

DESIGN
GUIDELINES
MARCH 2020



Lonicera
woodend



Communities Designed for Living

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1. LONICERA

1.1 *Message from Villawood*

Welcome to Lonicera the newest in a long list of high quality developments by Villawood Properties, delivering a place which residents are proud to call home.

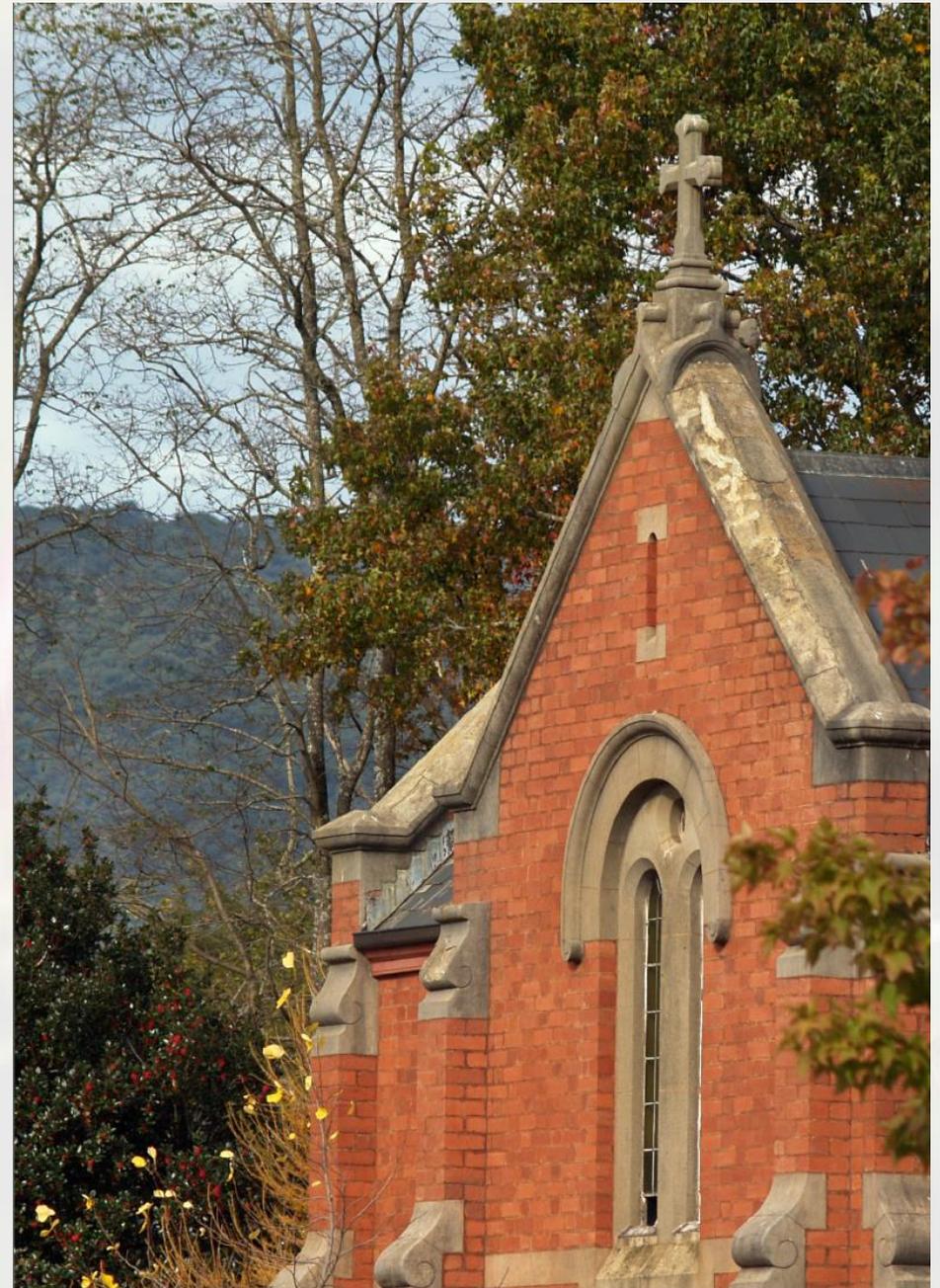
The principal aim of these Design Guidelines is to create a coherent vision for the Lonicera community. Developed to enhance the lifestyle and investment of purchasers, the Guidelines are designed to ensure all homes at Lonicera are built to a high standard whilst encouraging sustainability and variety of housing styles which are in harmony with the township character.

The Guidelines will assist in providing you with peace of mind that your investment will be enhanced in the future. The intention is not to restrict house design but rather promote 'good design' and responsive siting of homes.

Each individual house design should contribute to the surrounding environment and community in a positive way. The Guidelines encourage home owners to construct innovative and appropriate designs that address sustainability issues and present a cohesive residential image for the community.

Lonicera aims to set a bench mark in Woodend for sustainable housing. Following these guidelines will deliver maximum comfort, minimum running costs and a high quality, attractive & sustainable home that is sympathetic to the site, neighbours and surrounding environment.

We hope you'll see the value in these guidelines and we look forward to working with you on your amazing home in Lonicera.



1.2 The Character of Woodend

As part of preparation of these Design Guidelines, the existing character of Woodend has been analysed to gain an understanding of how Lonicera can make a positive contribution to Woodend.

The Woodend township is made up of homes from a range of different periods with a blend of housing styles and architectural forms. No particular housing type can be defined as representing the character of Woodend yet there are some common characteristics that define the township including:

- Mix of housing styles
- Mix of native and exotic vegetation in streets and lots
- Mix of building materials
- Siting of homes on lots ensuring setbacks are maintained.

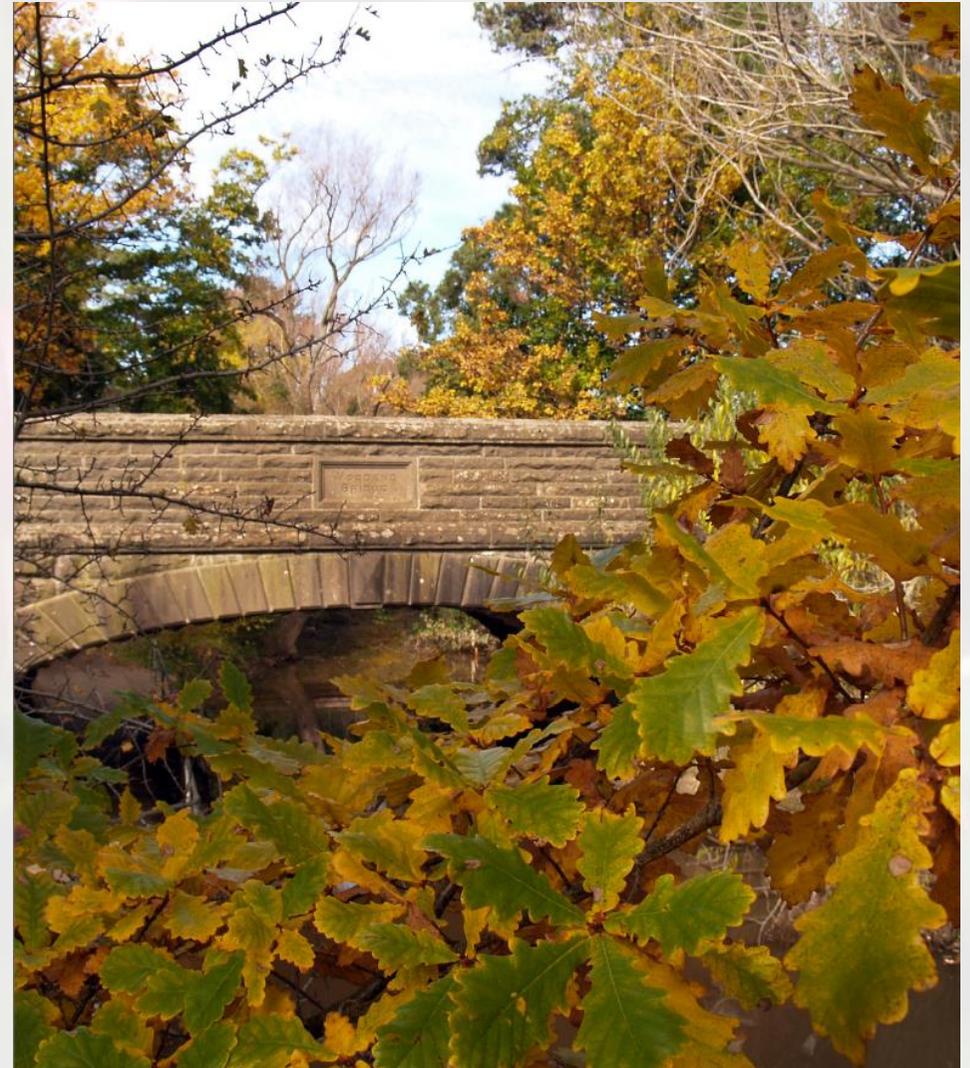
In combination, these basic elements create a distinct 'open township feel' that is unique to Woodend. Retention of this open feel in the siting of homes along with encouragement of diversity in home design with some common features is what is being sought in Lonicera.

