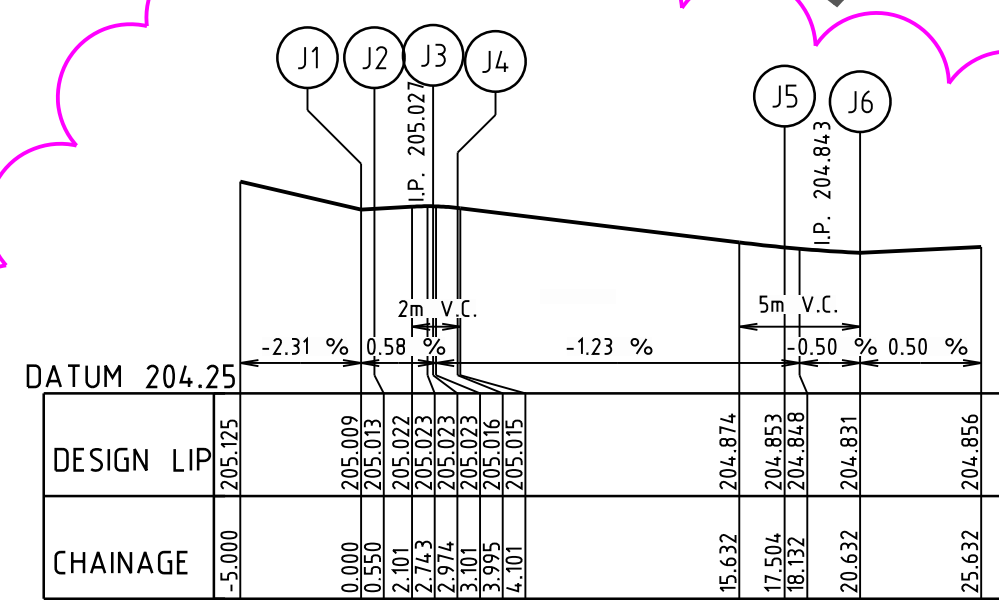
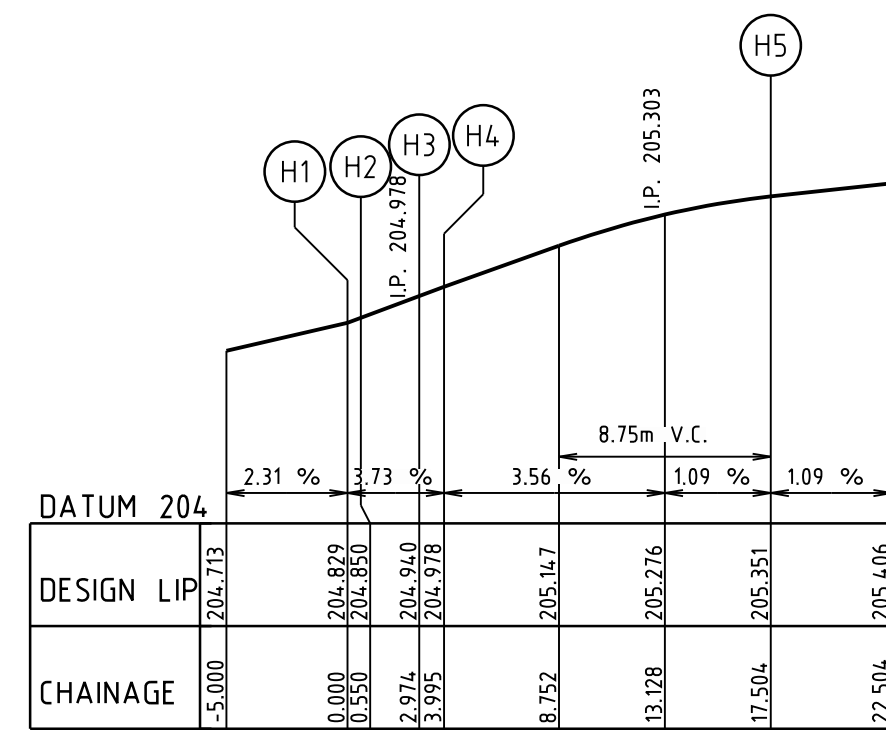
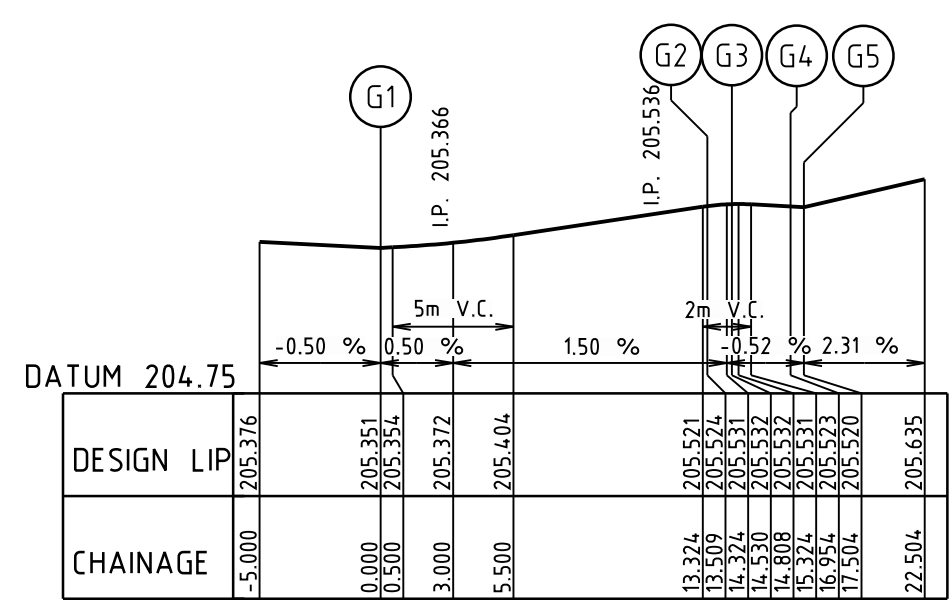
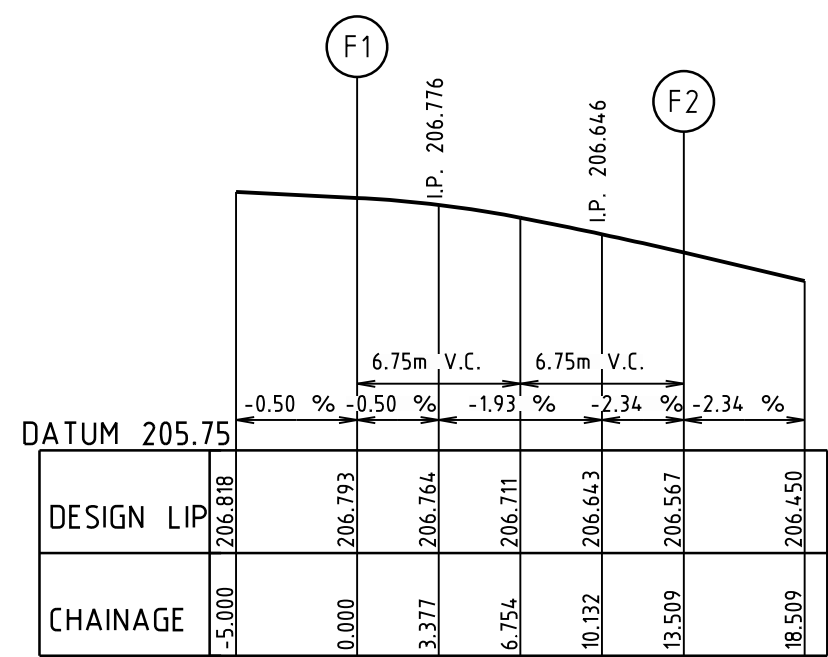
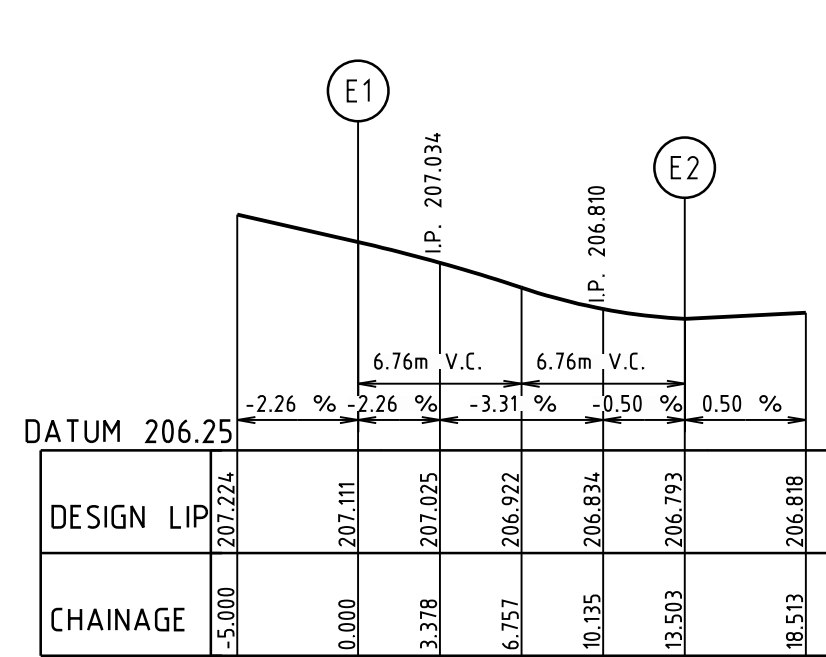
REDSTONE ESTATE
STAGE 10
INTERSECTION DETAILS
SHEET 1 OF 2
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

AS CONSTRUCTED Drg No
305921R13

Rev
0



KERB RETURN SETOUT DETAIL



POINT NO	EASTING	NORTHING	RL
E1	302393.926	5835730.013	207.111
1/4	302395.722	5835732.855	207.025
1/2	302396.290	5835736.158	206.922
3/4	302395.550	5835739.427	206.834
E4	302393.609	5835742.171	206.793

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
E1-E2	8.590	13.493	12.148	2.516	-0.654

POINT NO	EASTING	NORTHING	RL
F1	302398.015	5835746.813	206.793
1/4	302400.852	5835745.022	206.764
1/2	302404.159	5835744.454	206.711
3/4	302407.432	5835745.194	206.643
F2	302410.173	5835747.130	206.567

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
F1-F2	8.600	13.509	12.162	2.519	-0.655

POINT NO	EASTING	NORTHING	RL
G1	302448.312	5835787.312	205.351
1/4	302450.102	5835790.150	205.376
1/2	302450.671	5835793.457	205.422
3/4	302449.931	5835796.730	205.473
G2	302447.994	5835799.470	205.524
1/4	302447.793	5835799.627	205.524
1/2	302447.565	5835799.741	205.523
3/4	302447.320	5835799.809	205.523
G3	302447.066	5835799.827	205.523
G4	302444.642	5835799.764	205.520
1/4	302444.505	5835799.774	205.520
1/2	302444.373	5835799.810	205.520
3/4	302444.250	5835799.871	205.520
G5	302444.142	5835799.956	205.520

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
G1-G2	8.600	13.509	12.162	2.519	-0.655
G2-G3	1.300	1.021	0.995	0.099	-0.025
G4-G5	0.700	0.550	0.536	0.053	0.013

POINT NO	EASTING	NORTHING	RL
H1	302465.797	5835779.402	204.829
1/4	302465.708	5835779.505	204.834
1/2	302465.640	5835779.625	204.839
3/4	302465.596	5835779.755	204.844
H2	302465.579	5835779.891	204.850
H3	302465.516	5835782.314	204.940
1/4	302465.485	5835782.567	204.950
1/2	302465.404	5835782.809	204.959
3/4	302465.278	5835783.031	204.969
H4	302465.112	5835783.223	204.978
1/4	302462.274	5835785.014	205.098
1/2	302458.967	5835785.583	205.213
3/4	302455.694	5835784.843	205.298
H5	302452.954	5835782.906	205.351

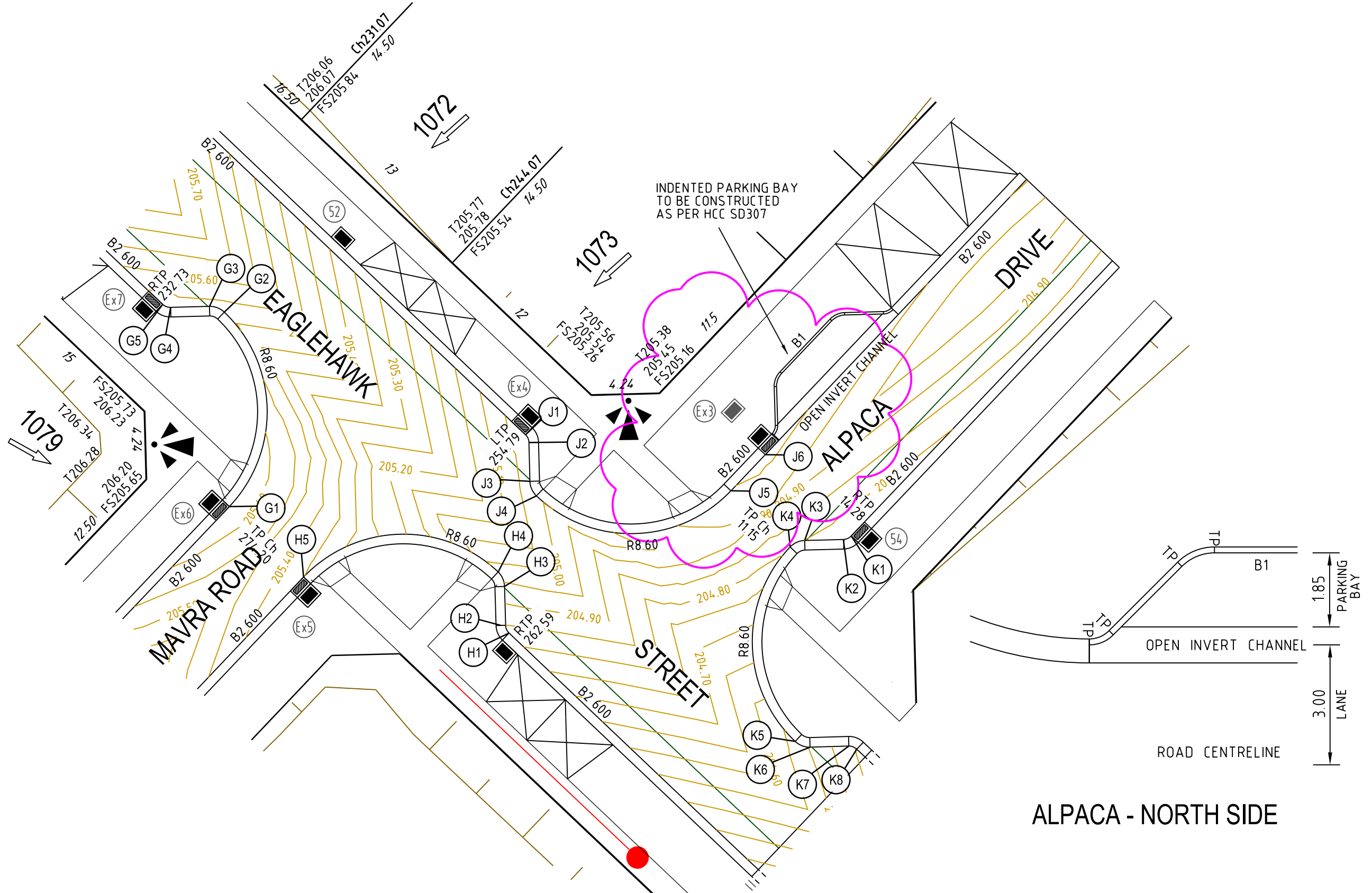
CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
H1-H2	0.700	0.550	0.536	0.053	0.013
H3-H4	1.300	1.021	0.995	0.099	-0.025
H4-H5	8.600	13.509	12.162	2.519	-0.655

POINT NO	EASTING	NORTHING	RL
J1	302466.823	5835791.802	205.009
1/4	302466.912	5835791.698	205.010
1/2	302466.980	5835791.579	205.011
3/4	302467.024	5835791.449	205.012
J2	302467.041	5835791.312	205.013
J3	302467.104	5835788.889	205.023
1/4	302467.135	5835788.636	205.022
1/2	302467.216	5835788.394	205.021
3/4	302467.342	5835788.173	205.019
J4	302467.508	5835787.980	205.016
1/4	302470.346	5835786.189	204.975
1/2	302473.653	5835785.621	204.934
3/4	302476.924	5835784.361	204.892
J5	302479.666	5835788.297	204.853
J6	302481.820	5835790.566	204.831

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
J1-J2	0.700	0.550	0.536	0.053	0.013
J3-J4	1.300	1.021	0.995	0.099	-0.025
J4-J5	8.600	13.509	12.162	2.519	-0.655

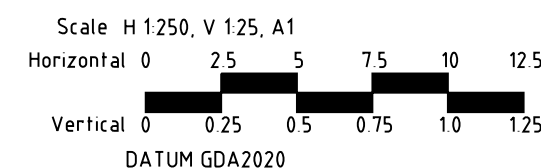
POINT NO	EASTING	NORTHING	RL
K1	302487.187	5835785.472	204.754
1/4	302487.084	5835785.382	204.756
1/2	302486.964	5835785.314	204.758
3/4	302486.834	5835785.271	204.760
K2	302486.698	5835785.254	204.762
K3	302484.275	5835785.191	204.799
1/4	302484.022	5835785.159	204.803
1/2	302483.780	5835785.079	204.807
3/4	302483.558	5835784.953	204.811
K4	302483.366	5835784.786	204.815
1/4	302481.575	5835781.949	204.744
1/2	302481.004	5835778.642	204.673
3/4	302481.746	5835775.369	204.602
K5	302483.693	5835772.628	204.531
1/4	302483.884	5835772.472	204.522
1/2	302484.112	5835772.357	204.513
3/4	302484.357	5835772.290	204.505
K6	302484.612	5835772.271	204.496
K7	302487.035	5835772.335	204.414
1/4	302487.172	5835772.325	204.409
1/2	302487.304	5835772.288	204.404
3/4	302487.427	5835772.227	204.400
K8	302487.535	5835772.143	204.395

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
K1-K2	0.700	0.550	0.536	0.053	0.013
K3-K4	1.300	1.021	0.995	0.099	-0.025
K4-K5	8.600	13.509	12.162	2.519	-0.655
K5-K6	1.300	1.021	0.995	0.099	-0.025
K7-K8	0.700	0.550	0.536	0.053	0.013



ALPACA - NORTH SIDE

Rev	Amendments	Approved	Date
2	LIP PROFILE J AND POINT J6 UPDATED	M.T.S	29/01/25
1	LOT LAYOUT UPDATED, LOTS 1051 TO 1055 & 1058 TO 1081	M.T.S	31/10/23
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23

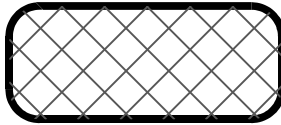


© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

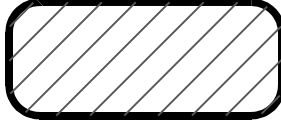
spiire
spiire.com.au
ABN 55 005 029 635

villawood properties
Communities Designed for Living
Designed
R. WEINBER
Authorised
M. TOOMER-SMITH
Checked
D. CAMERON
Date
21/06/22

Redstone.
Your world awaits
REDSTONE ESTATE
STAGE 10
INTERSECTION DETAILS
SHEET 2 OF 2
VILLAWOOD PROPERTIES
HUME CITY COUNCIL
AS CONSTRUCTED
Drg No
305921R14
Rev
2