Promotion of innovation and diversity in home design will ensure that an integrated outcome is achieved of the highest quality.

These guidelines actively encourage both home buyers and builders to carefully consider the choice of building materials, colours, styles and landscaping to complement the open township feel of Woodend, and the development as a whole.

1.3 Site Layout and Features

Located on the edge of the Woodend township with an interface to the surrounding farming zone, Lonicera's large residential allotments overlooking rural residential streetscapes and large open spaces provide all the modern conveniences of town living in a rural environment.



1.4 Sustainable Housing

All housing is to be environmentally sustainable with low running costs. Homes are to be sited, designed, and constructed to high architectural standards. The design criteria are set out in these development guidelines.

Sustainability can be achieved through a combination of initiatives in the landscape and built environment. As a minimum, each house is mandated to achieve 7.5 star energy rating. It must include a minimum 2.5 kw solar power system and must have a minimum of 5,000 litres of rainwater storage.

2. OPERATION OF THE DESIGN GUIDELINES

2.1 Design Assessment Panel

The Design Assessment Panel (DAP) will be formed to oversee the implementation of the Guidelines. It will comprise an architect and a representative of the developer. The makeup of the panel may be varied. However, the panel will always include at least one architect member.

All proposed building works including houses, garages, outbuildings and fencing shall be approved by the DAP prior to seeking a Building Permit.

Swimming pools and sheds less than 10m² do not require DAP approval.

In considering designs, the DAP may exercise a discretion to waive or relax a requirement. The Guidelines are subject to change by the developer at any time without notice. All decisions regarding these Guidelines are at the discretion of the DAP.

Preliminary designs and enquiries are welcome to ensure compliance with your guidelines and it is recommended that you provide a copy of the Design Guidelines to your builder at the earliest possible time.

2.2 Design Guidelines Elements

These Design Guidelines are not intended to restrict or limit the development of your lot. Rather, they contain a list of design elements that, when incorporated in the design of your new home, will ensure good design that is not only site responsive, but also will reflect the character sought within Lonicera and Woodend.

The key design elements that home builders are encouraged to have include:

- Siting and Orientation
- Architectural Style and Built Form
- Landscaping, Fencing and Tree Protection
- Sustainability

All new buildings must adhere to the requirements of the Design Guidelines to protect the desired character and quality of Lonicera. In developing plans for your new home, the approval process lists the steps required.

Before any construction begins on your site, including your home, outbuildings or other external fittings you must obtain approval of your plans from the DAP.

2.3 Awareness

Homes must be designed that adhere to the Design Guidelines. Preliminary enquiries are welcomed from the DAP at the time of your purchase to ensure your concept designs meet the guidelines.

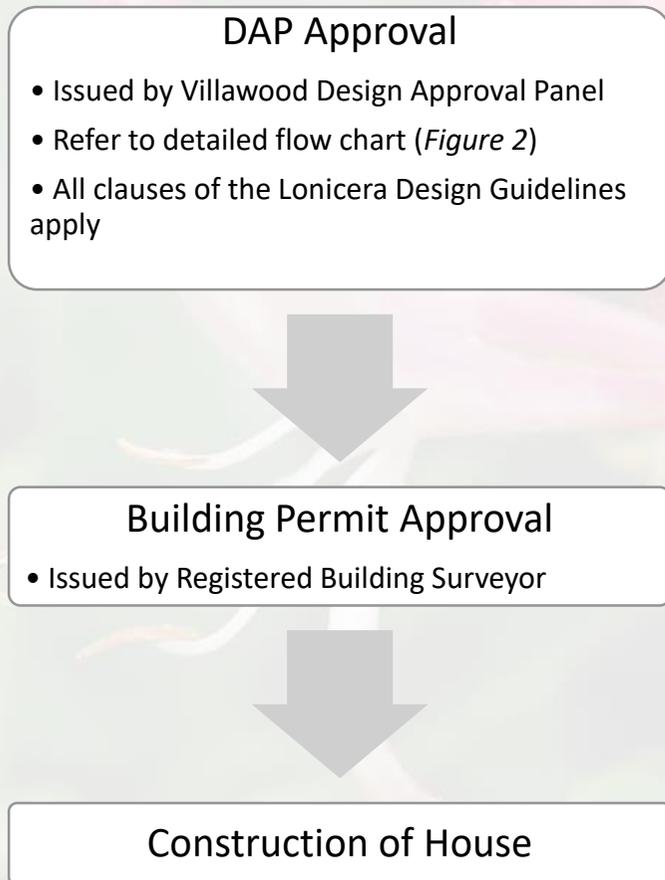
3. APPROVAL PROCESS

3.1 Process for Approval

All documents are to be lodged via the Villawood Properties Builders Portal, this can be accessed by visiting the website www.villawoodproperties.com.au/builder-portal

General enquiries should be directed direct to the DAP via email dap@kosaarchitects.com.au

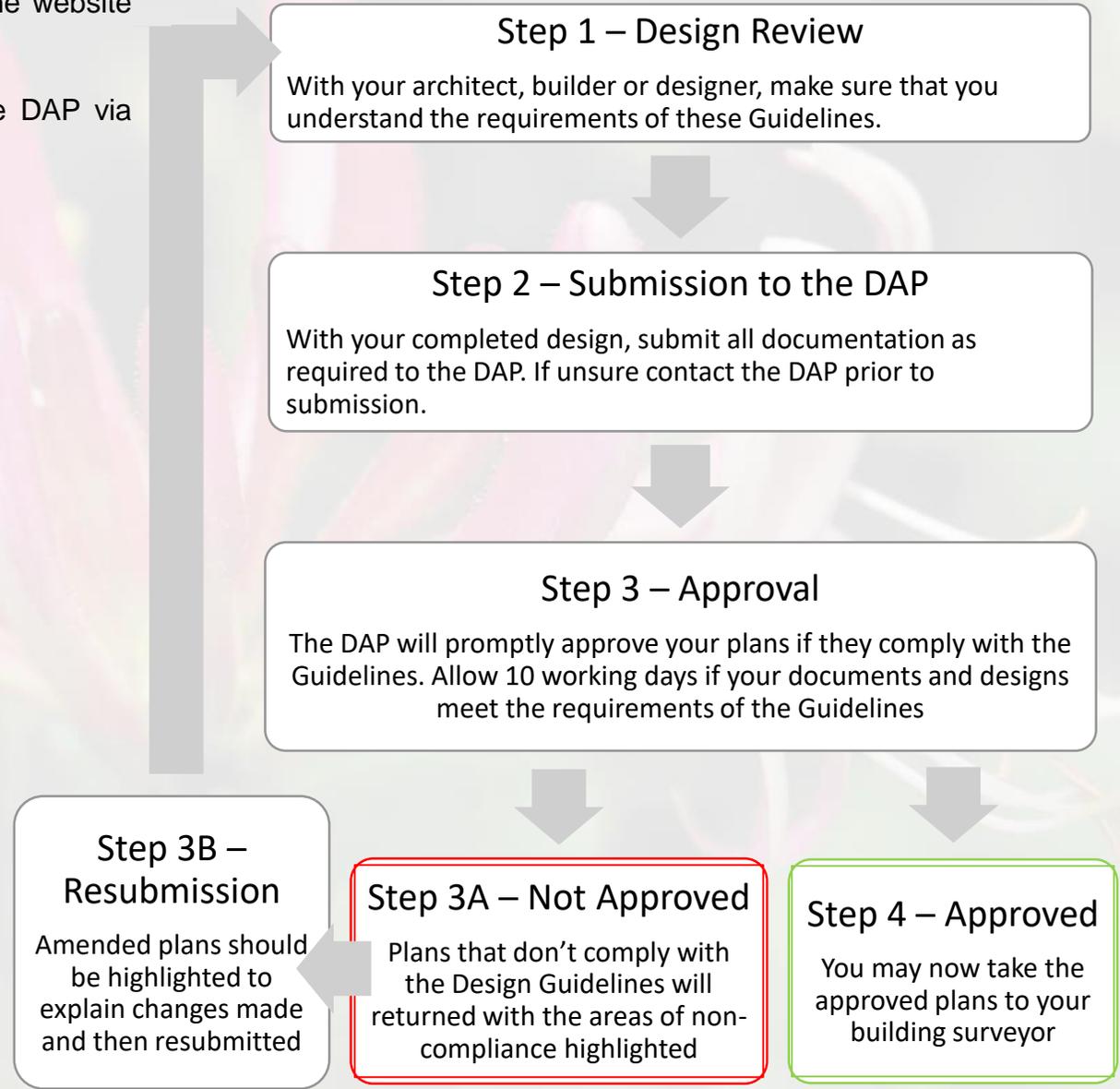
Figure 1. Approval Process



3.2 DAP Process

Figure 2 provides a summary of the DAP process.