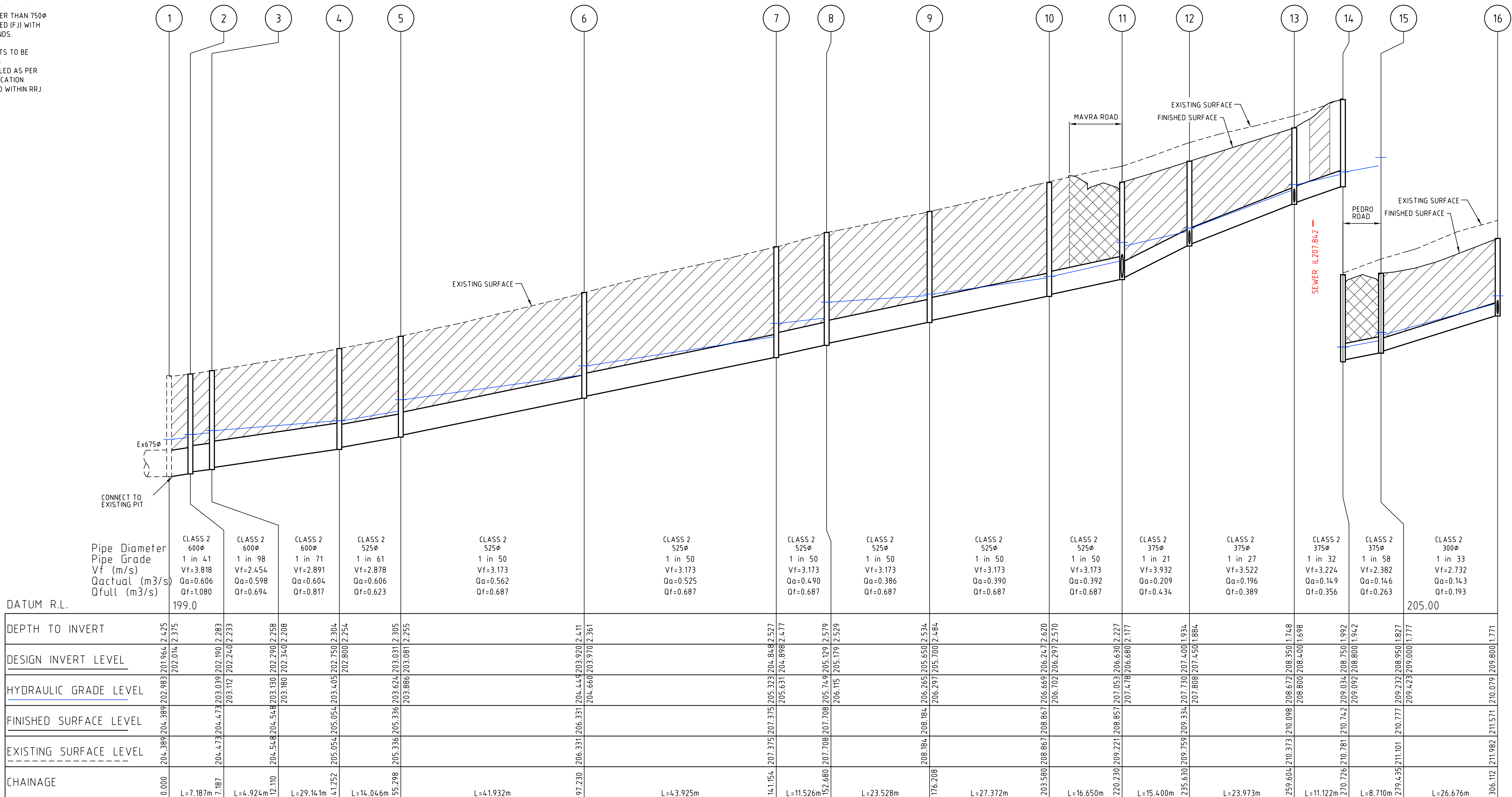
CLASS 2 CRUSHED ROCK



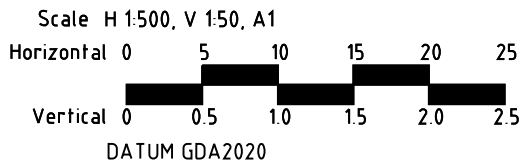
CLASS 3 CRUSHED ROCK

NOTE:

1. ALL PIPES TO BE RUBBER RING JOINTED (RRJ) UNLESS NOTED OTHERWISE
2. DRAINAGE PIPES GREATER THAN 750Ø ARE TO BE FLUSH JOINTED (FJ) WITH EXTERNAL SEALING BANDS
3. CURVED PIPE ALIGNMENTS TO BE ACHIEVED USING EITHER:
a) SPLAY PIPES INSTALLED AS PER MANUFACTURES SPECIFICATION
b) DEFLECTION ACHIEVED WITHIN RRJ.



0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved

This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire.com.au

ABN 55 050 029 635

Communities Designed for Living

Designed
R. WEINBER

Authorised
M. TOOMER-SMITH

Your world awaits

Checked
D. CAMERON

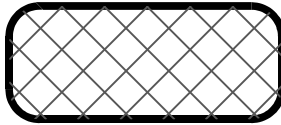
Date
20/06/22

REDSTONE ESTATE
STAGE 10
DRAINAGE LONG SECTION
SHEET 1 OF 5
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

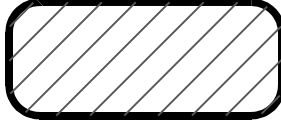
AS CONSTRUCTED

Drg No
305921R15

Rev
0



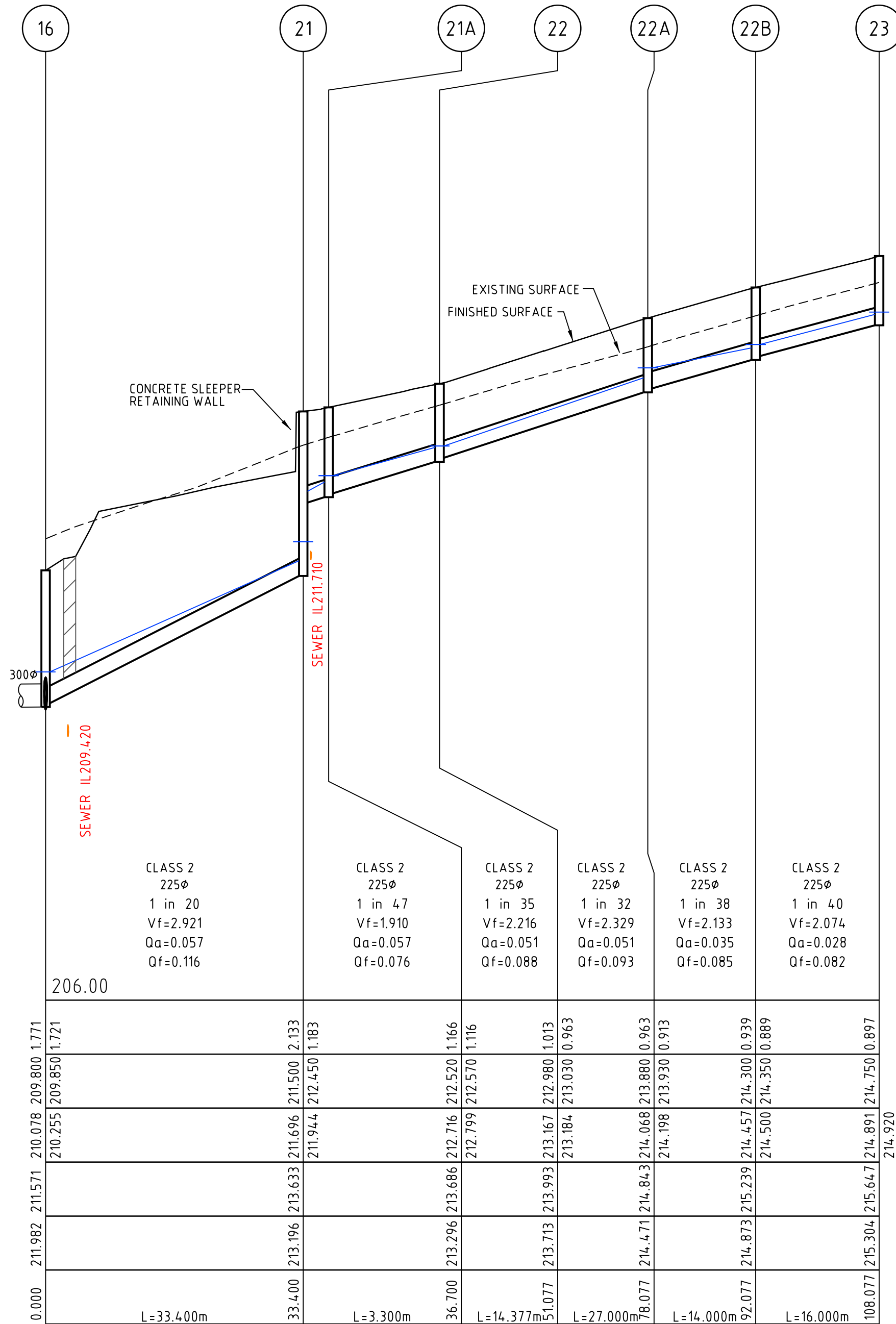
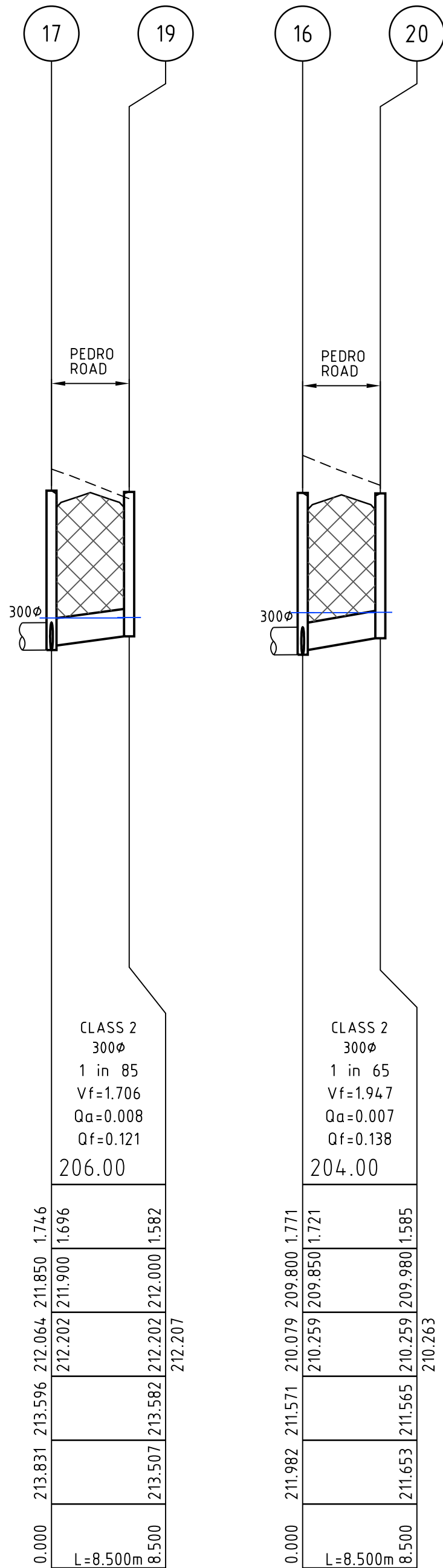
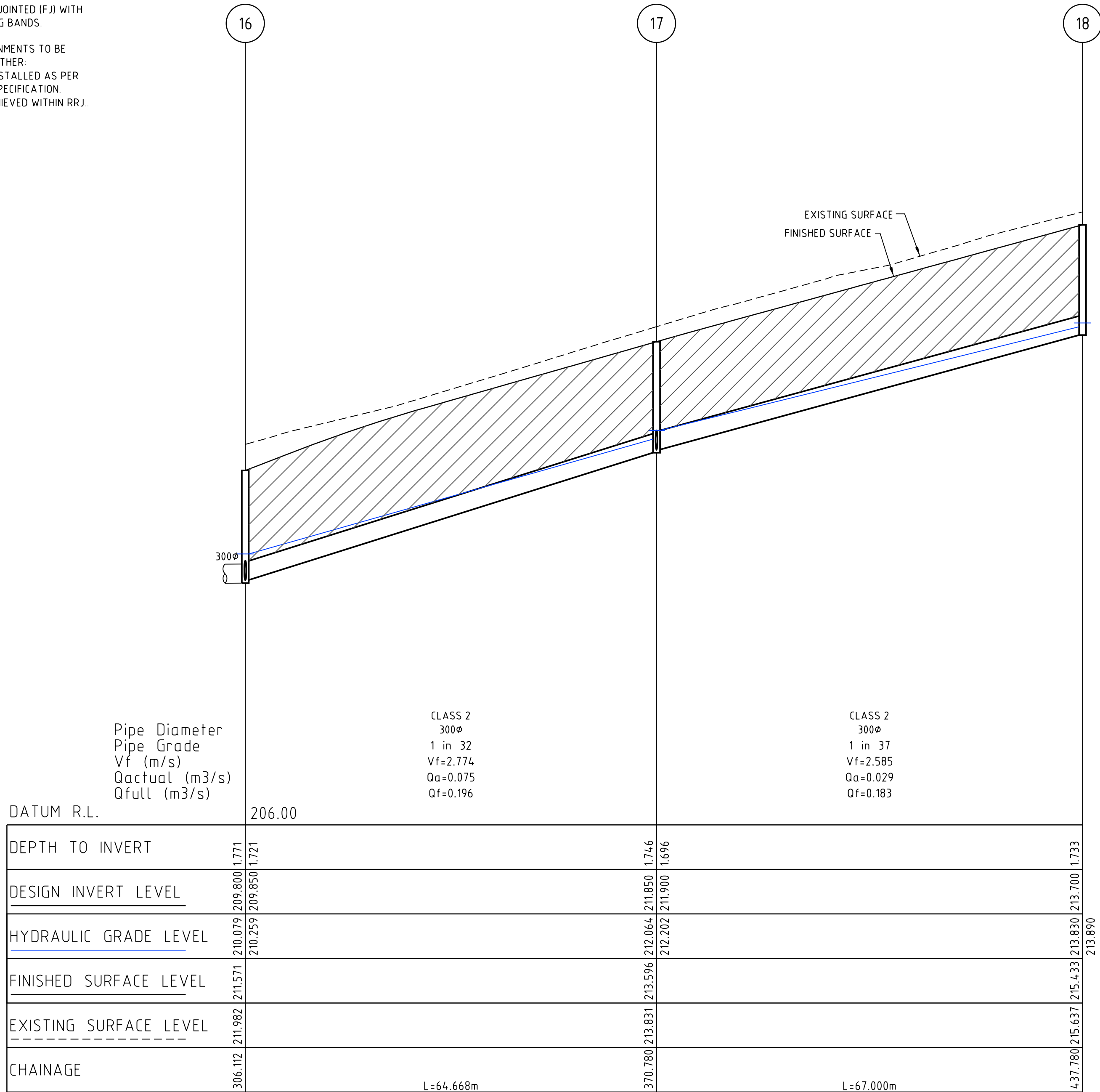
CLASS 2 CRUSHED ROCK



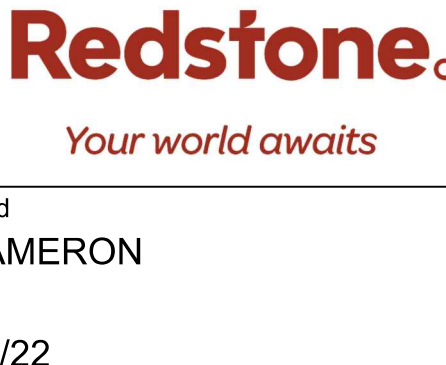
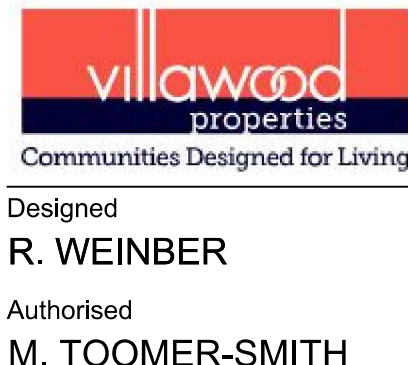
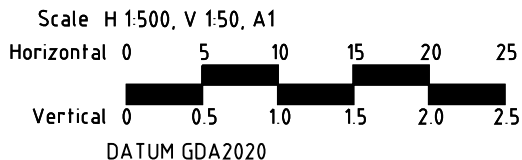
CLASS 3 CRUSHED ROCK

NOTE:

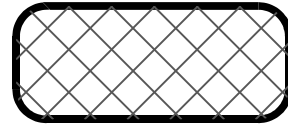
1. ALL PIPES TO BE RUBBER RING JOINTED (RRJ) UNLESS NOTED OTHERWISE
2. DRAINAGE PIPES GREATER THAN 750Ø ARE TO BE FLUSH JOINTED (FJ) WITH EXTERNAL SEALING BANDS
3. CURVED PIPE ALIGNMENTS TO BE ACHIEVED USING EITHER:
a) SPLAY PIPES INSTALLED AS PER MANUFACTURES SPECIFICATION
b) DEFLECTION ACHIEVED WITHIN RRJ.



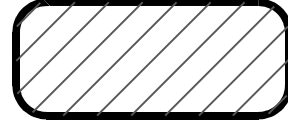
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



REDSTONE ESTATE STAGE 10 DRAINAGE LONG SECTION SHEET 2 OF 5 VILLAWOOD PROPERTIES HUME CITY COUNCIL	AS CONSTRUCTED	Drg No 305921R16	Rev 0
---	----------------	---------------------	----------