Figure 2. DAP Process



3.3 Plan Submission

After reviewing and understanding these Guidelines, including discussing the Guidelines with your Architect, Builder and or building designer, you will need to submit the following to the DAP.

Provide PDF copies in A4 or A3 format to the DAP for approval as follows:

- Site plan (1:200 scale) showing:
 - Setbacks from all boundaries
 - Building Envelopes
 - Existing contours
 - Proposed finished floor levels and site levels
 - External features including driveways, paths, fencing and outbuildings
 - Landscaping for front gardens
- House floor plans (1:100 scale)
- Elevations from four sides (1:100 scale)
- Schedule of external materials and colours.
 - Colour swatches must be provided.
- Completed Check List (refer Section 8 of Guidelines)

Note: do not include internal fit-out details such as kitchens, electrical plans, etc

Submit all information via the Builders Portal on the Villawood website

www.villawoodproperties.com.au/builder-portal

All general enquires to
LONICERA DESIGN ASSESSMENT PANEL
dap@kosaarchitects.com.au
03 9853 3513

3.4 Re-Submission

Plans that do not comply with the Guidelines will be returned with the areas of non-compliance highlighted. Amended plans need to be resubmitted for approval.

Any alterations made to the resubmission other than the initial non-compliance should also be highlighted on the plans or an accompanying letter.

3.5 Approval

The DAP will promptly approve plans that comply with the requirements of these Guidelines. Allow approximately 10 working days for approval.

3.6 Building Permit

After approval from the DAP, you must then obtain a Building Permit from the Council or a Private Building Surveyor.

Design approval from the DAP does not exempt the plans from any building or statutory regulations other than the regulations that are superseded by the approved building envelopes and approved profile diagrams.

Approval must be obtained from the relevant authorities for Building Permits, easements, connections, etc.

Approval by the DAP does not infer compliance under the Building Code of Australia, the building regulations and other applicable planning or Australian Standards.

3.7 Construction

Once a Building Permit has been obtained, construction of your house may begin.

3.8 Construction of Your home

Incomplete building works must not be left for more than 3 months without work being carried out and all building works must be completed within twelve months of their commencement.

4. SITING & ORIENTATION

4.1 Considerations

The siting of your home will be integral in developing the neighbourhood theme within the community. Consideration must be given to:

- Ensuring best visual presentation from the street.
- Maximising the benefits of solar access.
- Promoting energy efficiency.
- Maximising potential views of each lot owner.
- Minimising overlooking & over shadowing.
- Respecting the privacy and amenity of neighbours. This includes excavations adjacent or on the side boundary.

4.2 House Orientation

Houses must face the main street frontage and present an identifiable entrance to the street. The front door may face some side street frontages, this should be verified with the DAP. Lots 2, 3, 10 & 11 are exempt from this requirement due to the driveway street frontage.

Houses are to be orientated north (where practicable) so that habitable rooms and private open spaces face northwards to receive maximum passive solar efficiency.

4.3 Private Open Space

A dwelling must have a private outdoor open space consisting of an area of 80 square metres or 20 per cent of the area of the lot, whichever is the lesser, but not less than 40 square metres. At least one part of the private open space should consist of secluded private open space with a minimum area of 25 square metres and a minimum dimension of 5 metres at the side or rear of the dwelling with convenient access from a living room.



The private open space should be located on the north side of the dwelling, if practicable. The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.

4.4 Dwelling Articulation

To ensure that dwellings constructed within the community are designed to a high-quality contemporary standard, they should be designed so that front and secondary street frontage facades are well articulated. Broad flat surfaces extending greater than 6 metres shall not be permitted.

Articulation can be achieved through a variety of ways and must incorporate at least one of the following features:

- Use of different materials and textures
- Variable wall setbacks to the front and side street boundaries
- Introduction of verandahs, porticos and pergolas
- Feature gable roof
- Continuation of window style

4.5 Siting and Setbacks

The construction of buildings or associated buildings, including garages and carports, must meet all Victorian Planning Scheme and Victorian Building Regulations.



Acceptable Articulation



No Articulation

Setbacks

Setback for houses and garages must comply with the Macedon Ranges Planning Scheme - Woodend Garden Setting Precinct requirements.

- Front setbacks (from boundary with a street): Minimum 6 metres.
- Side and Rear Boundaries: Minimum 2 metres plus 0.3 metres for every metre of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of building height over 6.9 metres.
- Walls on boundaries: No walls on boundaries are permitted unless the building is a carport or garage set back from the front boundary by at least 6.5 metres. The carport or garage must be setback at least 0.5 metres from the main building line.

4.6 Building Height

In line with the building regulations, the maximum building height is 9 metres above the natural surface level of the ground directly below it. A maximum rise of 2 storeys is permitted.

For the purpose of the Guidelines, a maximum wall height of 7.2 metres is permitted above natural ground level. Natural ground/surface level is defined as the ground level after engineering works associated with the subdivision have been completed.

4.7 Site Coverage

In line with the building regulations, buildings must not occupy more than 60 per cent of the lot.

In calculating site coverage, eaves, fascia and gutters not exceeding 600 mm in total width, and unroofed swimming pools, terraces, patios, decks and pergolas should be disregarded. Roofed areas of carports, sheds, terraces, patios, decks and pergolas are to be included in overall calculations.

Please be aware of the building regulations with regards to timber framed structures such as pergolas, verandahs and decks. Refer VBA's Minimum setback for decks information sheet www.vba.vic.gov.au/_data/assets/pdf_file/0011/102899/Minimum-setback-for-decks.pdf

4.8 Land Use

One dwelling only is permitted per allotment (which expressions shall include display home, house, apartment, unit or flat). Dual occupancy and further subdivision is not allowed.

5. BUILT FORM

5.1 Architectural Style

At Lonicera, high standards of house design will be required, and a variety of styles are encouraged. Designs should be responsive to the individual attributes of the lot.

The architectural style of your home should be contemporary and use a mixture of materials to reflect Woodend's character.

Front Facades

Designs that break the front facade of the dwelling into distinct visual elements are supported. Houses which have a long, uninterrupted expanse of wall should be avoided. This could be achieved through the use of eaves, use of contrasting materials in conjunction with articulation of the roof form.



The use of recycled materials, such as recycled timber is permitted. In addition, use of the following materials are encouraged:

- Timber cladding/weatherboard
- Colorbond/steel elements
- Stacked stone
- Brick in select locations
- Glass articulation
- Natural materials that will enhance the design of the dwelling

The use of a combination of these materials is encouraged and tones should be kept muted to blend with the existing landscape setting of Lonicera.

External Walls

Features which may detract from the appearance of the house from the street, including the use of uninterrupted expanses of heavy materials such as brick, small windows, obscure glass, window security shields and roller shutters are therefore discouraged.

Roof Form

The style and material of your roof greatly contributes to the quality of your home and character of the streetscape.

The guidelines encourage:

- Articulation in the roof form through pitches and eaves to ensure your home contributes to the contemporary style within Lonicera.
- Corrugated steel in muted, natural tones.
- When considering the colour of your roof, it is important to also consider the materials you wish to use on the facade of the house. A combination of timber cladding (weatherboard), cement rendered bricks, stacked stone, stucco and natural finishes are all materials that work well with corrugated iron and will contribute to the open township character sought within Lonicera.



- Downpipes and gutters should match the colour of the house.
- The use of galvanised iron is not permitted.

Garages

It is important to ensure that siting of the garage on your property does not dominate the streetscape or the facade of your home. It must therefore be a secondary element to the building mass so that the focus remains on the design of your home and your front garden. The material you choose for your garage will greatly impact on the facade.

The Guidelines encourage:

- Garages to be set back a minimum of 0.5m from the front facade of the dwelling.
- Garages are constructed of light-weight materials that minimise the visual bulk of the garage.
- If you choose to use roller or panelled garage doors, these should be in line with the finish and colour of your home.
- Carports are also an accepted as an alternative to a garage, in keeping with Woodend characteristics but must be sympathetic to the house design.

Verandahs & Eaves

Verandahs and eaves provide two important attributes to a home. Firstly, they provide a source of shade and protection to walls and windows, particularly important during the hot summer months. Secondly, they enhance the appearance of the built form and contribute to the activation of your front yard within the streetscape. The guidelines encourage:

- Verandah encroachment into the front setback of the home.
- For corner lots, verandahs which wrap around both street frontages.
- A minimum verandah depth of 1.2m.