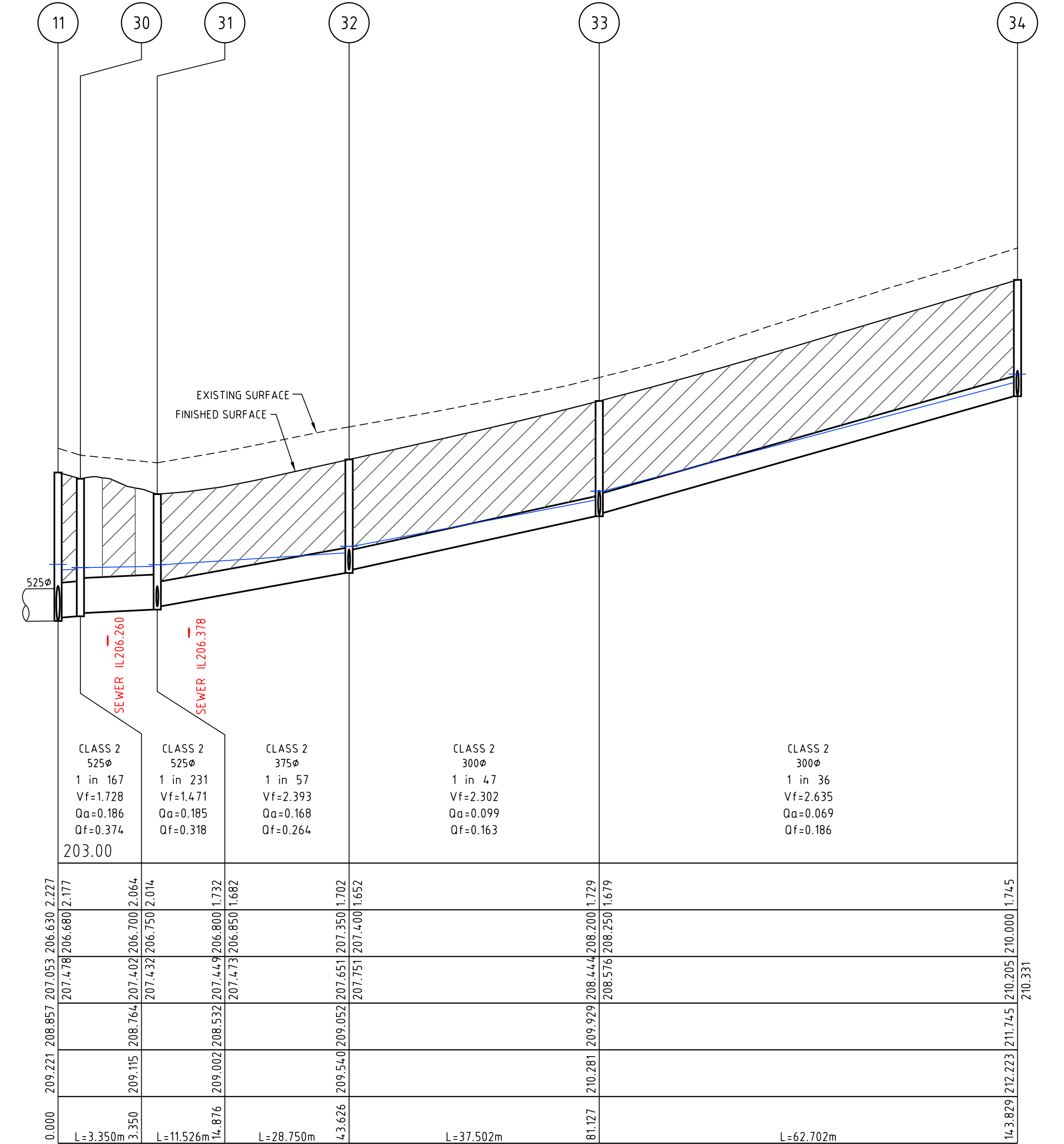
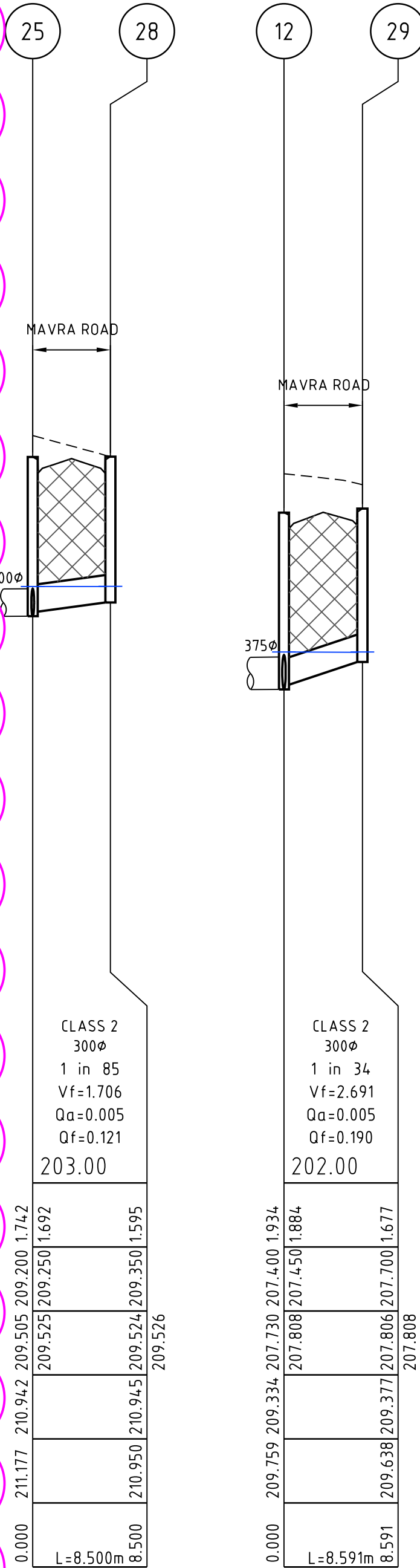
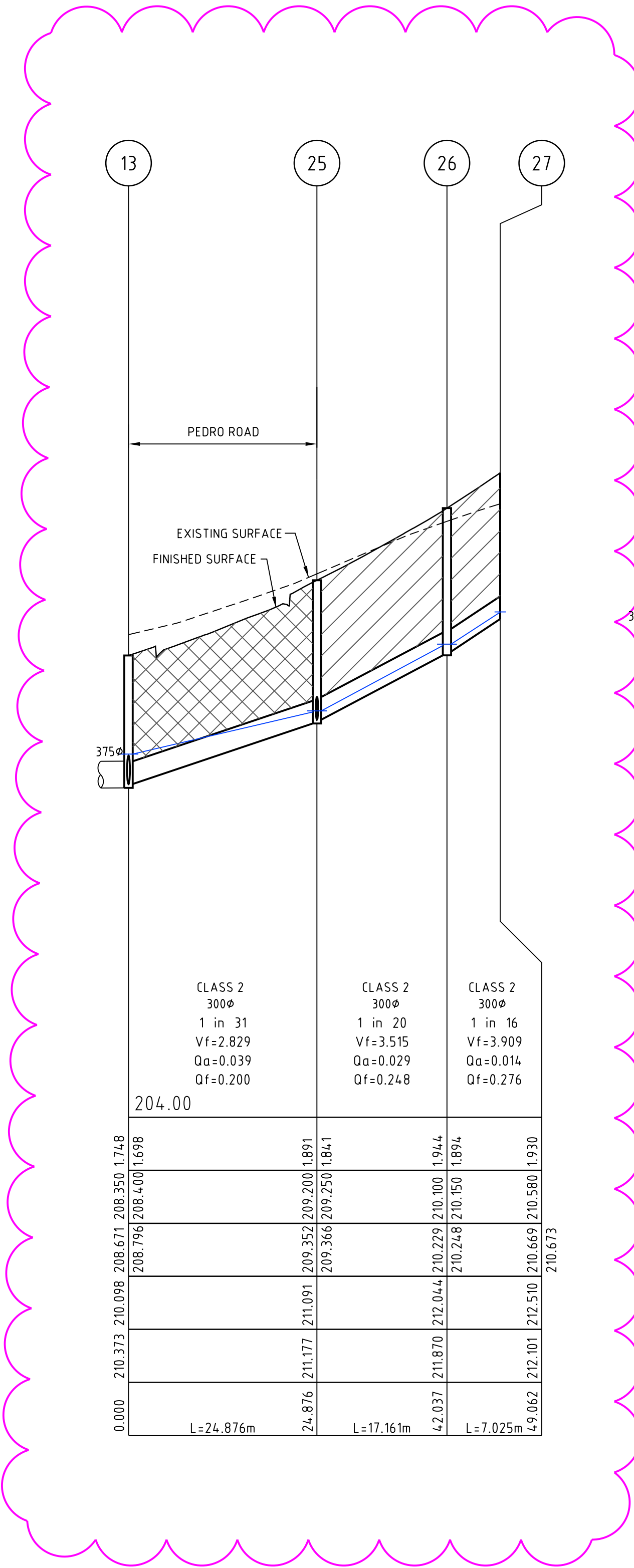
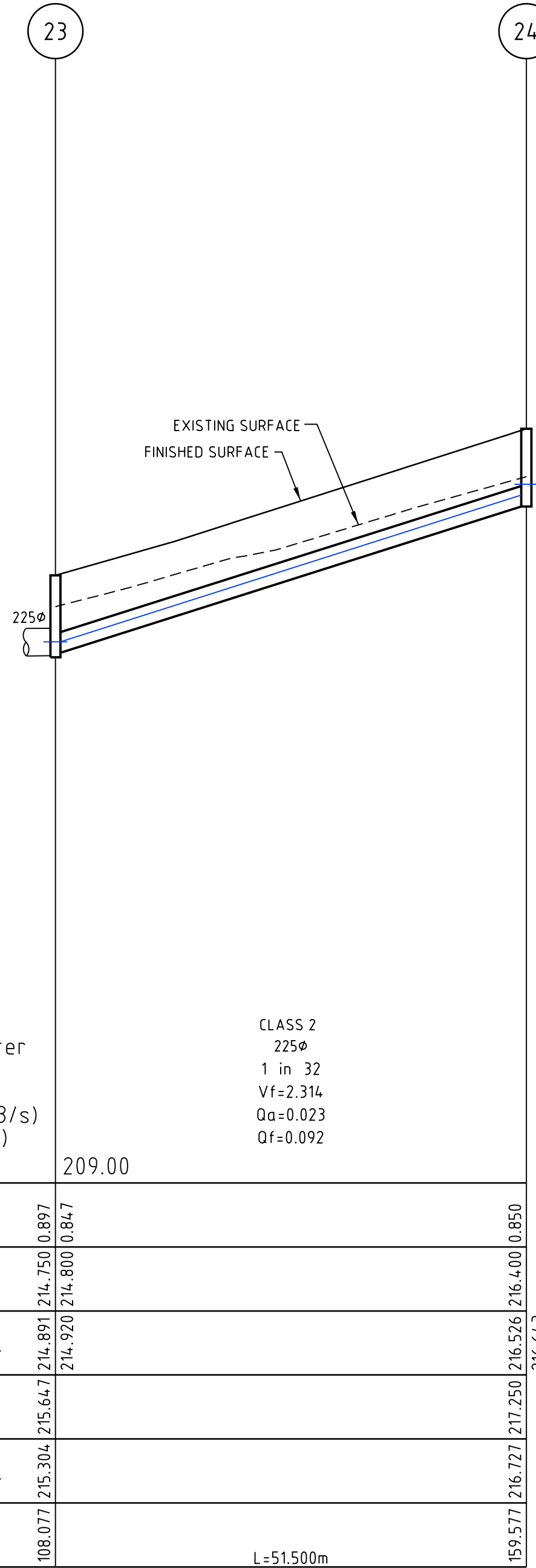
CLASS 2 CRUSHED ROCK



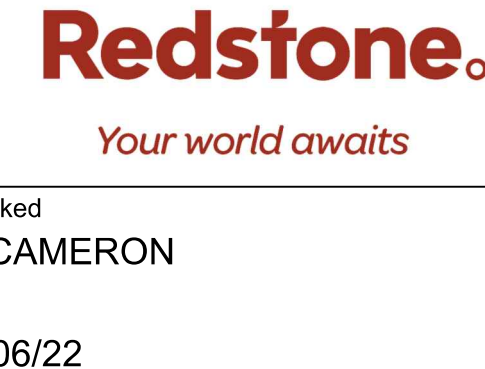
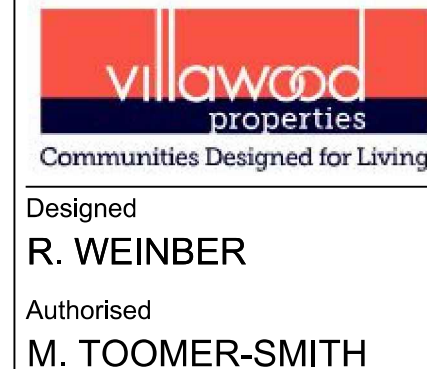
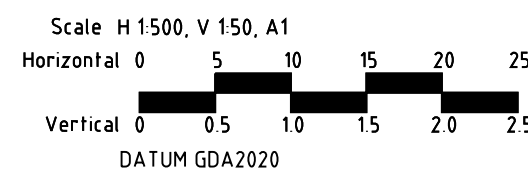
CLASS 3 CRUSHED ROCK

NOTE:

1. ALL PIPES TO BE RUBBER RING JOINTED (RRJ) UNLESS NOTED OTHERWISE
2. DRAINAGE PIPES GREATER THAN 750Ø ARE TO BE FLUSH JOINTED (FJ) WITH EXTERNAL SEALING BANDS
3. CURVED PIPE ALIGNMENTS TO BE ACHIEVED USING EITHER:
a) SPLAY PIPES INSTALLED AS PER MANUFACTURES SPECIFICATION
b) DEFLECTION ACHIEVED WITHIN RRJ.



Rev	Amendments	Approved	Date
1	LINE 13 TO 27 UPDATED	M.T.S	24/10/23
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23



REDSTONE ESTATE
STAGE 10
DRAINAGE LONG SECTION
SHEET 3 OF 5
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

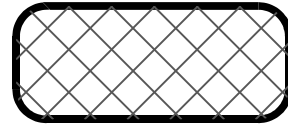
Designed
R. WEINBER

Authorised
M. TOOMER-SMITH

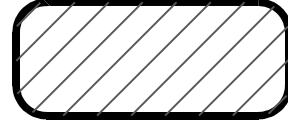
Checked
D. CAMERON

Date
20/06/22

AS CONSTRUCTED Drg No **305921R17** Rev **1**



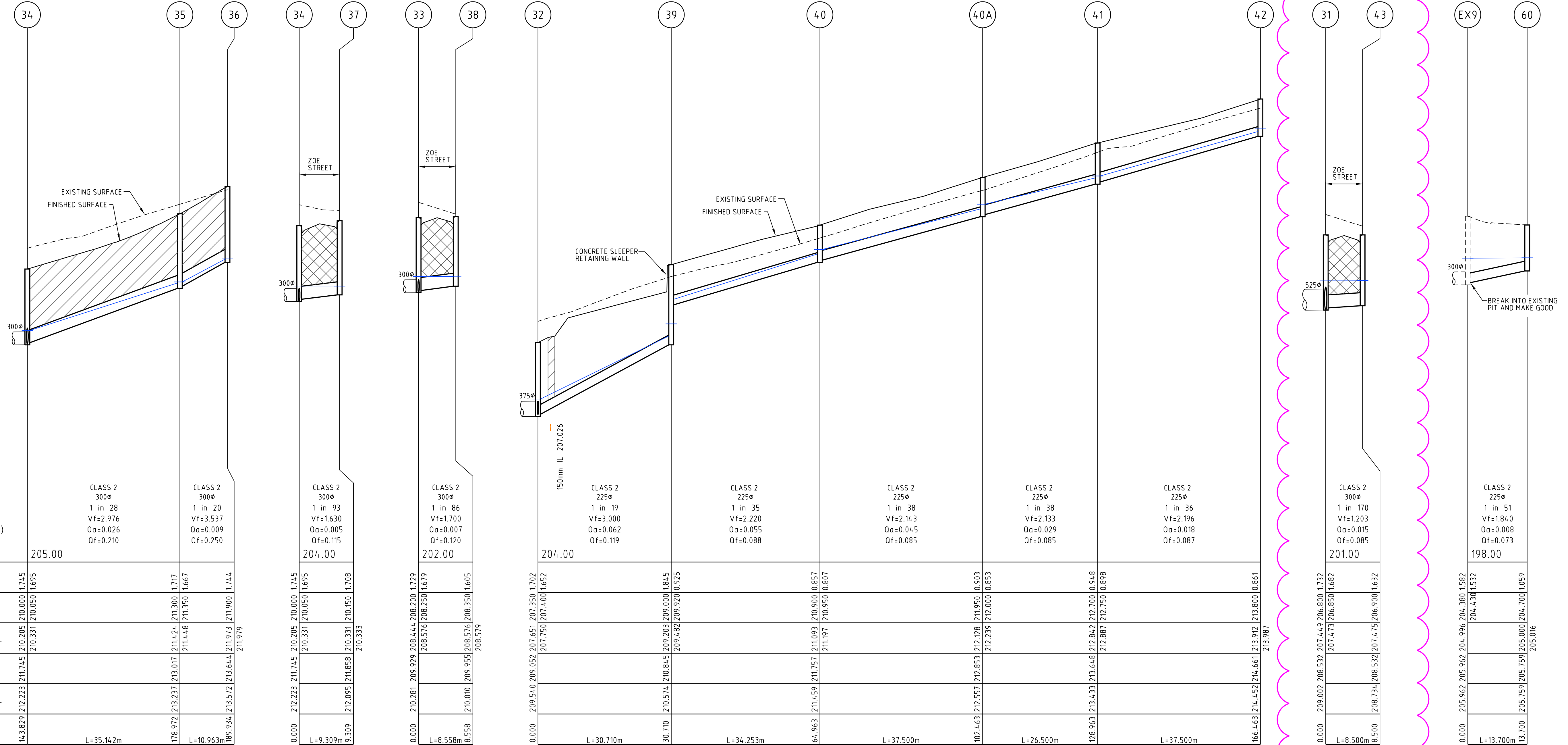
CLASS 2 CRUSHED ROCK



CLASS 3 CRUSHED ROCK

NOTE:

- ALL PIPES TO BE RUBBER RING JOINTED (RRJ) UNLESS NOTED OTHERWISE
- DRAINAGE PIPES GREATER THAN 750Ø ARE TO BE FLUSH JOINTED (FJ) WITH EXTERNAL SEALING BANDS
- CURVED PIPE ALIGNMENTS TO BE ACHIEVED USING EITHER:
a) SPLAY PIPES INSTALLED AS PER MANUFACTURES SPECIFICATION
b) DEFLECTION ACHIEVED WITHIN RRJ.



Pipe Diameter	300Ø
Pipe Grade	1 in 28
Vf (m/s)	Vf=2.976
Qactual (m3/s)	Qa=0.026
Qfull (m3/s)	Qf=0.210
DATUM R.L.	205.00
DEPTH TO INVERT	1.745
DESIGN INVERT LEVEL	210.000
HYDRAULIC GRADE LEVEL	210.331
FINISHED SURFACE LEVEL	211.745
EXISTING SURFACE LEVEL	212.223
CHAINAGE	14.3.829

CLASS 2	300Ø
Pipe Grade	1 in 20
Vf (m/s)	Vf=3.537
Qactual (m3/s)	Qa=0.007
Qfull (m3/s)	Qf=0.250
DATUM R.L.	204.00
DEPTH TO INVERT	1.717
DESIGN INVERT LEVEL	210.050
HYDRAULIC GRADE LEVEL	210.331
FINISHED SURFACE LEVEL	211.448
EXISTING SURFACE LEVEL	212.095
CHAINAGE	178.972

CLASS 2	300Ø
Pipe Grade	1 in 93
Vf (m/s)	Vf=1.630
Qactual (m3/s)	Qa=0.005
Qfull (m3/s)	Qf=0.115
DATUM R.L.	202.00
DEPTH TO INVERT	1.708
DESIGN INVERT LEVEL	210.050
HYDRAULIC GRADE LEVEL	210.331
FINISHED SURFACE LEVEL	211.448
EXISTING SURFACE LEVEL	212.095
CHAINAGE	178.972

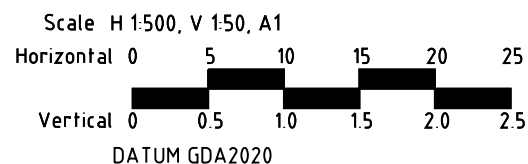
CLASS 2	225Ø
Pipe Grade	1 in 19
Vf (m/s)	Vf=3.000
Qactual (m3/s)	Qa=0.062
Qfull (m3/s)	Qf=0.119
DATUM R.L.	204.00
DEPTH TO INVERT	1.652
DESIGN INVERT LEVEL	210.400
HYDRAULIC GRADE LEVEL	210.750
FINISHED SURFACE LEVEL	211.757
EXISTING SURFACE LEVEL	212.459
CHAINAGE	30.710

CLASS 2	225Ø
Pipe Grade	1 in 35
Vf (m/s)	Vf=2.220
Qactual (m3/s)	Qa=0.055
Qfull (m3/s)	Qf=0.088
DATUM R.L.	204.00
DEPTH TO INVERT	1.845
DESIGN INVERT LEVEL	210.900
HYDRAULIC GRADE LEVEL	211.093
FINISHED SURFACE LEVEL	211.459
EXISTING SURFACE LEVEL	212.459
CHAINAGE	64.963

CLASS 2	225Ø
Pipe Grade	1 in 38
Vf (m/s)	Vf=2.143
Qactual (m3/s)	Qa=0.045
Qfull (m3/s)	Qf=0.085
DATUM R.L.	204.00
DEPTH TO INVERT	1.857
DESIGN INVERT LEVEL	210.950
HYDRAULIC GRADE LEVEL	211.197
FINISHED SURFACE LEVEL	211.757
EXISTING SURFACE LEVEL	212.459
CHAINAGE	102.463

CLASS 2	225Ø
Pipe Grade	1 in 36
Vf (m/s)	Vf=2.133
Qactual (m3/s)	Qa=0.029
Qfull (m3/s)	Qf=0.085
DATUM R.L.	204.00
DEPTH TO INVERT	1.903
DESIGN INVERT LEVEL	212.000
HYDRAULIC GRADE LEVEL	212.239
FINISHED SURFACE LEVEL	212.887
EXISTING SURFACE LEVEL	213.433
CHAINAGE	128.963

1	43 TO 44 REMOVED	M.T.S	31/10/23
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



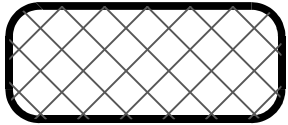
© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire
spiire.com.au
ABN 55 050 029 635

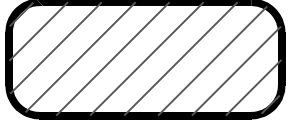
villawood
properties
Communities Designed for Living
Designed
R. WEINBER
Authorised
M. TOOMER-SMITH

Redstone.
Your world awaits
Checked
D. CAMERON
Date
20/06/22

REDSTONE ESTATE
STAGE 10
DRAINAGE LONG SECTION
SHEET 4 OF 5
VILLAWOOD PROPERTIES
HUME CITY COUNCIL
AS CONSTRUCTED
Drg No
305921R18
Rev
1



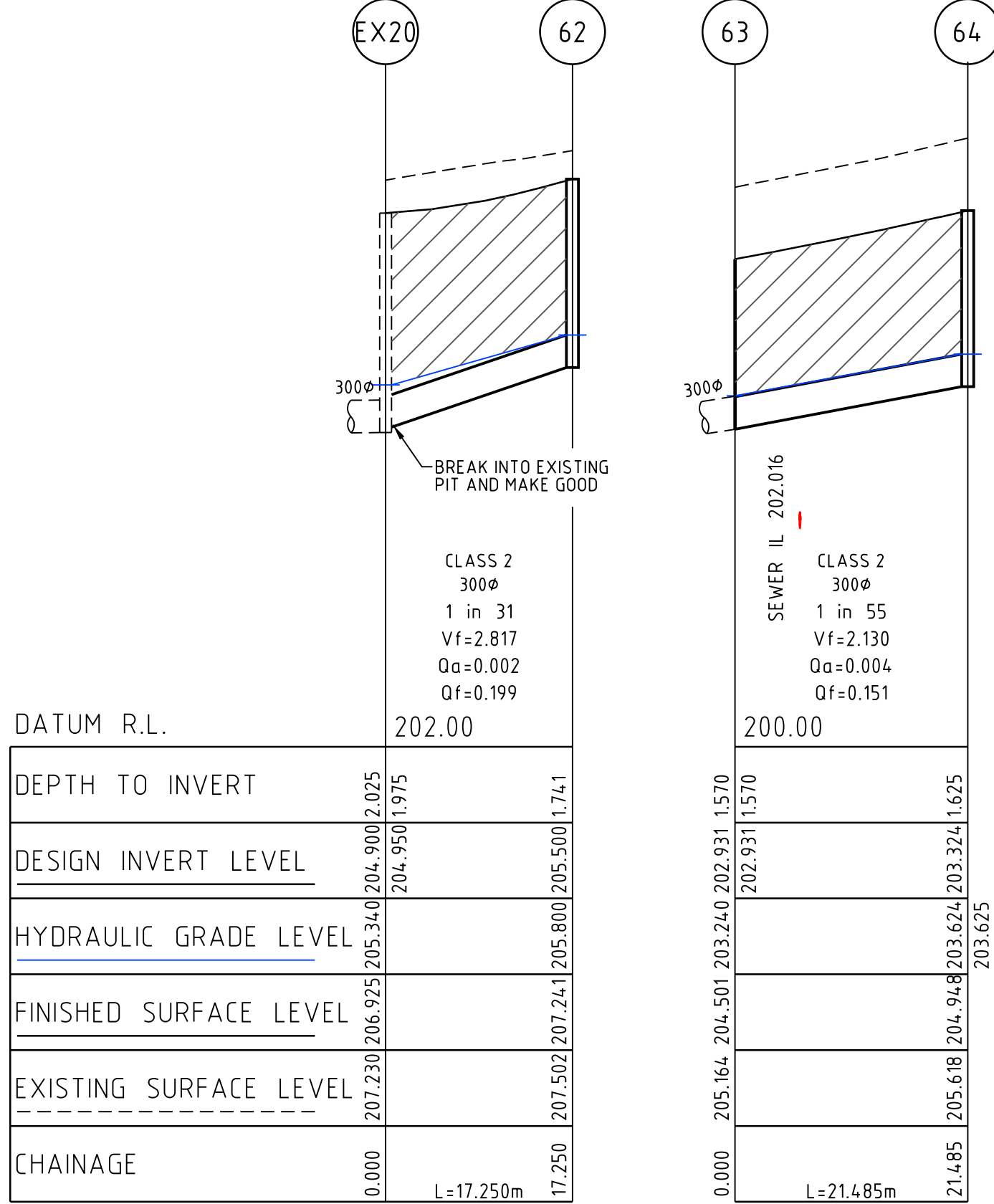
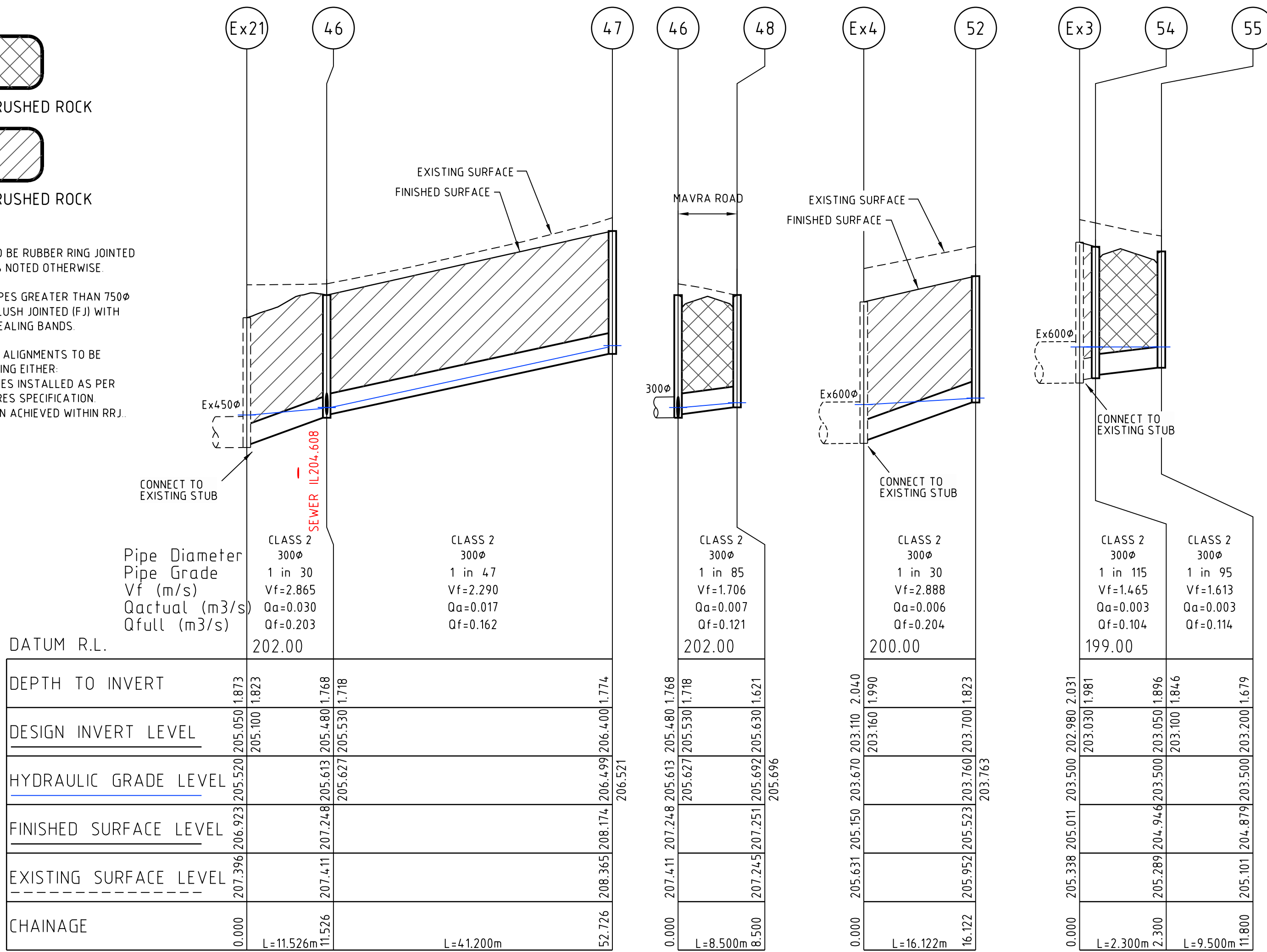
CLASS 2 CRUSHED ROCK



CLASS 3 CRUSHED ROCK

NOTE:

- ALL PIPES TO BE RUBBER RING JOINTED (RRJ) UNLESS NOTED OTHERWISE
- DRAINAGE PIPES GREATER THAN 750Ø ARE TO BE FLUSH JOINTED (FJ) WITH EXTERNAL SEALING BANDS
- CURVED PIPE ALIGNMENTS TO BE ACHIEVED USING EITHER:
a) SPLAY PIPES INSTALLED AS PER MANUFACTURES SPECIFICATION
b) DEFLECTION ACHIEVED WITHIN RRJ.

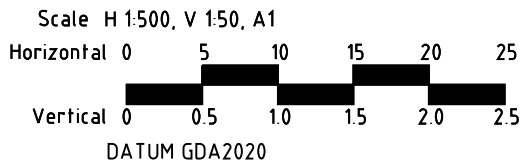


ALL EXISTING PITS DE NOTED THUS " # " TO BE CONVERTED TO GRATED SIDE ENTRY PITS - REFER DRAWING - EDCM 601

DRAINAGE PIT SCHEDULE

PIT		INTERNAL		INLET		OUTLET		PIT		REMARKS
NAME	TYPE	LENGTH	WIDTH	DIA	INV LEVEL	DIA	INV LEVEL	FS LEVEL	DEPTH	
1	Ex JUNCTION PIT	900	900	600	202.130			204.414	2.284	CONNECT TO EXISTING JUNCTNO PIT
2	JUNCTION PIT	900	900	600	202.240	600	202.190	204.473	2.283	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
3	JUNCTION PIT	900	900	600	202.340	600	202.290	204.548	2.258	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
4	JUNCTION PIT	900	900	525	202.800	600	202.750	205.054	2.304	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
5	JUNCTION PIT	900	900	525	203.081	525	203.031	205.336	2.305	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
6	JUNCTION PIT	900	900	525	203.970	525	203.920	206.331	2.411	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
7	JUNCTION PIT	900	900	525	204.898	525	204.848	207.375	2.527	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
8	JUNCTION PIT	900	900	525	205.179	525	205.129	207.708	2.579	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
9	JUNCTION PIT	900	900	525	205.700	525	205.650	208.184	2.534	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
10	JUNCTION PIT	900	900	525	206.297	525	206.247	208.867	2.620	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
11	JUNCTION PIT	900	900	375	206.680	525	206.630	208.857	2.227	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
12	SIDE ENTRY PIT GRATED	900	600	525	206.680	375	207.450	209.334	1.934	REFER DRAWING - EDCM 601
13	JUNCTION PIT	900	600	300	207.450	300	208.400	210.098	1.748	REFER DRAWING - EDCM 605
14	SIDE ENTRY PIT GRATED	900	600	375	208.800	375	208.750	210.742	1.992	REFER DRAWING - EDCM 601
15	SIDE ENTRY PIT GRATED	900	600	300	209.000	375	208.950	210.777	1.827	REFER DRAWING - EDCM 601
16	SIDE ENTRY PIT GRATED	900	600	300	209.000	300	209.800	211.571	1.771	REFER DRAWING - EDCM 601
17	SIDE ENTRY PIT GRATED	900	600	300	209.850	300	211.850	213.596	1.746	REFER DRAWING - EDCM 601
18	JUNCTION PIT	900	600	300	211.900	300	213.700	215.433	1.733	REFER DRAWING - EDCM 605
19	SIDE ENTRY PIT GRATED	900	600	300	212.000	300	212.000	213.582	1.582	REFER DRAWING - EDCM 601
20	SIDE ENTRY PIT GRATED	900	600	300	209.980	300	209.980	211.565	1.585	REFER DRAWING - EDCM 601
21	JUNCTION PIT	900	900	225	212.450	225	211.500	213.633	2.133	REFER DRAWING - EDCM 605 (PROVIDE HAUNCHING AS PER EDCM 607)
21A	GRATED JUNCTION PIT	900	600	225	212.570	225	212.520	213.686	1.166	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
22	GRATED JUNCTION PIT	900	600	225	213.030	225	212.980	213.993	1.013	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
22A	GRATED JUNCTION PIT	900	600	225	213.930	225	213.880	214.843	0.963	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
22B	GRATED JUNCTION PIT	900	600	225	214.350	225	214.300	215.239	0.939	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
23	GRATED JUNCTION PIT	900	600	225	214.800	225	214.750	215.647	0.897	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
24	GRATED JUNCTION PIT	900	600	300	209.250	300	216.400	217.250	0.850	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
25	SIDE ENTRY PIT GRATED	900	600	300	209.250	300	209.200	210.942	1.742	REFER DRAWING - EDCM 601
26	JUNCTION PIT	900	600	300	210.150	300	210.100	211.862	1.762	REFER DRAWING - EDCM 605
27	ENDPIPE			300	210.580	300	210.580	212.362	1.782	BLANK END WITH MARINE PLY
28	SIDE ENTRY PIT GRATED	900	600	300	209.350	300	209.350	210.945	1.595	REFER DRAWING - EDCM 601
29	SIDE ENTRY PIT GRATED	900	600	300	207.700	300	207.700	209.377	1.677	REFER DRAWING - EDCM 601
30	SIDE ENTRY PIT GRATED	900	900	525	206.750	525	206.700	208.764	2.064	REFER DRAWING - EDCM 601 (PROVIDE HAUNCHING AS PER EDCM 607)
31	SIDE ENTRY PIT GRATED	900	900	375	206.850	525	206.800	208.532	1.732	REFER DRAWING - EDCM 601 (PROVIDE HAUNCHING AS PER EDCM 607)
32	SIDE ENTRY PIT GRATED	900	600	300	207.400	375	207.350	209.052	1.702	REFER DRAWING - EDCM 601
33	SIDE ENTRY PIT GRATED	900	600	300	208.250	300	208.200	209.929	1.729	REFER DRAWING - EDCM 601
34	SIDE ENTRY PIT GRATED	900	600	300	210.050	300	210.000	211.745	1.745	REFER DRAWING - EDCM 601
35	JUNCTION PIT	900	600	300	211.350	300	211.300	213.017	1.717	REFER DRAWING - EDCM 605
36	JUNCTION PIT	900	600	300	211.900	300	211.900	213.644	1.744	REFER DRAWING - EDCM 605
37	SIDE ENTRY PIT GRATED	900	600	300	210.150	300	210.150	211.858	1.708	REFER DRAWING - EDCM 601
38	SIDE ENTRY PIT GRATED	900	600	300	208.350	300	208.350	209.955	1.605	REFER DRAWING - EDCM 601
39	GRATED JUNCTION PIT	900	600	225	209.920	225	209.000	210.845	1.845	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
40	GRATED JUNCTION PIT	900	600	225	210.950	225	210.900	211.757	0.857	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
40A	GRATED JUNCTION PIT	900	600	225	212.000	225	211.950	212.853	0.903	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
41	GRATED JUNCTION PIT	900	600	225	212.750	225	212.700	213.648	0.948	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
42	GRATED JUNCTION PIT	900	600	300	213.800	225	213.800	214.661	0.861	REFER DRAWING - EDCM 605 - PROVIDE GRATED COVER
43	SIDE ENTRY PIT GRATED	900	600	300	206.900	300	206.900	208.532	1.632	REFER DRAWING - EDCM 601
46	SIDE ENTRY PIT GRATED	900	600	300	205.530	300	205.480	207.248	1.768	REFER DRAWING - EDCM 601 - PROVIDE HEAVY DUTY COVER
47	JUNCTION PIT	900	600	300	205.530	300	206.400	208.174	1.774	REFER DRAWING - EDCM 605 - PROVIDE HEAVY DUTY COVER
48	JUNCTION PIT	900	600	300	205.530	300	205.630	207.251	1.621	REFER DRAWING - EDCM 605
52	JUNCTION PIT	900	600	300	203.030	300	203.700	205.523	1.823	REFER DRAWING - EDCM 605
54	SIDE ENTRY PIT GRATED	900	600	300	203.100	300	203.050	204.946	1.896	REFER DRAWING - EDCM 601
55	SIDE ENTRY PIT GRATED	900	600	300	203.200	300	203.200	204.879	1.679	REFER DRAWING - EDCM 601
60	JUNCTION PIT	900	600	225	204.700	225	204.700	205.759	1.059	REFER DRAWING - EDCM 605
61	JUNCTION PIT	900	600	225	207.401	225	207.401	208.371	0.970	REFER DRAWING - EDCM 605 CONSTRUCT OVER EX 225 RCP
62	JUNCTION PIT	900	600	300	205.500	300	205.500	207.241	1.741	REFER DRAWING - EDCM 605
63	ENDPIPE			300	202.931			204.501	1.570	BLANK END WITH MARINE PLY
64	JUNCTION PIT			300	203.324	300	203.324	204.948	1.625	REFER DRAWING - EDCM 605 - PROVIDE HEAVY DUTY COVER
Ex3	EXISTING JUNCTION PIT	900	900	300	203.030			205.011	2.031	CONNECT TO EXISTING END PIPE
# Ex4	EXISTING JUNCTION PIT			300	203.160			205.150	2.040	CONVERT COVER TO SIDE ENTRY PIT GRATED - REFER DRAWING - EDCM 601
# Ex5	EXISTING JUNCTION PIT	900	900	600	203.310	600	203.260	205.933	2.673	CONVERT COVER TO SIDE ENTRY PIT GRATED - REFER DRAWING - EDCM 601
# Ex6	EXISTING JUNCTION PIT	900	900	375	203.500	600	203.360	206.102	2.742	CONVERT COVER TO SIDE ENTRY PIT GRATED - REFER DRAWING - EDCM 601
# Ex7	EXISTING JUNCTION PIT	900	900	375	203.780	375	203.700	206.257	2.557	CONVERT COVER TO SIDE ENTRY PIT GRATED - REFER DRAWING - EDCM 601
Ex9	EXISTING JUNCTION PIT			225	204.430			206.039	1.609	BREAK INTO EXISTING JUNCTION PIT SOUTH WALL
Ex8	EXISTING JUNCTION PIT	900	900	300	204.490	375	204.440	206.765	2.325	REFER DRAWING - EDCM 605
Ex16	EXISTING JUNCTION PIT	900	600	225	205.950	300	205.900	207.277	1.377	REFER DRAWING - EDCM 605
Ex16A	EXISTING JUNCTION PIT	900	600			225	206.210	207.032	0.822	REFER DRAWING - EDCM 605
# Ex20	EXISTING JUNCTION PIT			300	204.950			206.925	2.025	CONVERT COVER TO SIDE ENTRY PIT GRATED - REFER DRAWING - EDCM 601
# Ex21	EXISTING JUNCTION PIT	900	600	300	205.100			206.923	1.873	CONVERT COVER TO SIDE ENTRY PIT GRATED - REFER DRAWING - EDCM 601
Ex22	EXISTING JUNCTION PIT	900	900	300	205.750	375	205.700	207.847	2.147	REFER DRAWING - EDCM 605
Ex23	EXISTING JUNCTION PIT	900	600	300	207.050	300	207.000	208.559	1.559	REFER DRAWING - EDCM 605
Ex23A	EXISTING JUNCTION PIT	900	600			300	207.500	208.325	0.825	REFER DRAWING - EDCM 605
Ex60	EXISTING JUNCTION PIT	900	600	300	205.050	300	205.000	206.416	1.416	REFER DRAWING - EDCM 605