Two Storey Dwellings

Macedon Ranges Woodend Garden Precinct encourages homes of a single storey scale.

If considering a two storey dwelling careful consideration is required to ensure that two-storey houses are designed and sited correctly to minimise overlooking and overshadowing. It is recommended that initial concepts for two-storey houses be discussed with the DAP.

5.2 Dwelling Size

All dwellings must have a minimum floor area of not less than 140 square meters and be presented to the street to ensure that the home creates a full streetscape and contributes to the overall context of the area and allows ample room for landscaping. Such area being calculated by excluding the area of carports, garages, terraces, pergolas and verandahs.

5.3 Corner Allotments

The home design must address both the primary and secondary street frontages and be of a consistent architectural design.

Design elements (such as verandahs, detailing, feature windows & materials) used on the primary frontage must continue on that part of the secondary frontage that is visible from the public realm.

5.4 Overshadowing

All relevant sections of the building regulations must be met with regards to overshadowing.

5.5 Privacy and Overlooking

All relevant sections of the building regulations must be met with regards to privacy and overlooking.

6. EXTERNAL CONSIDERATIONS

6.1 Access and Driveways

Driveways are a major visual element at Lonicera and should be constructed using materials that blend with or complement the dwelling textures and colours. Only one driveway will be permitted for each lot. The crossover between the kerb and the footpath will be constructed by the developer to a width of 3m. If a land owner requires a relocation or widening of the existing crossover, they must make application seeking approval from council.

Driveways must be constructed of concrete, brick and/or concrete pavers, coloured concrete, saw-cut coloured concrete, or concrete with exposed aggregate.

Garden paths linking the street to your front door are encouraged.

Macedon Ranges Shire Council dictates that the driveways for Lots 2,3, 10 & 11 must have a 3m wide sealed driveway with a 1.5m wide landscaping area either side of the of the driveway along the shaft.

All driveways must be completed prior to occupation of the residence.

6.2 Fences

To enhance the open township feel of the estate, the use of front fences is discouraged.

If a front fence is proposed, Macedon Ranges Shire Council dictates that it must be no higher than 1.2 metres and constructed from post and wire, post and rail or post and mesh.

Colorbond fences are not permitted.

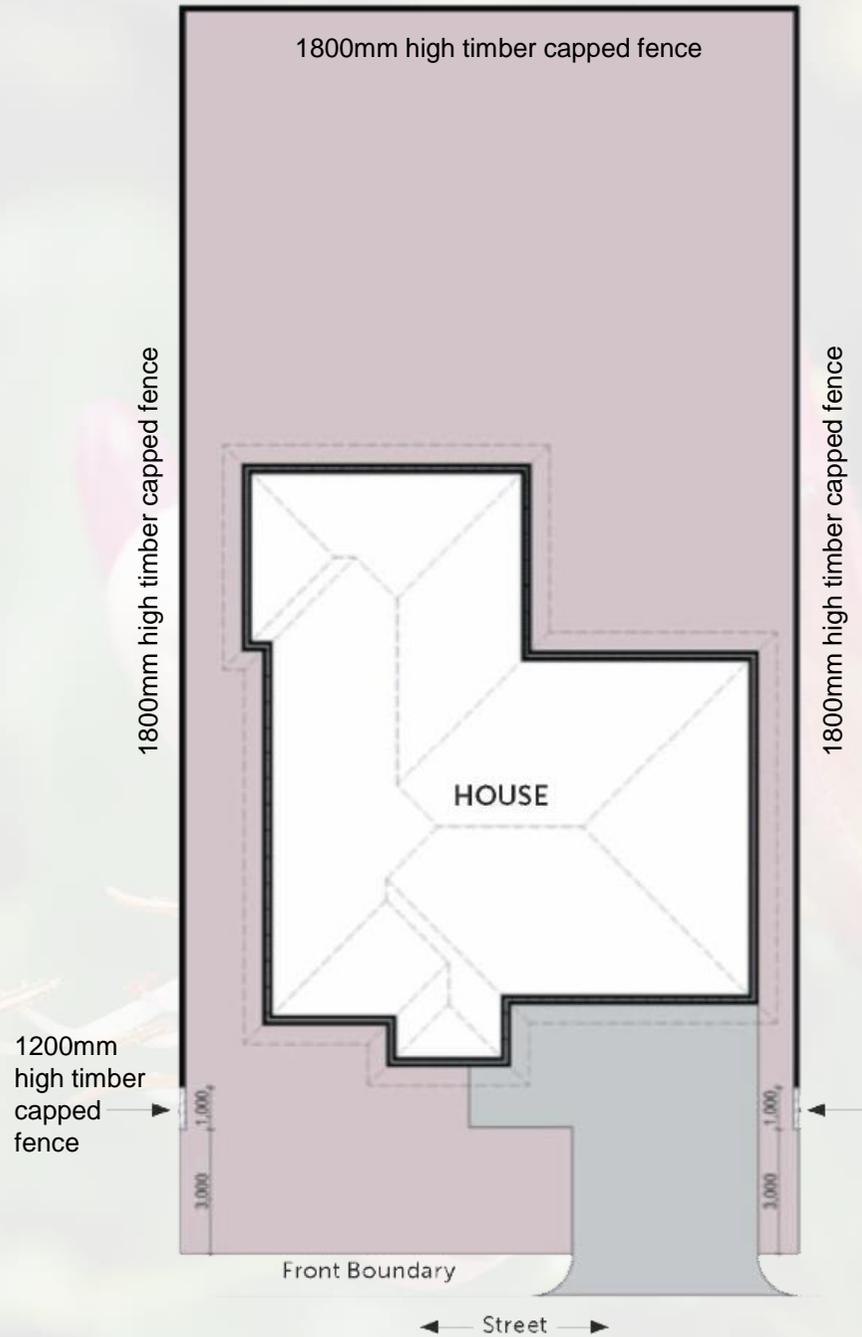
On side boundaries, fencing must commence 3.0m from the front title at a height of 1.2m raking up to 1.8m at 4.0m from the front title. Boundary fences must be a timber capped style. *Refer Diagram 1 and 3.*

In line with Planning Permit PLN/2017/462 the fences on corner allotment No. 7 unless with the prior written consent of the Macedon Ranges Shire Council must only be fenced with a fence no higher than 1.2 metres and constructed from post and wire, post and rail or post and mesh. *Refer to Diagram 2.*

The fencing along the shared Driveways for lots 2 and 3 and lots 10 and 11, must include a shared boundary fence with a visual permeability of at least 50%. Unless with the prior written consent of the Macedon Ranges Shire Council this shared boundary fence must be constructed as shown on the endorsed landscape plans referred to in Planning Permit PLN/2017/462.