4	PIT SCHEDULE PIT 64 HEAVY DUTY COVERS PROVIDED	M.T.S	08/02/24
3	PIT SCHEDULE PITS 46 AND 47 HEAVY DUTY COVERS PROVIDED	M.T.S	29/01/24
2	EXISTING PITS ADDED ,SEPG CONVERSION NOTE ADDED EX4,5,6,20 & 21		
2	PIT 49 TO 50 REMOVED, PITS 62,63 & 64 ADDED PIT SCHEDULE UPDATED	M.T.S	31/10/23
1	PIT 13 UPDATED	M.T.S	24/10/23
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



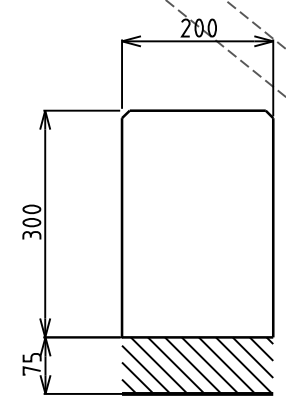
© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire
spiire.com.au
ABN 55 050 029 635

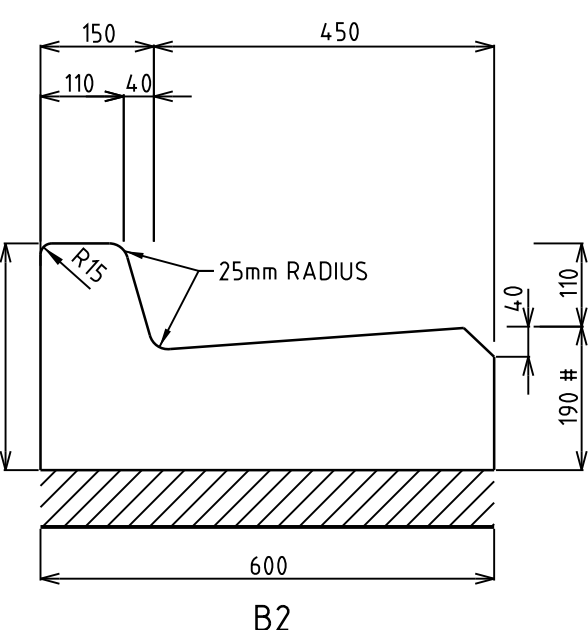
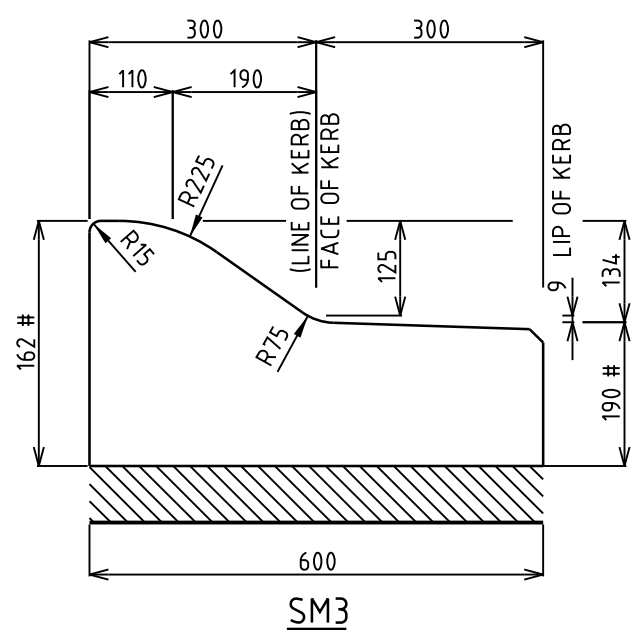
villawood
properties
Communities Designed for Living
Designed
R. WEINBER
Authorised
M. TOOMER-SMITH

Redstone.
Your world awaits
Checked
D. CAMERON
Date
20/06/22

REDSTONE ESTATE
STAGE 10
DRAINAGE LONG SECTION
SHEET 5 OF 5
VILLAWOOD PROPERTIES
HUME CITY COUNCIL
AS CONSTRUCTED Drg No **305921R19** Rev **4**

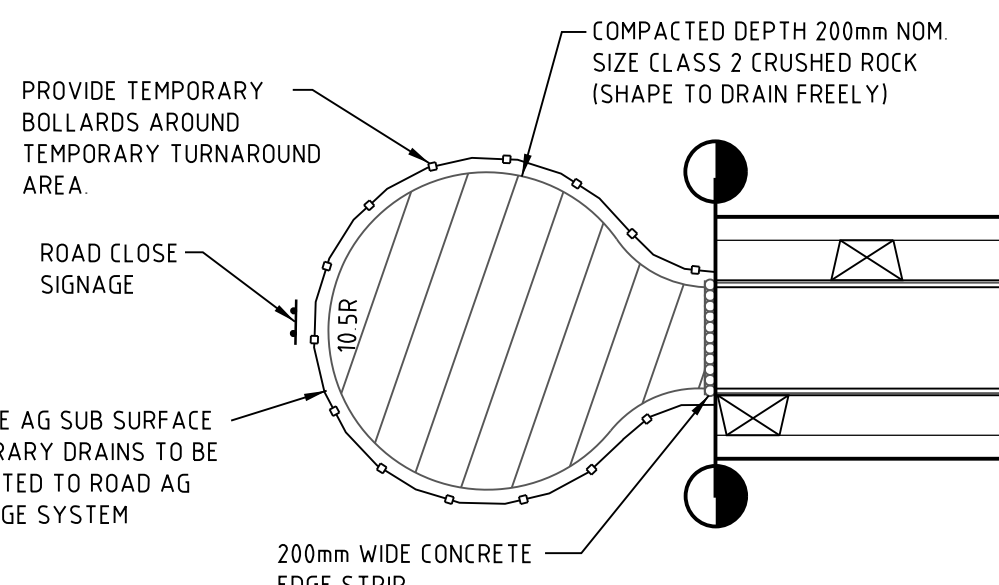


EDGE STRIP



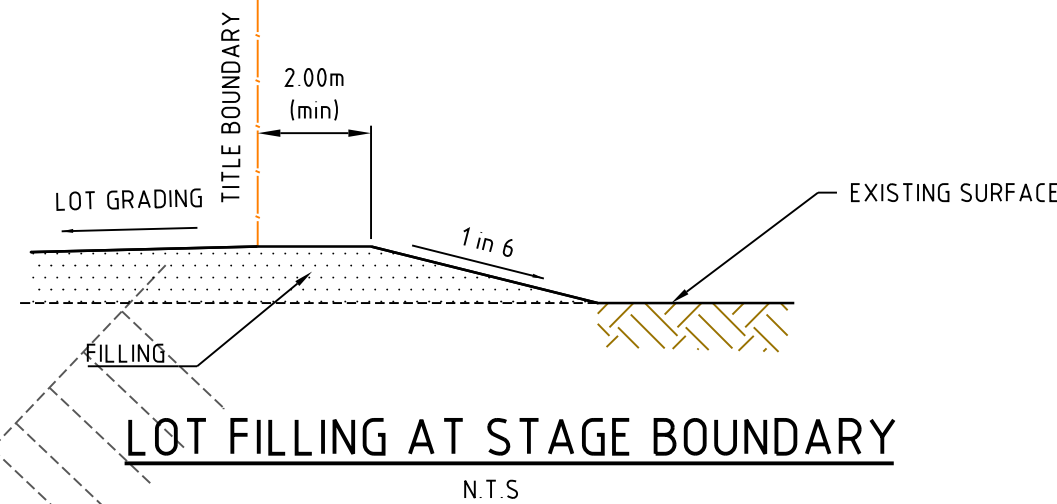
STANDARD KERB PROFILES

NOT TO SCALE



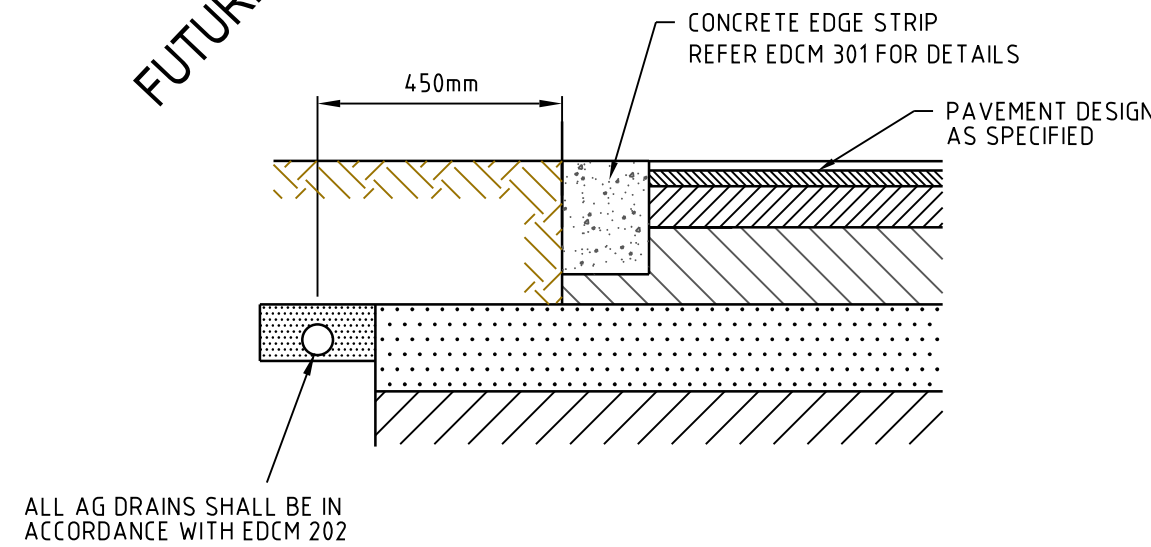
TEMPORARY TURNING AREA DETAIL

- NOTES:
1. ALL KERBS AND KERB & CHANNEL TO BE REINFORCED IN ACCORDANCE WITH MUNICIPALITY STD DRAWINGS
 2. ALL KERBS AND KERB & CHANNEL TO HAVE 190mm DEPTH OF CONCRETE BELOW TOP OF PAVEMENT LEVEL
 3. DIMENSION SHOWN # DEPTH TO BE ADJUSTED TO ACCOMMODATE SAMI SEAL LAYER



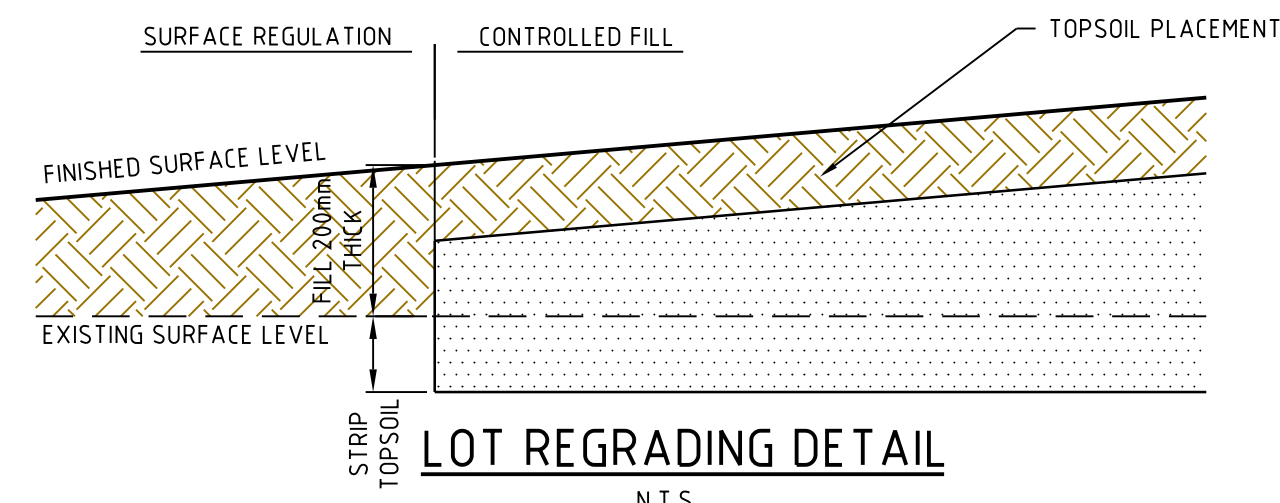
LOT FILLING AT STAGE BOUNDARY

N.T.S



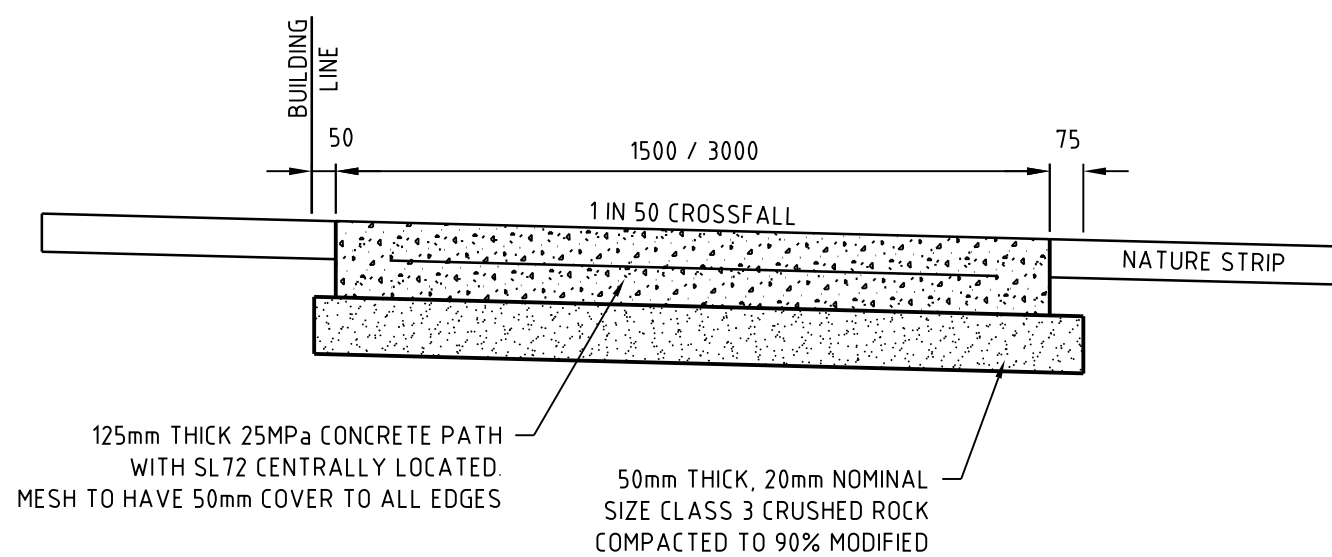
LIMIT OF WORKS CONCRETE EDGE STRIP & PAVEMENT INTERFACE - DETAIL

N.T.S



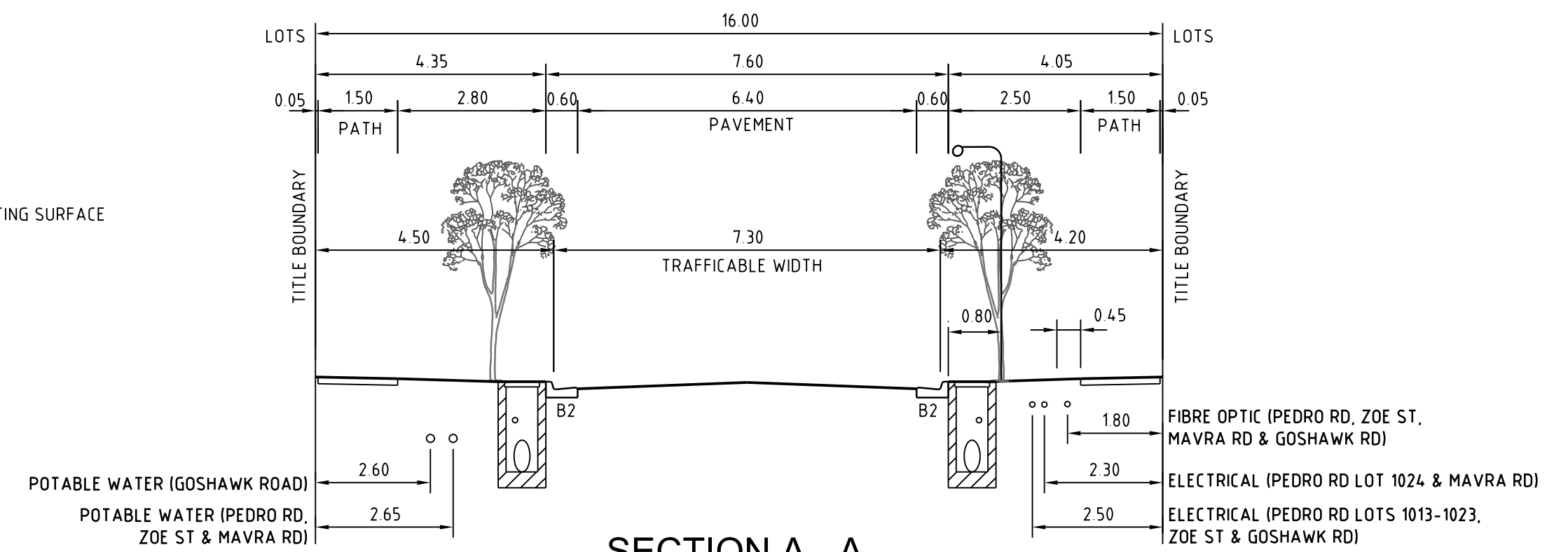
LOT REGRADE DETAIL

N.T.S



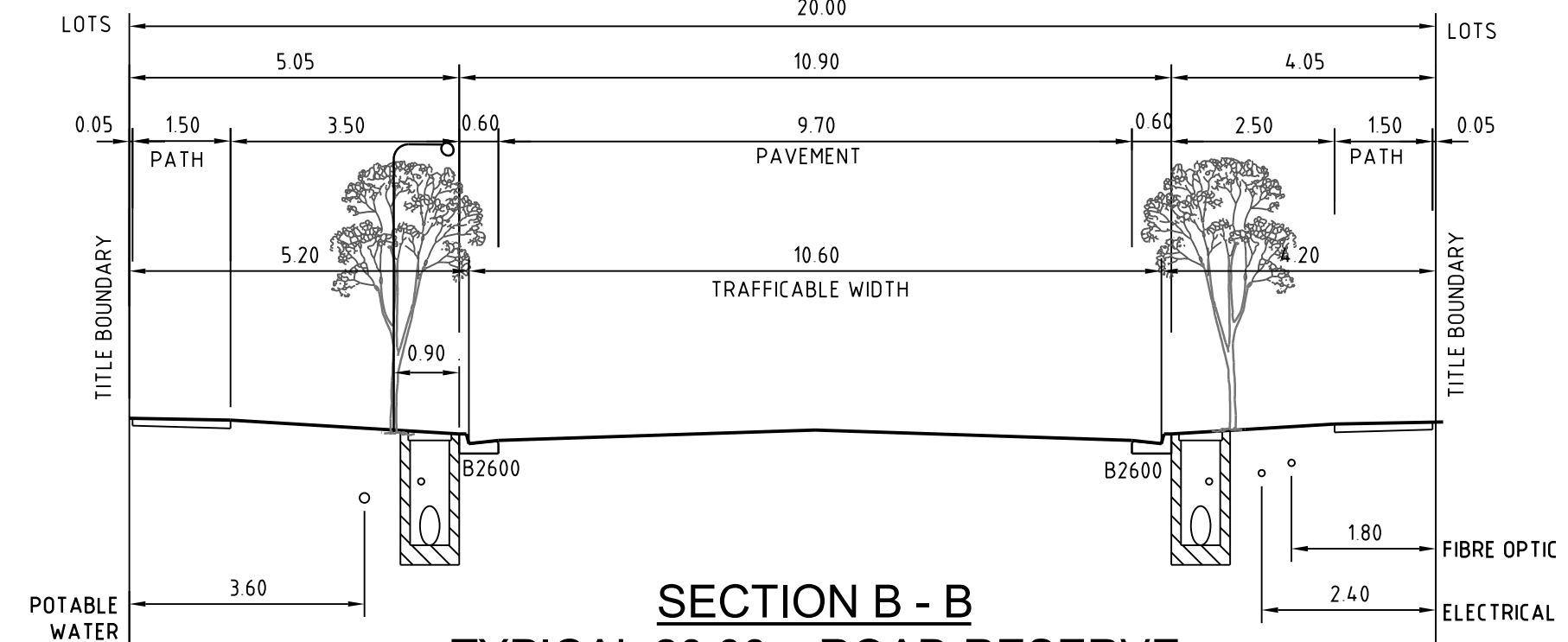
TYPICAL RESIDENTIAL FOOTPATH CROSS SECTION

N.T.S



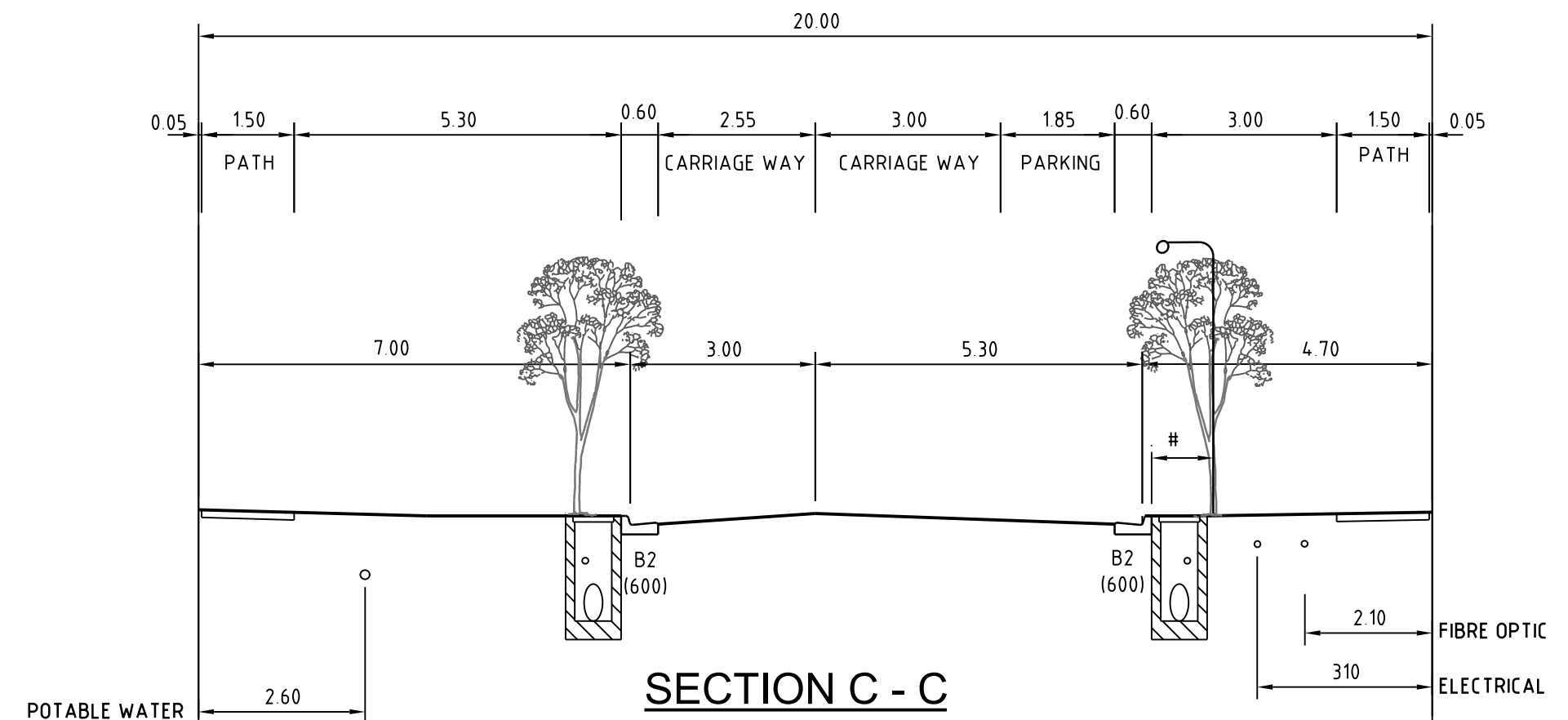
SECTION A - A
TYPICAL 16.00m ROAD RESERVE
ZOE STREET, PEDRO ROAD, MAVRA ROAD & GOSHAWK ROAD

NOT TO SCALE



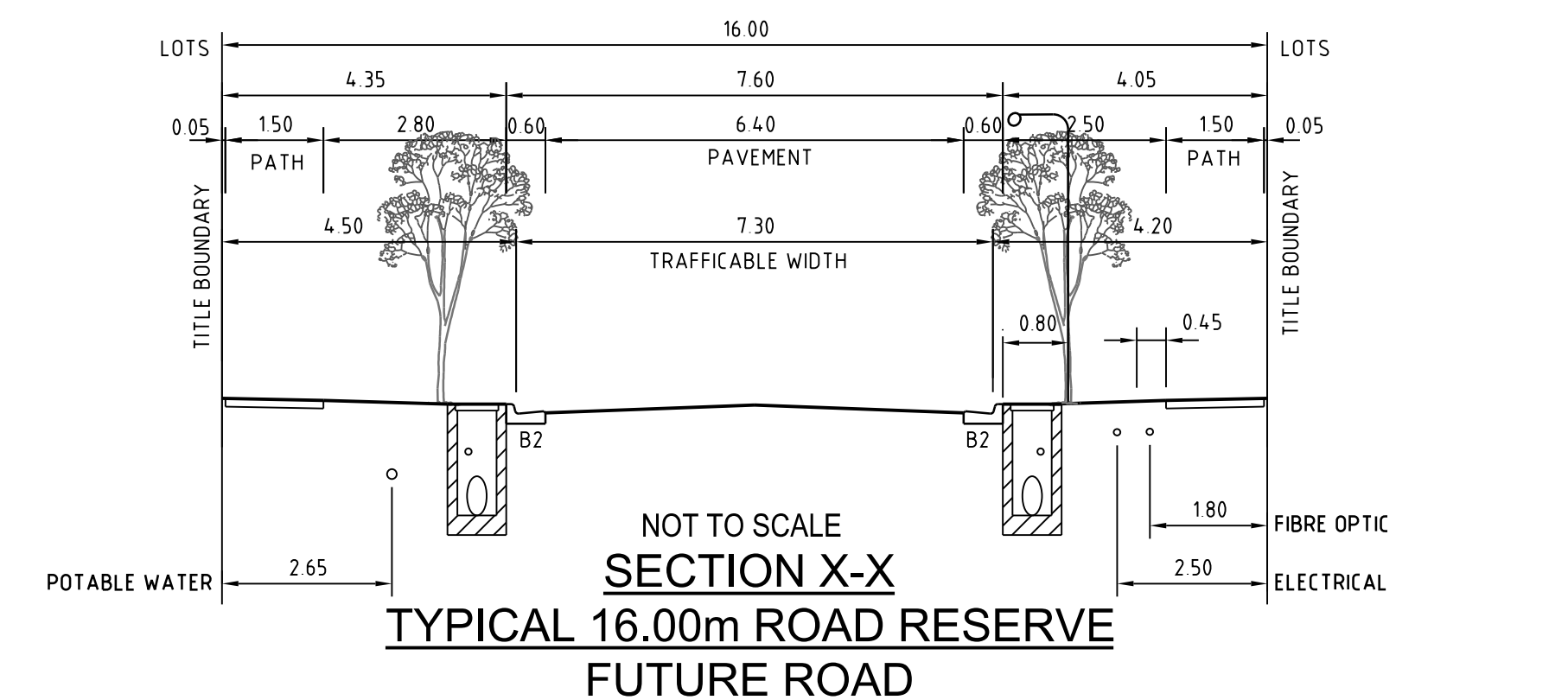
SECTION B - B
TYPICAL 20.00m ROAD RESERVE
EAGLEHAWK STREET

NOT TO SCALE



SECTION C - C
TYPICAL 20.00m ROAD RESERVE
ALPACA DRIVE

NOT TO SCALE



NOT TO SCALE
SECTION X-X
TYPICAL 16.00m ROAD RESERVE
FUTURE ROAD

Rev	Issue for Construction	M.T.S	30/08/23
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire

spiire.com.au

ABN 55 050 029 635



Designed
R. WEINBER
Authorised
M. TOOMER-SMITH

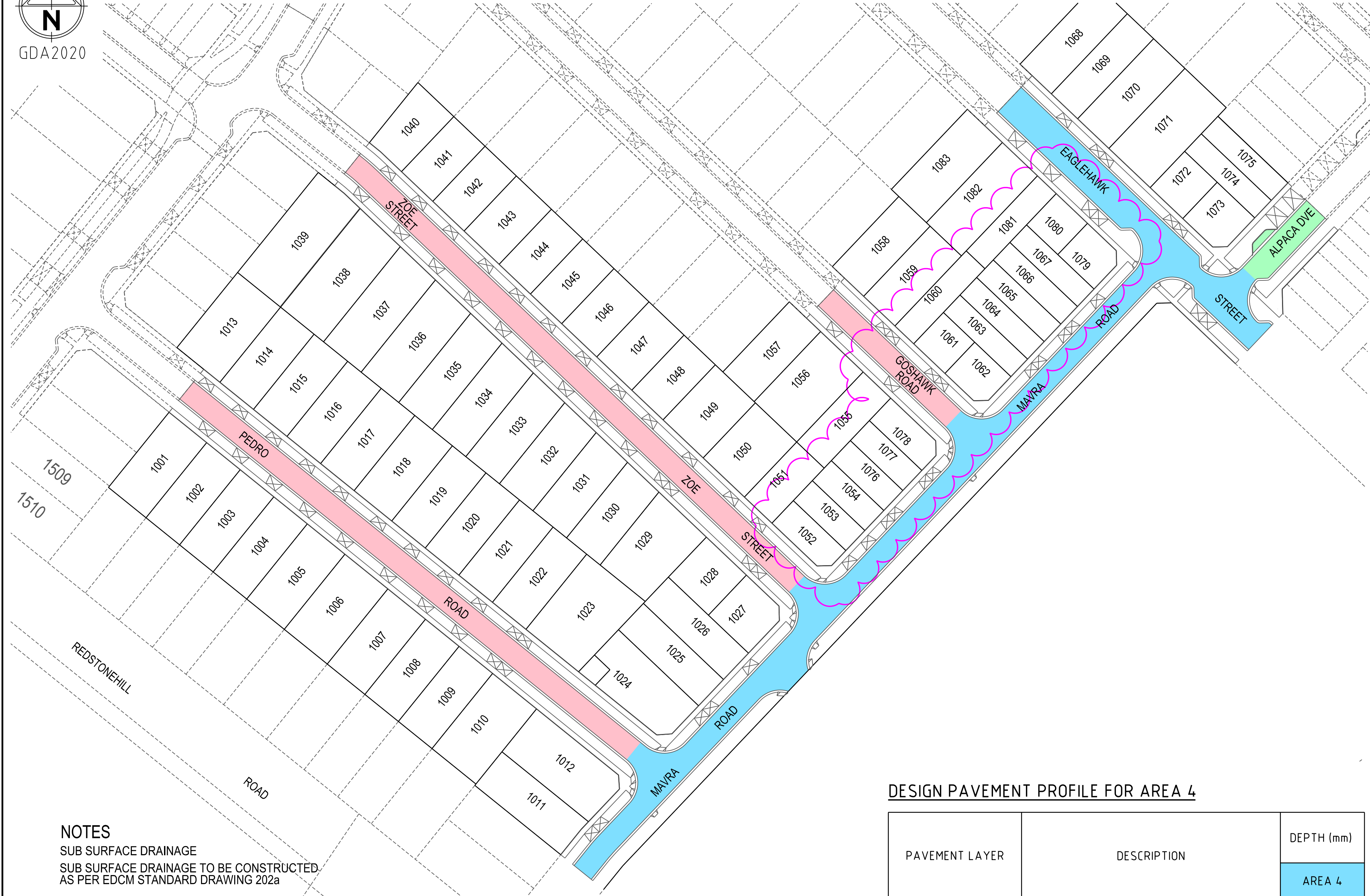
Redstone.
Your world awaits

Checked
D CAMERON
Date
20/06/22

**REDSTONE ESTATE
STAGE 10
TYPICAL CROSS SECTIONS
AND TYPICAL DETAILS**
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

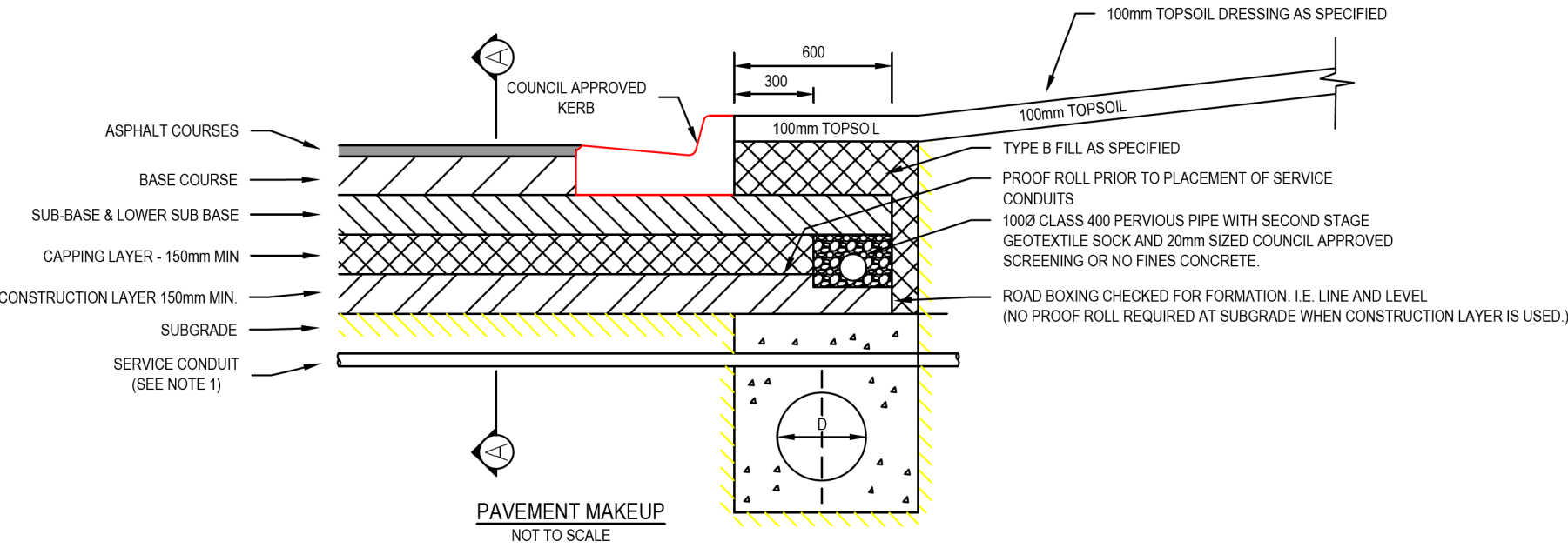
AS CONSTRUCTED Drg No **305921R20**

Rev
0



NOTES
SUB SURFACE DRAINAGE
SUB SURFACE DRAINAGE TO BE CONSTRUCTED
AS PER EDCM STANDARD DRAWING 202a

NOTE FOR SAMI TREATMENT
DESIGN AND APPLICATION OF SAMI, INCLUDING MATERIAL
REQUIREMENTS, SHOULD COMPLY WITH VICROADS
STANDARD SPECIFICATION FOR ROADWORKS AND
BRIDGEWORKS SECTION 408 AND THE CURRENT AUSTRROADS
SPRAYED SEAL DESIGN METHOD.



DESIGN PAVEMENT PROFILE FOR AREA 4

PAVEMENT LAYER	DESCRIPTION	DEPTH (mm)
		AREA 4
WEARING COURSE	Size 14mm Type H Asphalt with a C320 binder	40
UPPER STRUCTURAL COURSE	Size 20mm Type si Asphalt with a C320 binder	75
LOWER STRUCTURAL COURSE	Size 20mm Type si Asphalt with a C320 binder	75
UPPER PAVEMENT TOTAL		190
BASE COURSE (Standard Quality)	20mm nominal size Class 2 FCR, compacted to at least 98% Modified Dry Density Ratio with a mean value of at least 100% Modified Dry Density Ratio and within 1% of the Modified Optimum Moisture Content	150
CAPPING LAYER	Select granular material with a minimum soaked CBR of 10% compacted to 98% Standard Dry Density Ratio with a mean value of at least 100% Standard Dry Density Ratio and within 1% of the Standard Optimum Moisture Content and a percentage swell of less than 15% and a max hydraulic conductivity of 5×10^{-9} m/s	220
CONSTRUCTION LAYER	Select granular material with a minimum soaked CBR of 10% compacted to 98% Standard Dry Density Ratio with a mean value of at least 100% Standard Dry Density Ratio and within 1% of the Standard Optimum Moisture Content and a percentage swell of less than 15% and a max hydraulic conductivity of 5×10^{-9} m/s	150
TOTAL PAVEMENT DEPTH		710
SUBGRADE	Natural Silty CLAY tested to confirm an in-situ CBR of at least 2.0% OR approved FILL compacted to at least 100% Standard Dry Density ratio (soaked CBR \geq 3.0%) within 2% of the Standard Optimum Moisture Content	

DESIGN PAVEMENT PROFILE FOR AREA 2

PAVEMENT LAYER	DESCRIPTION	DEPTH (mm)
		AREA 2
WEARING COURSE	Size 10mm Type L Asphalt with a C320 binder	30
STRUCTURAL COURSE	Size 10mm Type N Asphalt with a C320 binder	30
WATER-PROOFING COURSE	SAMI seal with Class S18RF binder and bituminous prime	10
BASE COURSE (High Quality)	20mm nominal size Class 2 FCR, compacted to at least 100% Characteristic Modified Dry Density Ratio and within 1% of the modified Optimum Moisture Content	130
UPPER PAVEMENT TOTAL		200
SUB-BASE COURSE (High Quality)	20mm nominal size Class 3 FCR, compacted to at least 98% Characteristic Modified Dry Density Ratio and within 1% of the modified Optimum Moisture Content	100
CAPPING LAYER	Select granular material with a minimum soaked CBR of 10% compacted to 98% Standard Dry Density Ratio with a mean value of at least 100% Standard Dry Density Ratio and within 1% of the Standard Optimum Moisture Content and a percentage swell of less than 15% and a max hydraulic conductivity of 5×10^{-9} m/s	200
CONSTRUCTION LAYER	Select granular material with a minimum soaked CBR of 10% compacted to 98% Standard Dry Density Ratio with a mean value of at least 100% Standard Dry Density Ratio and within 1% of the Standard Optimum Moisture Content and a percentage swell of less than 15% and a max hydraulic conductivity of 5×10^{-9} m/s	150
TOTAL PAVEMENT DEPTH		650
SUBGRADE	Natural Silty CLAY tested to confirm an in-situ CBR of at least 2.0% OR approved FILL compacted to at least 100% Standard Dry Density ratio (soaked CBR \geq 3.0%) within 2% of the Standard Optimum Moisture Content	

DESIGN PAVEMENT PROFILE FOR AREA 3

PAVEMENT LAYER	DESCRIPTION	DEPTH (mm)
		AREA 3
WEARING COURSE	Size 14mm Type N Asphalt with a C320 binder	40
STRUCTURAL COURSE	Size 14mm Type hp Asphalt with a A10E binder	40
WATER-PROOFING COURSE	SAMI seal with Class S18RF binder and bituminous prime	10
BASE COURSE (High Quality)	20mm nominal size Class 2 FCR, compacted to at least 100% Characteristic Modified Dry Density Ratio and within 1% of the modified Optimum Moisture Content	110
UPPER PAVEMENT TOTAL		200
SUB-BASE COURSE (High Quality)	20mm nominal size Class 3 FCR, compacted to at least 98% Characteristic Modified Dry Density Ratio and within 1% of the modified Optimum Moisture Content	160
CAPPING LAYER	Select granular material with a minimum soaked CBR of 10% compacted to 98% Standard Dry Density Ratio with a mean value of at least 100% Standard Dry Density Ratio and within 1% of the Standard Optimum Moisture Content and a percentage swell of less than 15% and a max hydraulic conductivity of 5×10^{-9} m/s	200
CONSTRUCTION LAYER	Select granular material with a minimum soaked CBR of 10% compacted to 98% Standard Dry Density Ratio with a mean value of at least 100% Standard Dry Density Ratio and within 1% of the Standard Optimum Moisture Content and a percentage swell of less than 15% and a max hydraulic conductivity of 5×10^{-9} m/s	150
TOTAL PAVEMENT DEPTH		710
SUBGRADE	Natural Silty CLAY tested to confirm an in-situ CBR of at least 2.0% OR approved FILL compacted to at least 100% Standard Dry Density ratio (soaked CBR \geq 3.0%) within 2% of the Standard Optimum Moisture Content	

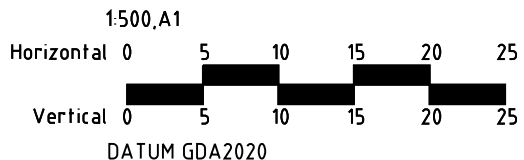
PAVEMENT DETAILS

THE PAVEMENT DESIGNS SHOWN HERE HAVE BEEN DESIGNED/PROVIDED BY STANTEC WHO ARE RESPONSIBLE FOR THE GEOTECHNICAL WORK ON THIS PROJECT. SPIIRE IS NOT RESPONSIBLE FOR THE WORK OF STANTEC.