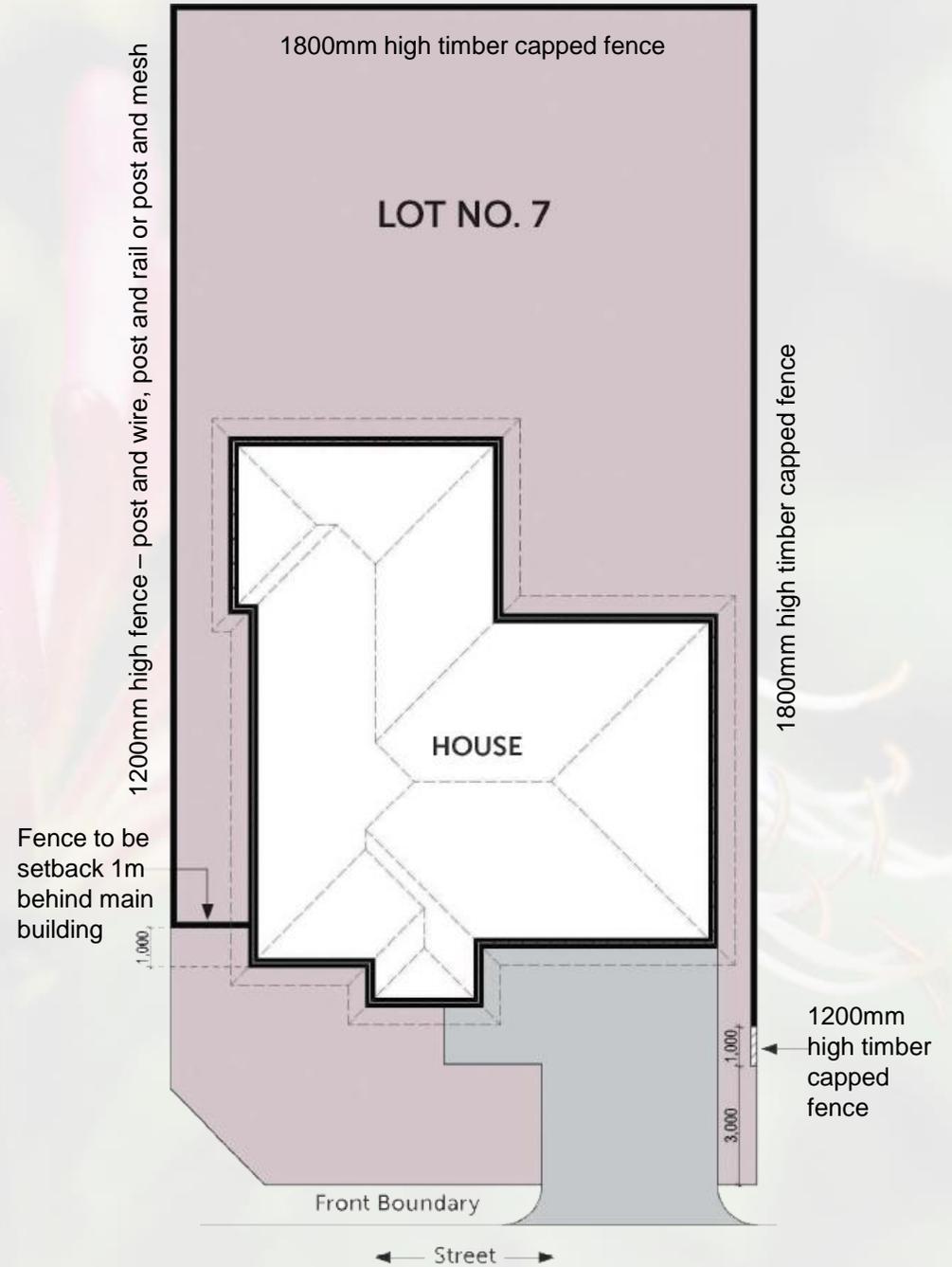


Diagram 1



Depiction of typical boundary fencing location

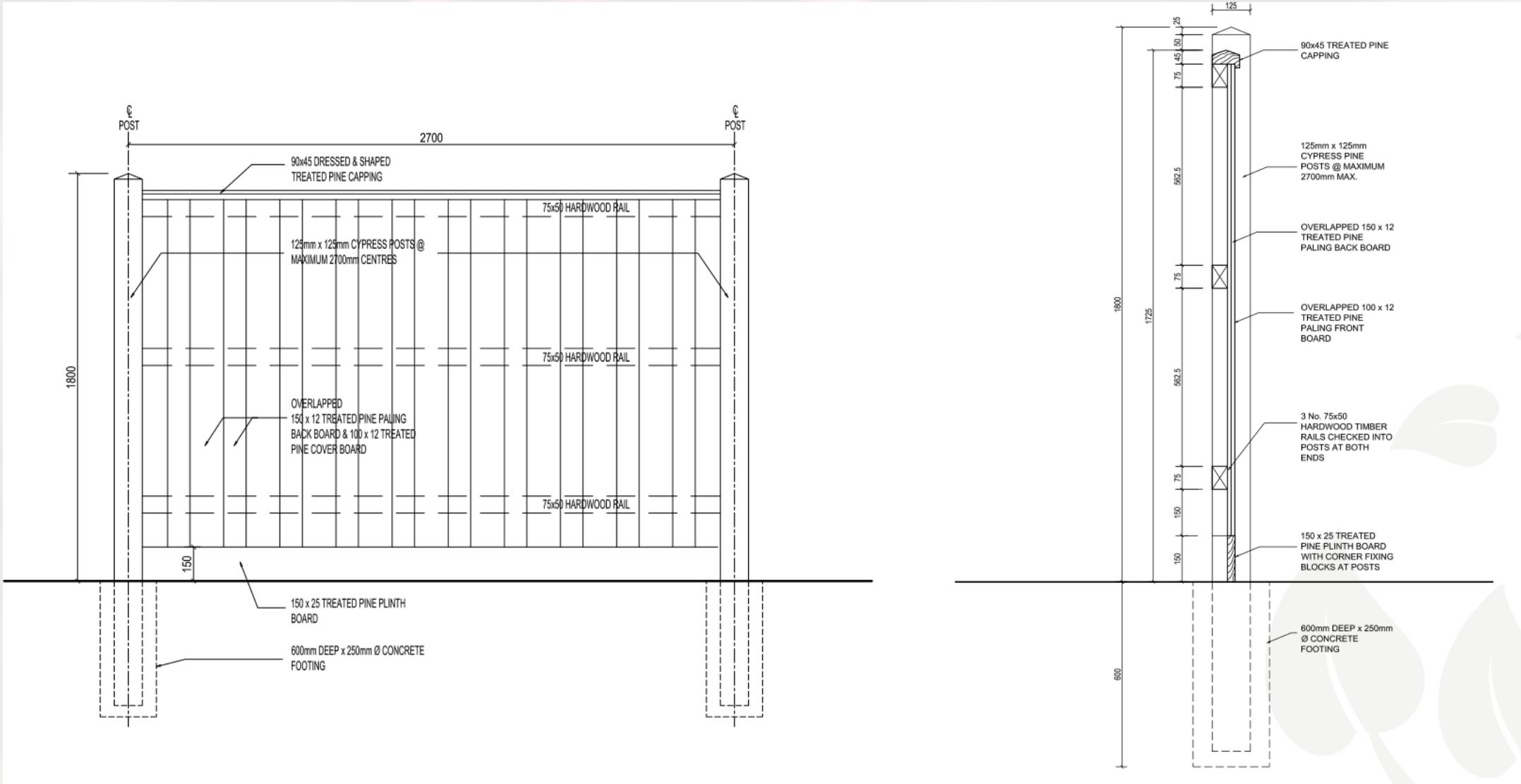
Diagram 2



Depiction of corner lot fencing

Timber Capped Fence

Diagram 3



6.3 Letterboxes

Letterboxes should be designed to match the house using similar materials and colours and must be erected prior to occupancy permit.

The size and position of the letterbox must comply with Australia Post requirements. The street number must be clearly identifiable, suitably sized and located and must not interfere with the overall streetscape.



Acceptable



Not acceptable

7. LANDSCAPING

Woodend is characterised by large established trees, both exotic and native in private lots and public spaces. It is this element that gives the township a green and 'wooded' character. Early introduction of landscaping in front setback areas can greatly assist in softening the impact of construction of new houses.

Landscaping plans have been approved for the road reserves on Old Lancefield Road and Honeysuckle Lane and the driveway shafts for lots 2,3,10 & 11.

7.1 Design Details

Macedon Ranges Shire Council dictates that a minimum of one canopy tree be provided within the front setback and one canopy tree in the rear yard of each allotment.

These canopy trees must be planted within 6 months of occupation of the dwelling and maintained to the satisfaction of the Council.

The landscaping of your front garden should have regard to the introduction of drought tolerant native landscaping, although use of exotic trees as feature trees is encouraged.

No tree or shrub with a mature height greater than 3 metres should be planted closer than 2 metres to the house. Purchasers should make their own enquiries with the Macedon Ranges Shire Council and obtain a list of allowable vegetation.

The extent of impermeable areas should be minimised. Permeability of the site is to be a minimum of 30% of the lot area.

The Driveways for lots 2,3 10 & 11 must have a 3m wide sealed driveway with a 1.5m wide landscaping area either side of the of the driveway along the shaft. This landscape planting must be in accordance with the endorsed landscape plans referred to in Planning Permit PLN/2017/462 and maintain at all times. It must be replaced with the same species as seen on the landscape plan as agreed by Council if necessary and to the satisfaction of Council. Refer Appendix 1.

Street trees are not to be moved or removed without the approval of the responsible authority.



Examples of acceptable landscaping treatments

8. SUSTAINABILITY

Lonicera aims to set a bench mark in Woodend for sustainable housing. Buyers are encouraged to engage ecologically sustainable designers, architects, builders and energy specialists to help design homes that are energy efficient, maximise sustainable design and provide high standards of liveability.

8.1 Key Requirements

The key sustainability requirements are:

- All houses must have a minimum 7.5 star energy rating in accordance with the Nationwide House Energy Rating Scheme (NatHERS). Heating and cooling accounts for the majority of the household energy use. The NatHERS rating ranges from 0-10 stars, this measures the thermal performance of residential buildings in Australia.
- A 2.5kW (minimum) photovoltaic system (grid connected) is mandatory for each dwelling. Installation to be by an accredited installer.
- All houses must be connected to rainwater collection tanks (minimum capacity 5,000 litres per dwelling). Tanks must be plumbed to re-use rainwater through the house, toilet, laundry and the outdoor area.
- Tanks must be fitted with an appropriately sized first flush diverter. Diverters are to be sized based on the diversion of 0.5 L per m² of roof area that is directed into the tank.
- All dwellings must incorporate energy and water efficient appliances and fittings. A minimum WELS rating of 4 is required for all plumbing outlets other than shower heads, showerheads require a minimum WELS rating of 3. Light fittings must be either LEDs, compact fluorescents or T5 fluorescents.