THE DESIGN HAS BEEN EXTRACTED FROM THE STANTEC REPORT TITLED "GEOTECHNICAL INVESTIGATION FOR PROPOSED RESIDENTIAL SUBDIVISION REDSTONE HILL SUNBURY SOUTH" V180556 REPORT 5.1. THIS DOCUMENT SHOULD BE REVIEWED TO ENSURE THAT THE DESIGN HAS BEEN ACCURATELY REPRODUCED. A COPY OF THE DOCUMENT WILL BE PROVIDED TO YOU ON REQUEST.

SPIIRE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY, ADEQUACY OR APPROPRIATENESS OF THE GEOTECHNICAL WORK AND PAVEMENT DESIGNS. ANY QUERIES IN RESPECT TO THE GEOTECHNICAL WORK AND PAVEMENT DESIGNS SHOULD BE ADDRESSED TO STANTEC AND SENT TO SPIIRE.

1	LOT LAYOUT UPDATED 1052 TO 1078 AND 1061 TO 1081	M.T.S	12/01/24
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire.com.au ABN 55 050 029 635

Designed
R. WEINBER
Authorised
M. TOOMER-SMITH

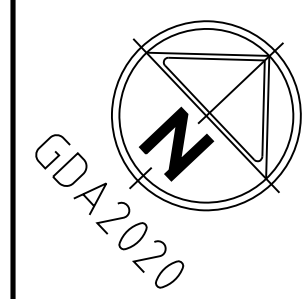
Checked
D CAMERON
Date
20/06/22

**REDSTONE ESTATE
STAGE 10
PAVEMENT DETAILS**

VILLAWOOD PROPERTIES
HUME CITY COUNCIL

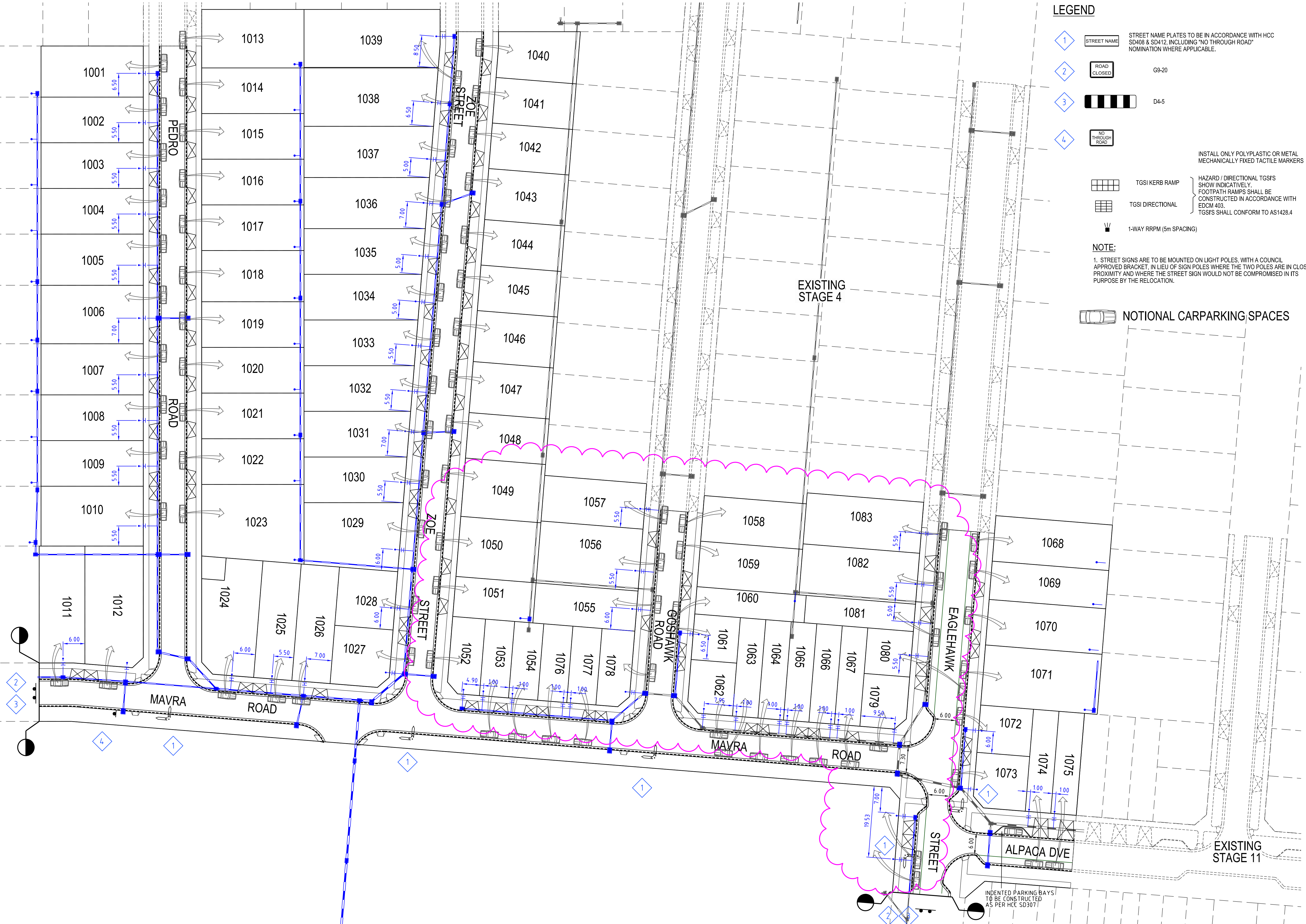
AS CONSTRUCTED Drg No **305921R21**

Rev
1



REDSTONEHILL

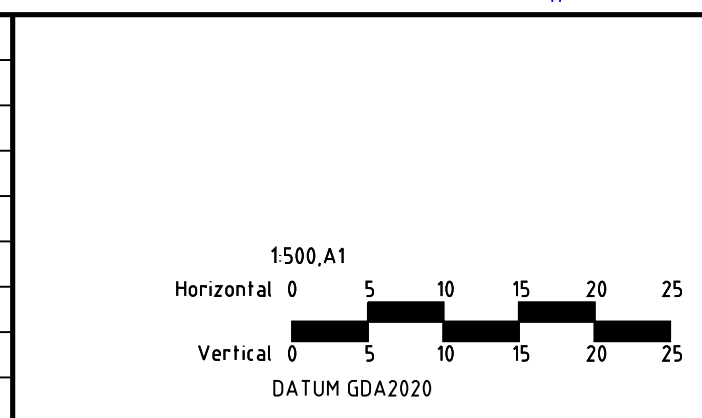
ROAD



LEGEND

- 1 STREET NAME: STREET NAME PLATES TO BE IN ACCORDANCE WITH HCC SD408 & SD412, INCLUDING "NO THROUGH ROAD" NOMINATION WHERE APPLICABLE.
- 2 ROAD CLOSED: G9-20
- 3 D4-5
- 4 NO THROUGH ROAD
- TGSI KERB RAMP: HAZARD / DIRECTIONAL TGSI'S SHOW INDICATIVELY. FOOTPATH RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH EDM 403. TGSI'S SHALL CONFORM TO AS1428.4
- TGSI DIRECTIONAL
- 1-WAY RRPM (5m SPACING)
- NOTE: 1. STREET SIGNS ARE TO BE MOUNTED ON LIGHT POLES, WITH A COUNCIL APPROVED BRACKET, IN LIEU OF SIGN POLES WHERE THE TWO POLES ARE IN CLOSE PROXIMITY AND WHERE THE STREET SIGN WOULD NOT BE COMPROMISED IN ITS PURPOSE BY THE RELOCATION.
- NOTIONAL CARPARKING SPACES

Rev	Amendments	Approved	Date
2	LOT LAYOUT, NOTIONAL CARPARKING & DRAINAGE OFFSETS UPDATED	M.T.S	12/01/25
1	LOT LAYOUT UPDATED, AND NOTIONAL CARPARKING UPDATED	M.T.S	31/10/23
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23

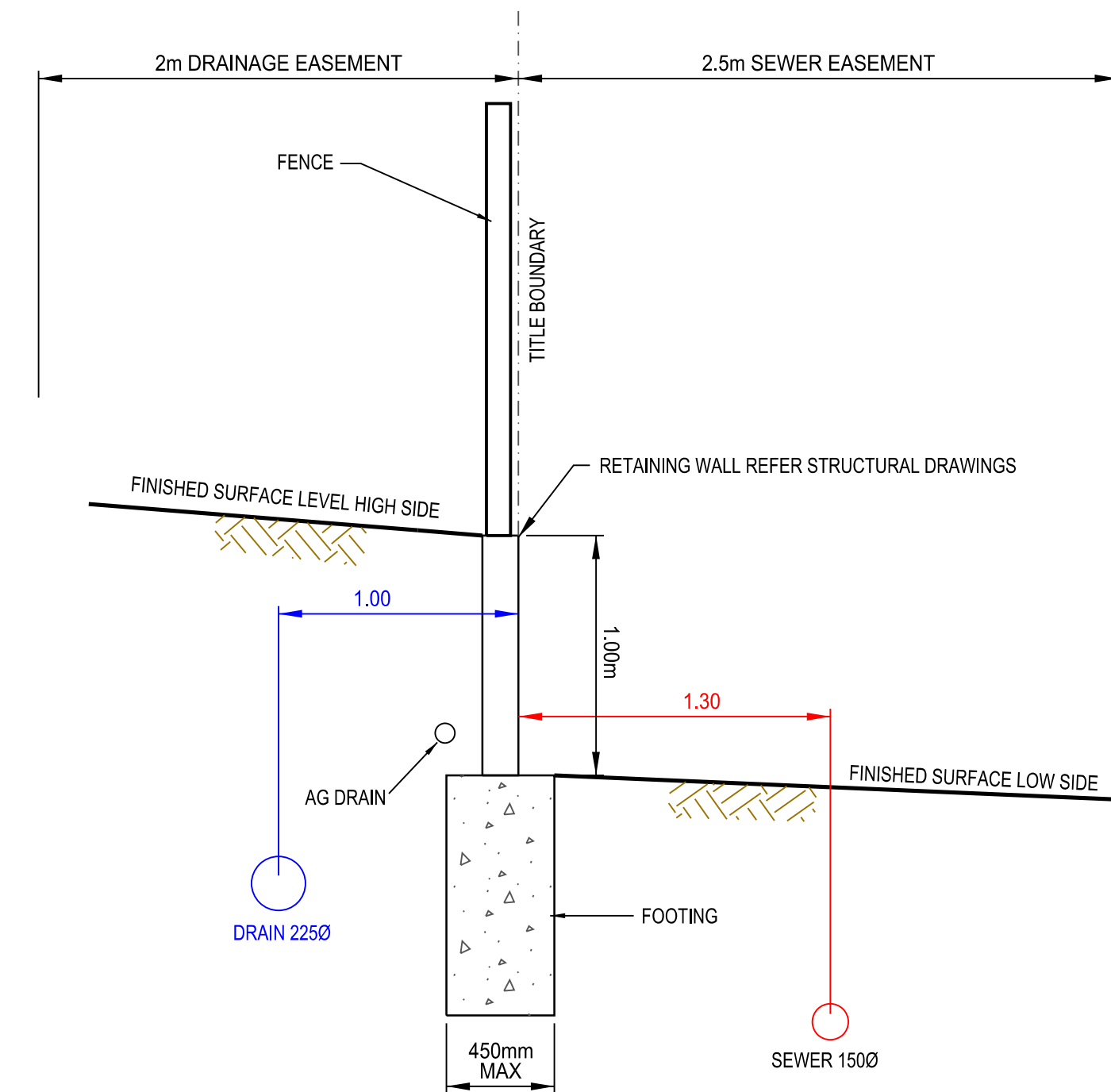
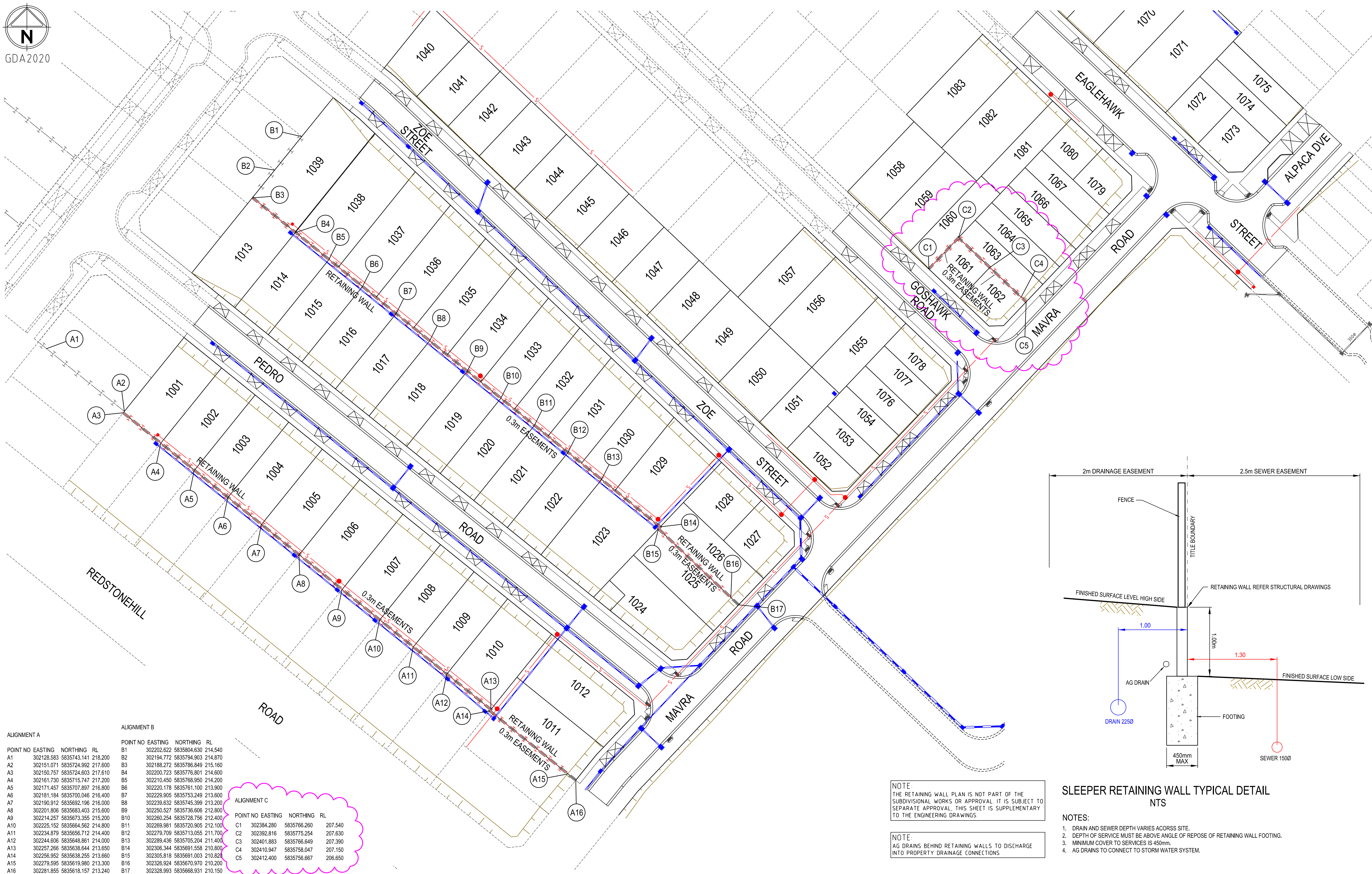
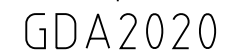


© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire
spiire.com.au ABN 55 050 029 635

villawood properties
Communities Designed for Living
Designed
R. WEINBER
Authorised
M. TOOMER-SMITH
Checked
D CAMERON
Date
20/06/22

Redstone.
Your world awaits
**REDSTONE ESTATE
STAGE 10
SIGNAGE, LINEMARKING & CARPARKING PLAN**
VILLAWOOD PROPERTIES
HUME CITY COUNCIL
AS CONSTRUCTED Drg No 305921R22 Rev 2



NOTE:
THE RETAINING WALL PLAN IS NOT PART OF THE
SUBDIVISIONAL WORKS OR APPROVAL. IT IS SUBJECT TO
SEPARATE APPROVAL. THIS SHEET IS SUPPLEMENTARY
TO THE ENGINEERING DRAWINGS.

NOTE:
AG DRAINS BEHIND RETAINING WALLS TO DISCHARGE
INTO PROPERTY DRAINAGE CONNECTIONS

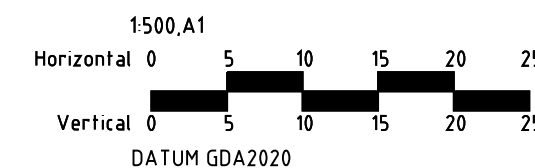
SLEEPER RETAINING WALL TYPICAL DETAIL
NTS

NOTES:

1. DRAIN AND SEWER DEPTH VARIES ACROSS SITE.
2. DEPTH OF SERVICE MUST BE ABOVE ANGLE OF REPOSE OF RETAINING WALL FOOTING.
3. MINIMUM COVER TO SERVICES IS 450mm.
4. AG DRAINS TO CONNECT TO STORM WATER SYSTEM.

ALIGNMENT A				ALIGNMENT B				ALIGNMENT C			
POINT NO	EASTING	NORTHING	RL	POINT NO	EASTING	NORTHING	RL	POINT NO	EASTING	NORTHING	RL
A1	302128.583	5835743.141	218.200	B1	302202.622	5835804.630	214.540	C1	302384.280	5835766.260	207.54
A2	302151.071	5835724.992	217.600	B2	302194.772	5835794.903	214.870	C2	302392.816	5835775.254	207.63
A3	302150.757	5835724.603	217.610	B3	302188.272	5835786.849	215.160	C3	302401.883	5835766.649	207.39
A4	302161.730	5835715.747	217.200	B4	302200.723	5835776.801	214.600	C4	302410.947	5835758.047	207.15
A5	302171.457	5835707.897	216.800	B5	302210.450	5835768.950	214.200	C5	302412.400	5835756.667	206.65
A6	302181.184	5835700.046	216.400	B6	302220.178	5835761.100	213.900				
A7	302190.912	5835692.196	216.000	B7	302229.905	5835753.249	213.600				
A8	302201.806	5835683.403	215.600	B8	302239.632	5835745.399	213.200				
A9	302214.257	5835673.355	215.200	B9	302250.527	5835736.606	212.800				
A10	302225.152	5835664.562	214.800	B10	302260.254	5835728.756	212.400				
A11	302234.878	5835656.712	214.400	B11	302269.981	5835720.905	212.100				
A12	302244.606	5835648.861	214.000	B12	302279.708	5835713.055	211.700				
A13	302257.266	5835636.644	213.650	B13	302289.436	5835705.240	211.400				
A14	302265.952	5835638.255	213.660	B14	302296.344	5835691.558	211.000				
A15	302279.958	5835619.980	213.300	B15	302305.818	5835683.103	210.820				
A16	302281.855	5835618.157	213.240	B16	302326.924	5835670.970	210.200				
				B17	302328.993	5835668.931	201.150				

3	RETAINING WALL C ADDED	M.T.S	29/01/24
2	LOT LAYOUT UPDATED . RETWALL REMOVED REAR LOT 1051 & 1052. RETWALL ADDED REAR LOT 1061 & 1062	M.T.S	12/01/24
1	LOT LAYOUT UPDATED . RETWALL REMOVED REAR LOT 1051 & 1052. RETWALL ADDED REAR LOT 1061 & 1062	M.T.S	31/10/23
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.



spire.com.au ABN 55 050 029 63



Communities Designed for Living

Designed
R. WEINBER

Authorised
M. TOOMER-SMITH

Redstone

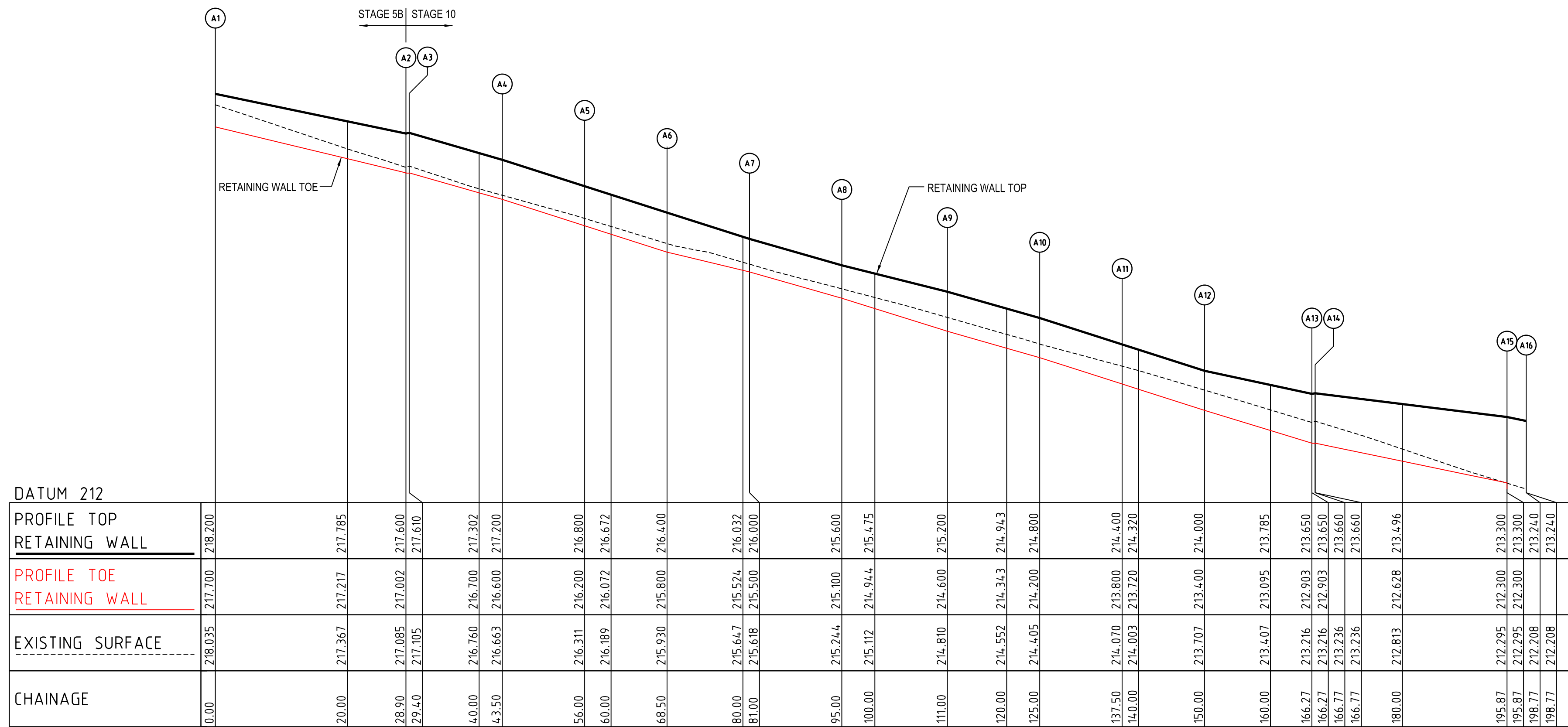
Checked
D CAMERON
Date
20/06/22

REDSTONE ESTATE STAGE 10 RETAINING WALL DETAILS

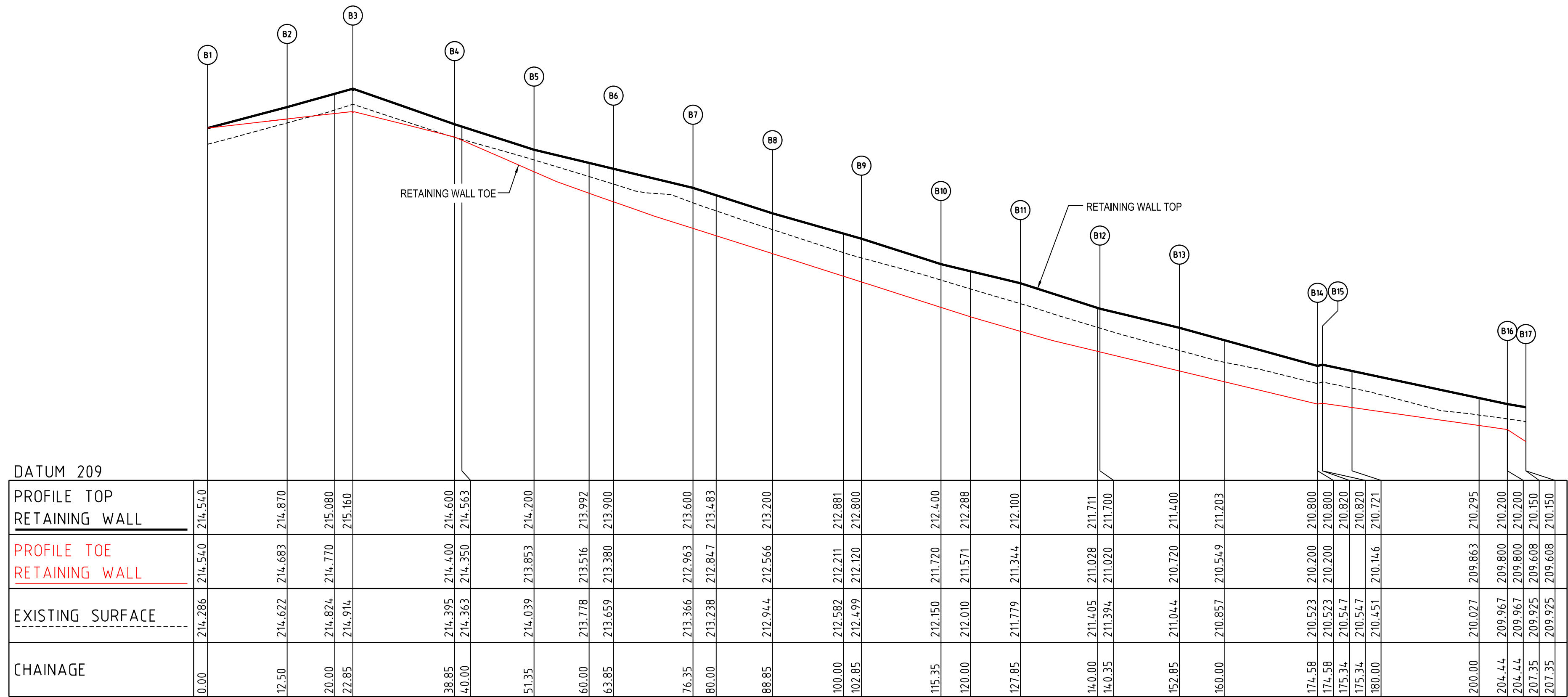
VILLAWOOD PROPERTIES
HUME CITY COUNCIL

AS CONSTRUCTED Drg No **305921R23**

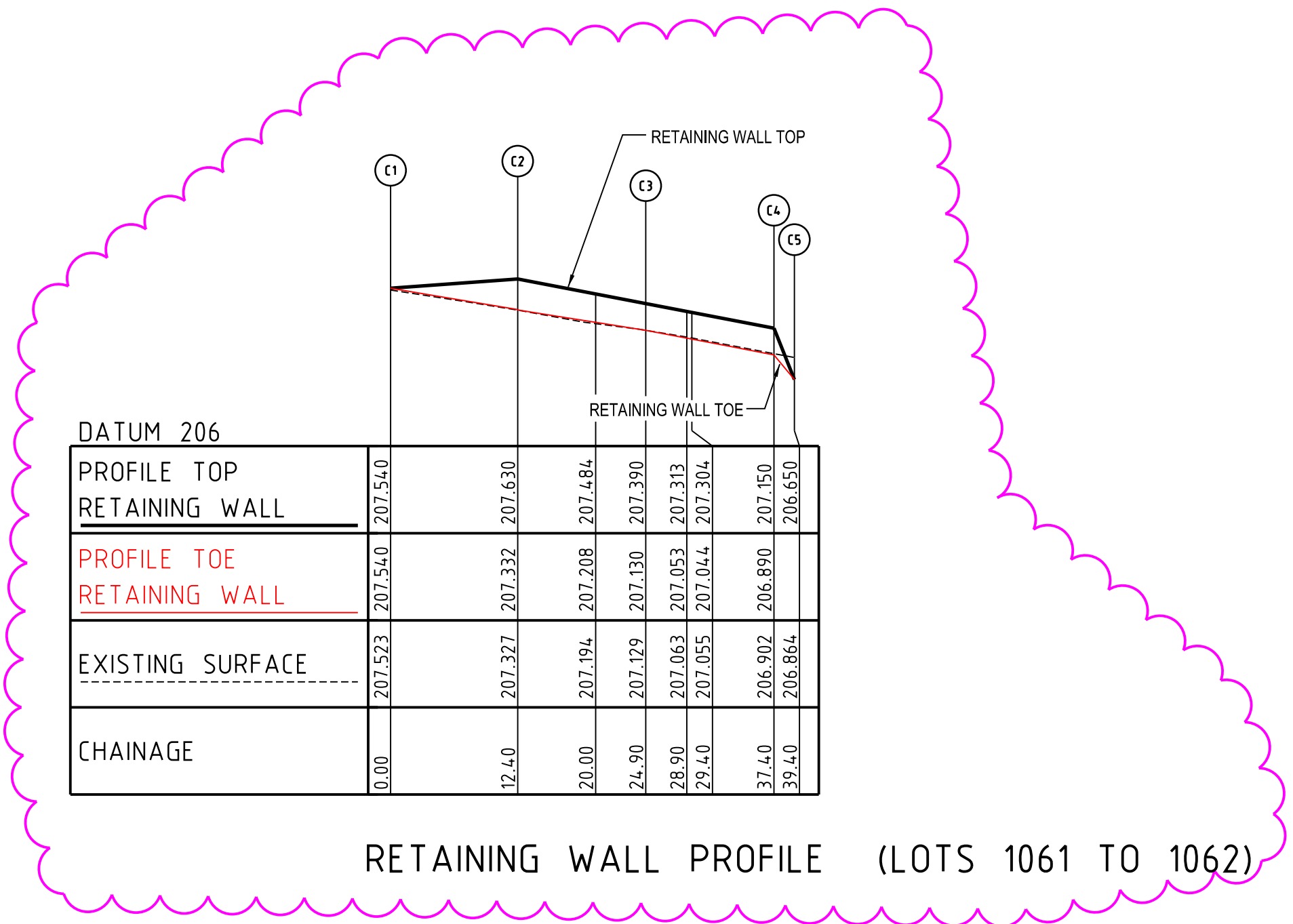
Rev
3



RETAINING WALL PROFILE (LOTS 1001 TO 1011)

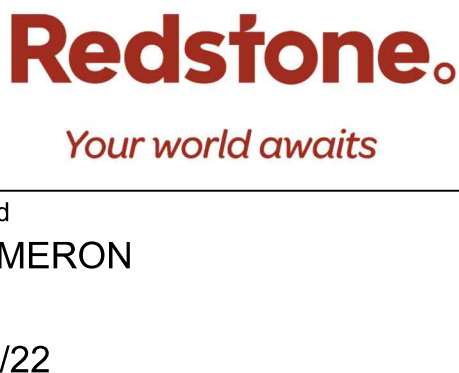
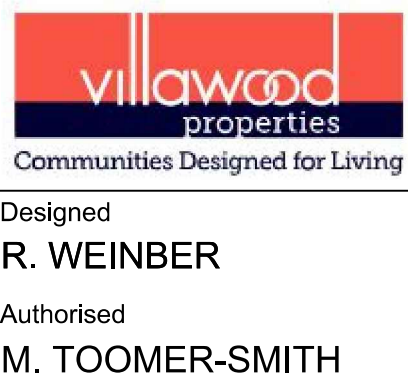
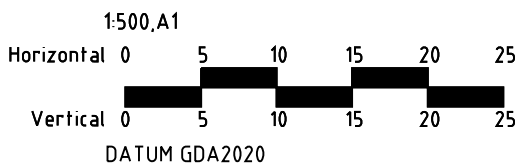


RETAINING WALL PROFILE (LOTS 1013 TO 1025)



RETAINING WALL PROFILE (LOTS 1061 TO 1062)

1	PROFILE C ADDED	M.T.S	29/01/24
0	ISSUE FOR CONSTRUCTION	M.T.S	30/08/23
Rev	Amendments	Approved	Date



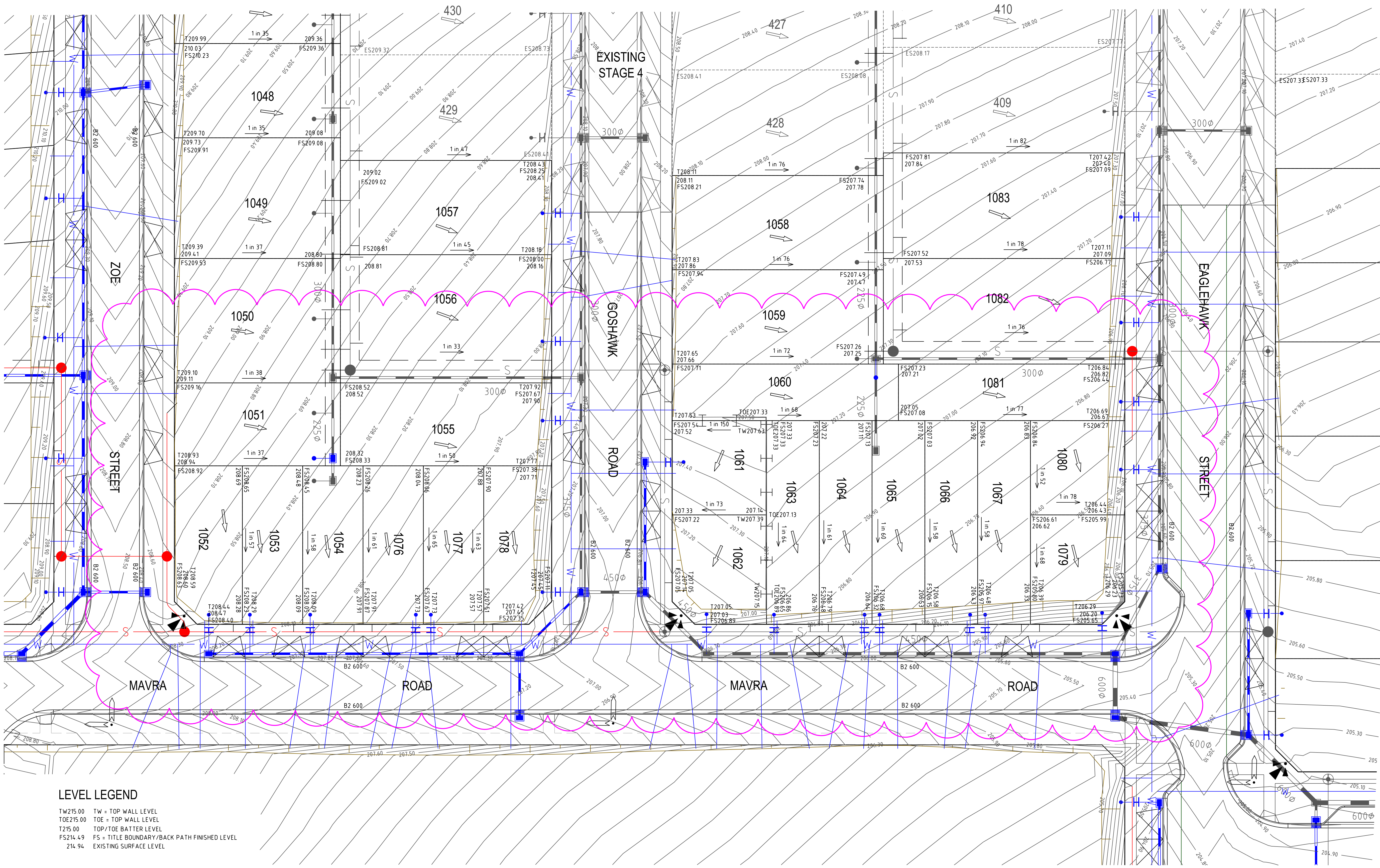
REDSTONE ESTATE
STAGE 10
RETAINING WALL DETAILS

VILLAWOOD PROPERTIES
HUME CITY COUNCIL

AS CONSTRUCTED

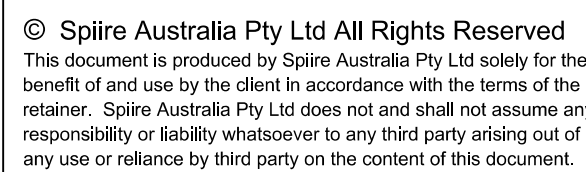
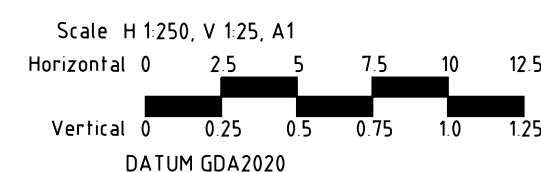
Drg No
305921R24

Rev
1

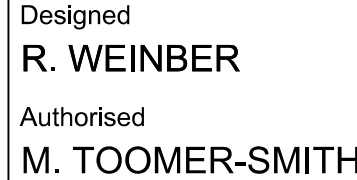


TW215.00 TW = TOP WALL LEVEL
TOE215.00 TOE = TOP WALL LEVEL
T215.00 TOP/TOE BATTER LEVEL
FS214.49 FS = TITLE BOUNDARY/BACK PATH FINISHED LEVEL
214.94 EXISTING SURFACE LEVEL

1	LOT LAYOUT UPDATED 1052 TO 1078 AND 1061 TO 1081	M.T.S	12/01/24
	RETWALL ADDED REAR LOT 1061 & 1062		
0	ISSUE FOR CONSTRUCTION	M.T.S	31/10/23
Rev	Amendments	Approved	Date



spiire.com.au ABN 55 050 029 635



Checked
D. CAMERON
Date
20/06/22

VILLAWOOD PROPERTIES
HUME CITY COUNCIL

AS CONSTRUCTED Drg No **305921R25**

Re
1