8.2 Important Design Considerations

'Passive design' is design that takes advantage of the climate to maintain a comfortable temperature range in the home. It is a fundamental principle behind sustainable housing and helps to reduce or eliminate the need for auxiliary heating or cooling.

Factors affecting Passive design include:

- Designing for Climate
- Siting
- Orientation
- Glazing Location and type
- Shading of Windows
- Natural Ventilation
- Zoning of spaces
- Draft Proofing
- Thermal Insulation
- Thermal Mass
- Lighting Type
- Efficient services and appliances
- Water Efficiency
- Renewable and recycled materials
- Plantation Timbers
- Toxicity
- Indoor air quality

8.3 High Performance Homes

Have you considered going gas free? At Lonicera along with building sustainable homes we are encouraging our purchasers to build high performance all electric homes. Through the use of heat pump heating, cooling and hot water systems, and high performance induction cooktops, you have the potential for zero annual energy costs, saving not only money but also carbon emissions.

All purchasers at Lonicera will receive a copy of The Energy Freedom Home by **Richard Keech**. This book will aid purchasers with a step by step guide to an Energy-Free Home.

Richard is an engineer, consultant and author with particular interest in renewable energy and energy efficiency. He has masters degrees in both Engineering (Electronics) and Environment (Energy Efficiency). He was a key author of the Zero Carbon Australia Buildings Plan and a regular contributor to the ATA's publications on topics related to energy efficiency. Richard lives in Melbourne with his family in their zero-carbon home.

Richard provides an energy advice service that includes review of plans, advice on choosing appliances, heating/cooling and thermal energy checking of your final home. To assist all purchasers in creating high performance homes Villawood Properties will provide Richards services at our cost*. For more information refer to appendix 2.

* To an agreed value of \$1200.00

Villawood also have an Energy-performance decision-support tool available to assist purchasers in obtaining realistic estimates of net energy running costs for builds with different home characteristics (size, star rating, PV, occupancy etc). For more information contact andrea@villawoodproperties.com.

8.4 Further Information

The NatHERS provides homes with a star rating out of ten based on an estimate of a home's potential (heating and cooling) energy use. For more information visit www.nathers.gov.au.

Detailed guidelines on passive design, energy efficiency and sustainability can be found in "Your Home Technical Manual" published by the Department of Climate Change and Energy Efficiency, and downloadable from <http://www.yourhome.gov.au/technical>. This guide is available in hard copy from the Alternative Technology Association.

There are services that can be provide assistance in choosing sustainable materials for a home such as ecospecifier www.ecospecifier.com.au.

Recommended Architects with proven records in the field of Sustainable design include:

- Adam Dettrick Architects www.adamdettrickarchitect.com.au
- Beaumont Building Design Studio www.beaumontconcpets.com.au
- Design Habitat www.designhabitat.com.au
- Workshop Architects www.workshoparch.com.au
- dKO Architecture www.dko.com.au

9. GENERAL

9.1 External Fixtures

External fixtures must achieve the following objectives and the location must be noted on plans to be submitted to the DAP:

Clothes-lines, Garden Sheds, External Hot Water Services and Ducted Heating Units must not be visible from the street.

Solar Water Heaters are permitted and, where possible, are to be located out of view from the street frontage. The solar panels shall be located on the roof, not on a separate frame.

Evaporative air-conditioners must be positioned so that they are not visible from the main frontage of the dwelling. They must be painted to match the colour of the roof, be low profile units and installed as low as possible below the roof ridgeline towards the rear of the house. Wall mounted air-conditioners must be located below the eaves line, screened from public view and suitably baffled to reduce noise.



Low profile & positioned at rear - Acceptable



Standard unit in clear view of street – Not acceptable

Television Antennae should be screened from public view where ever possible.

Satellite Dishes will only be approved if located below the roofline of the house and must be screened from public view.

Rainwater Tanks must be not visible from the street frontage. No external Plumbing to a dwelling shall be visible from a street or dwelling. All plumbing on double-storey houses, except downpipes, must be internal so as not to be visible from the street or neighbouring properties.

External lighting including spotlights, flood lights and any lights illuminating any outdoor area are to be approved by the DAP and the use of LED or solar lighting is encouraged.

Rubbish Bins & Recycling Bins must be stored out of view from the street.

Sheds should be restricted in size and must be in harmony with the other buildings. Sheds are to have a maximum height of 4.0 metres and a maximum floor area of 60 square metres. It is the responsibility of the purchaser to ensure that the requirements relating to location, size and height for all outbuildings adhere to governing authority requirements.

Sheds built using colorbond material are to be erected with a muted/earthy tone to match the dwelling.

Internal window furnishings which can be viewed by the public must be fitted within three months of occupancy. Sheets, blankets or similar materials for which window furnishing is not their primary use will not be permitted.

9.2 Construction Management

During the construction period, the builder must install a temporary fence and ensure that rubbish and building waste is contained within the building site.

Damage to nature strips, street trees and existing landscaping caused during the construction period is solely the responsibility of the landowner and their builder.

10. NOTES AND DEFINITIONS

10.1 Notes on Restrictions

- Ground level after engineering works associated with the subdivision is to be regarded as natural ground level.
- Buildings must not cover registered easements.

10.2 General Definitions

If not defined above, the words below shall have the meaning attributed to them in the document identified: In the Building Act 1993:

- Building
- Lot

10.3 Additional Definitions

Front street or Main Street Frontage

Front Street means the street or road that forms the frontage to the lot concerned. Where there is more than one road which adjoins a lot or where it may be otherwise unclear, the Front Street will be as agreed in writing by the DAP.

Side boundary

A boundary of a lot that runs between and connects the street frontage of the lot to the rear boundary of the lot.

Street

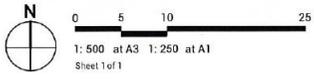
For the purposes of determining street setbacks, street means any road other than a lane, footway, alley or right of way.

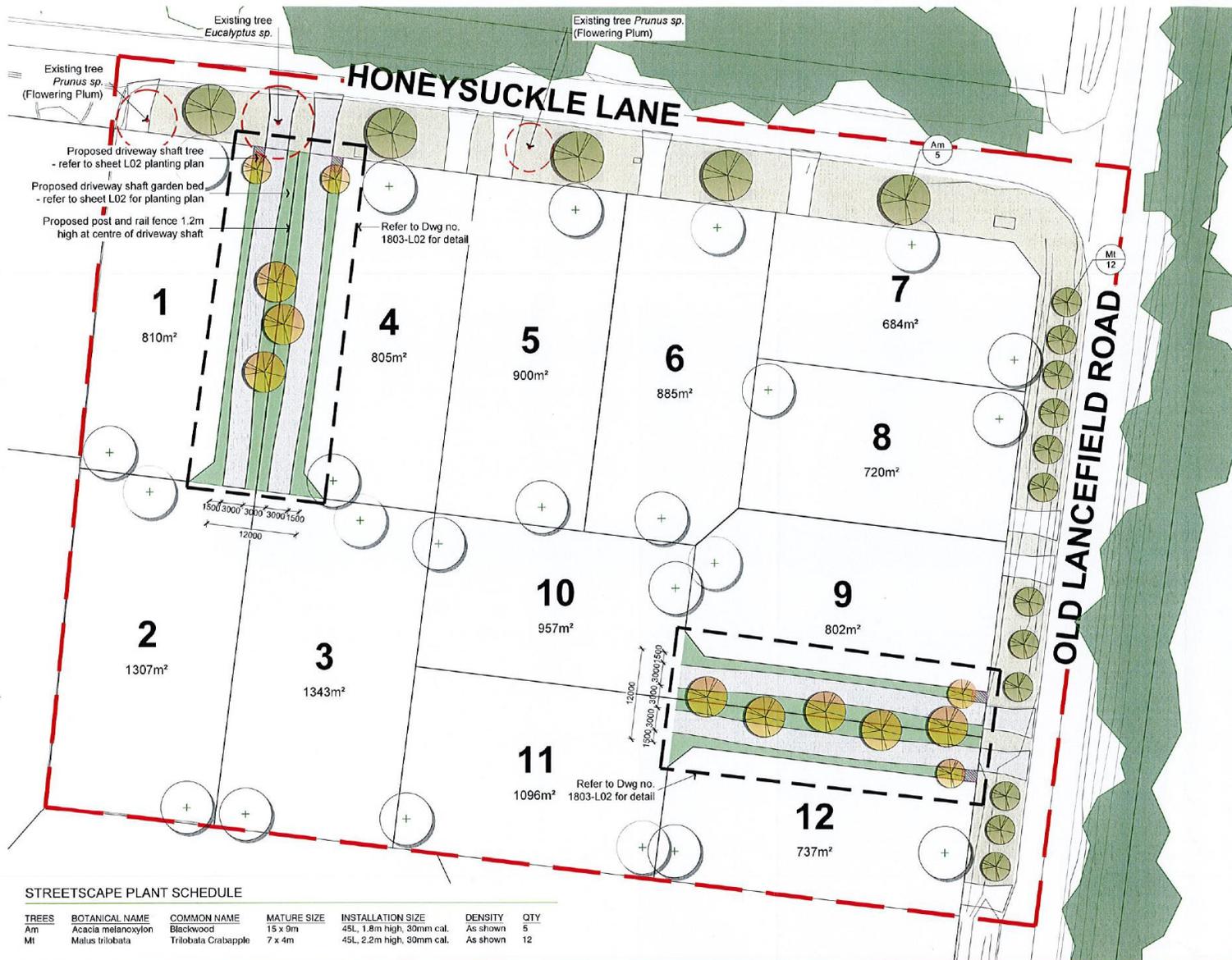
Standard lot

A single lot that accommodates a freestanding house detached from adjoining houses and of an individual style.



Appendix 1.





LEGEND

- Extent of landscape works
- Existing tree to be removed
- Indicative canopy tree (to be provided by lot owner)
- Proposed street tree
- Proposed driveway shaft tree
- Proposed grassed naturestrip
- Proposed garden bed
- Existing trees
- Proposed post and rail fence
- Area set aside for service

MACEDON RANGES PLANNING SCHEME
 PERMIT No. PLN/2017/462
 This plan satisfies condition

No. 1
29 AUG 2018

- CONDITIONS**
1. Tree planting is to occur between April & September to maximise establishment and survival.
 2. Tree locations shown on this plan are a guide only and may require adjustment to coordinate with final service locations and 'as constructed' infrastructure.
 3. Final street tree locations are to be set-out and approved on site by the Council Landscape Officer prior to installation.
 4. It is the responsibility of contractor to confirm the location of all underground services prior to commencement of any excavation.

- STREET TREES - MINIMUM OFFSET DISTANCES TO SERVICES**
 The contractor shall ensure the following distances are complied with in relation to street trees and underground services / streetscape assets:
- Pedestrian Pathways: 1.2m minimum clearance
 - Pedestrian Pathways in Reserves: 2.0m minimum clearance
 - Driveways: 3.0m minimum clearance
 - Street Light / Power Poles: 4.0m minimum clearance
 - Service Assets (including junction boxes / pits etc.): 2m min. clearance
 - Electrical joint: 2.5m minimum clearance
 - Service Conduit Crossing: 2m minimum clearance
 - Fire Plug: 3m minimum clearance
 - Domestic service tapping point: 2m minimum clearance
 - Stormwater Outlet: 2m minimum clearance
 - Paralleling pillar: 2.5m minimum clearance

Where these distances are not attainable, root barriers may be used in some instances and on the advice of the Macedon Ranges Shire Council arborist.

NOTE: It is the contractor's responsibility to locate and identify all services infrastructure on site and position the trees accordingly.

UNDERGROUND ELECTRICAL SERVICES
 The free zone is a 5m Ø area of roadside with a depth of 600mm.
 All underground electrical cables should be placed outside the free zone where practical. Underground cable installed at a burial depth of 600mm in close proximity to the free zone (either beside or below), shall be within conduits or cover slabs to provide a higher level of infrastructure protection.

For underground cable installed at a burial depth of 750mm, consideration should be given to installation within conduits to provide a higher level of infrastructure protection. Refer to PowerCor standard GA211 for further detail.

STREETSCAPE PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	MATURE SIZE	INSTALLATION SIZE	DENSITY	QTY
Am	Acacia melanoxylon	Blackwood	15 x 9m	45L, 1.8m high, 30mm cal.	As shown	5
Mt	Malus trilobata	Trilobata Crabapple	7 x 4m	45L, 2.2m high, 30mm cal.	As shown	12

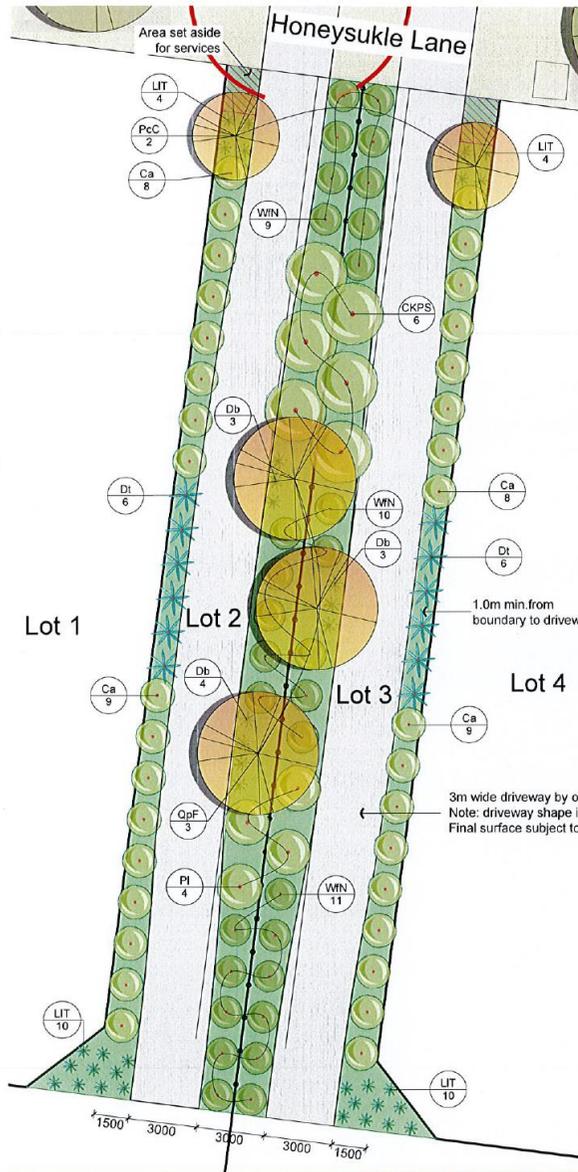
Scale 1:500 @ A3 sheet size
 Prepared for: Woodend Projects
 Date: 19 June 2018
 Scale: 1:250 @ A1 sheet size, 1:500 @ A3 sheet size
 Drawn: DH / HM / YL
 Drawing No: 1803 L01 Rev C
 Planning Permit: PLN/2017/462



LANDSCAPE PLAN
 Honeysuckle Lane Subdivision
 65 Old Lancefield Road, Woodend



130 Howards Rd, Wattle Flat VIC 3352
 T 03 5334 5321 W www.thomsonhay.com



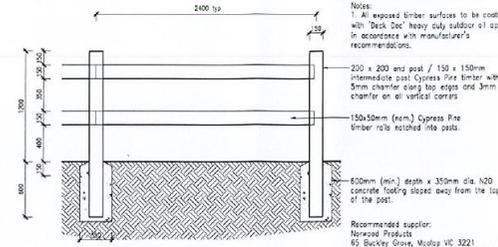
PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	MATURE SIZE	INSTALLATION SIZE	DENSITY	QTY
AI	Angophora floribunda	Rough-barked Apple	15 x 8m	45L, 1.8m high, 30mm cal.	As shown	5
PoC	Pyrus calleryana 'Chanticleer'	Chanicleer Pear	11 x 8m	45L, 2.2m high, 30mm cal.	As shown	4
OpF	Quercus palustris 'Freefall'	Pin Oak	15 x 8m	45L, 2.2m high, 30mm cal.	As shown	3
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DENSITY	QTY
CKPS	Callistemon x 'Kings Park Special'	Ball-of-brush cv.	4 x 3m	140mm container	3.0m cts.	10
Ca	Carrea alba	White Correa	1.5 x 1.5m	140mm container	2.0m cts.	52
GNK	Grevillea x 'Ned Kelly'	Grevillea	1.5 x 2m	140mm container	2.5m cts.	14
PI	Prostanthera lasianthos	Victorian Christmas Bush	2 x 2m	140mm container	3.0m cts.	10
WIN	Westringia fruticosa 'Naringa' TM	Native Rosemary cv.	2 x 1.5m	140mm container	2.0m cts.	47
BLADED PLANTS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DENSITY	QTY
DI	Dianella tasmanica	Flax Lily	1.5 x 1.5m	140mm container	1.5m cts.	24
Db	Dietes bicolor	Fortnight Lily	0.7 x 0.7m	140mm container	1.0m cts.	27
LIT	Lomandra longifolia 'Tanika'	Tasman Flax Lily cv.	0.6 x 0.6m	140mm container	1.0m cts.	62

TREE NOTES (as per Permit No. PLN/2017/462 Condition 1f):
 1. Tree plantings is to occur between April & September to maximise establishment and survival.
 2. Tree locations shown on this plan are a guide only and may require adjustment to coordinate with final service locations and 'as constructed' infrastructure.
 3. Final street tree locations are to be set-out and approved on site by the Council Landscape Officer prior to installation.
 4. It is the responsibility of contractor to confirm the location of all underground services prior to commencement of any excavation.

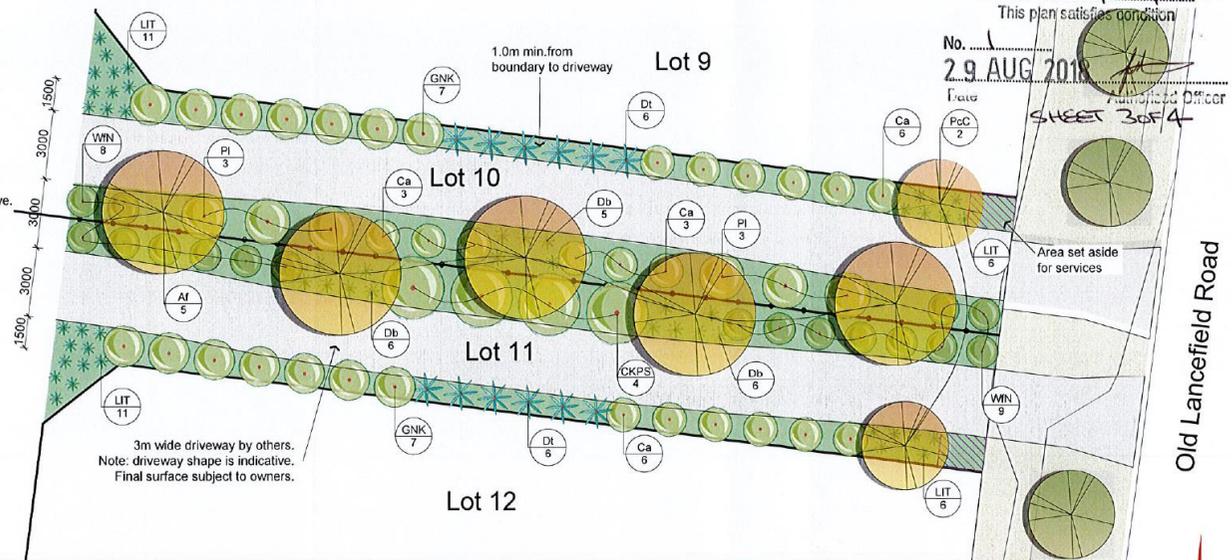
LEGEND

- Existing tree to be removed
- Proposed street tree
- Proposed driveway shaft tree
- Proposed grassed naturestrip
- Proposed mulched garden bed
- Proposed shrub
- Proposed bladed planting
- Proposed post and rail fence
- 3 metre wide sealed driveway - by others
- Area set aside for service



TIMBER POST AND 2 RAIL FENCE DETAIL
 SCALE 1:25 @ A1

Notes:
 1. All exposed timber surfaces to be coated with 'Deck Doc' heavy duty outdoor oil applied in accordance with manufacturer's recommendations.
 2. 200 x 200 end post / 150 x 150mm intermediate post Cypress Pine timber with 5mm chamfer clear top edge and 30mm chamfer on all vertical corners.
 3. 150x150mm (nom.) Cypress Pine timber rails notched into posts.
 4. 600mm (min) depth x 350mm dia. M20 concrete footing sloped away from the top of the post.
 Recommended supplier:
 Newwood Products
 65 Backer Grove, Moorab VIC 3221
 Contact - Ian Earl Phone 1300 561 248



PERMIT No. PLN/2017/462
 This plan satisfies condition No. 2.9 AUG 2018
 SHEET 3 OF 4

Scale 1:200 @ A3 sheet size
 Prepared for: Woodend Projects
 Date: 19 June 2018
 Scale: 1:100 @ A1 sheet size, 1:200 @ A3 sheet size
 Drawn: DH / HM / YL
 Drawing No: 1803 L02 Rev C
 Planning Permit: PLN/2017/462



DRIVEWAY SHAFT LANDSCAPE PLAN (LOT 2,3,10&11)

Honeysuckle Lane Subdivision
 65 Old Lancefield Road, Woodend

THOMSON HAY
 LANDSCAPE ARCHITECTS

130 Howards Rd, Warrle Flat VIC 3352
 T 03 5334 5324 W www.thomsonhay.com

LANDSCAPE SPECIFICATION NOTES

HERBICIDE APPLICATION (GRASS)

At least two weeks prior to the commencement of landscape works spray all grass and undesirable plants within the proposed garden bed / planting areas with an approved systemic herbicide (e.g active ingredient glyphosate). Herbicide shall be applied in accordance with the manufacturers instructions.

PREPARATION

Remove all weed growth from proposed planting beds and grass areas. Ensure all foliage, fruit and root matter is removed from the prepared topsoil. Cultivate all proposed planting beds to 250mm depth, remove all building rubble and other debris. Incorporate gypsum (by cultivation) at the rate of 2,000 grams per sq. metre to prepared sub base.

GRASS & NATURESTRIP PREPARATION (BY NOMINATED CIVIL CONTRACTOR)

The naturestrips are to be repaired / reshaped as required in accordance with levels and specifications to the satisfaction of the Responsible Authority. All naturestrips / grass areas are to be cultivated to 150 mm depth (including incorporation of gypsum) as above and top dressed with 75mm min. of topsoil. Evenly spread an approved Starter Fertiliser (recommended N.P.K. ratio 10.4.6 + Trace Elements) at the recommended rate.

Areas which are identified on the plans as 'grass' shall be seeded with Anzac Allbourne Blend (or similar approved commercial prepared blend) with a species composition as listed below with a minimum seed content of 98% and a minimum germination rate of 80%:

- Kentucky Bluegrass (15%)
- Chewings Fescue (25%)
- Cheviots Rye Fescue (25%)
- Fine Rye Grass (35%)

Watering

Water seed areas immediately after sowing until the topsoil is moistened to its full depth. Continue watering to maintain moisture to this depth. Maintain the germinating grass in a healthy condition with correct applications of water, fertiliser etc. to sustain a healthy, vigorous growing grass sward.

Mowing

During the maintenance period mow to maintain the grass height within the 50 - 100mm height range. Remove all grass clippings from the site after each mowing.

Maintenance

Maintain the turf and seeded areas until the attainment of a dense continuous sward of healthy and evenly green grass over the entire area. Where required, lift / topdress failed turf / seed and re-lay / seed with fresh turf / seed of same blend. Cultivate and re-seed / re-lay areas of seeded lawn where germination / survival is poor.

Top Dressing

Top dress subsided areas as required and re-sow or re-lay turf sods. Ensure the junction between footpaths and lawns is finished to form a firm, flush, even, uniform and safe joint.

Fencing

The Contractor shall protect the newly laid turf and grass established areas against trespass and traffic for minimum period of 4 weeks - particularly during wet conditions, or as long as required to ensure the proper establishment of the turf which will not be damaged by normal / day to day activities.

MULCH / MULCH MAT

Where specified spread native (Eucalypt / Acacia) chipmings / mulch (maximum particle size 30mm) at a minimum depth of 75mm over all planting areas. Ensure top of mulch finishes 20mm below adjacent paved surfaces.

The contractor shall ensure the mulch is free of soil, weeds, vermin, deleterious material and toxins. Mulch shall be placed to a minimum depth of 75mm and maximum depth of 100mm on planting bed areas. Mulch shall extend at least 500mm beyond plant centres at the outer edges of planting beds. Mulch shall be kept clear of plant stems to avoid collar rot.

Following ground preparation (as specified) and prior to mulching with organic wood mulch, all planting areas shall be covered with Maxijute 'thick' soil stabilisation and mulching mat (FS0-500 gram) and fixed with non galvanised steel jines (3 pins / m²). Maxijute soil stabilisation and mulch mat should be installed and pinned in accordance with the manufacturers installation instructions. Maxijute soil stabilisation and mulching mats is available from:

Landplan
97 Abbott Road,
HALLAM VIC 3803
Telephone: (03) 9786 4907
Facsimile: (03) 9790 4311

NOTE: Maxijute soil stabilisation and mulching mat is available with pre-cut slots at nominated centres. Refer to Landplan.

A representative sample of mulching, not less than 100 m² in area, shall be made available for review by the Landscape Architect at not less than 24 hours notice prior to the commencement of the balance of the relevant work. The accepted mulching shall be used as a reference standard for the remaining work to be completed under the Contract.

PLANTS / FERTILISING

All plants are to be true to species, healthy and free from pests, disease and stress. Fertilise advanced trees (250mm dia. + pots) with 100 grams of Osmocote® slow release fertiliser. For plants in tubes < 200mm dia. pots fertilise with 20grams of Osmocote®. Staking as required for advanced trees (refer planting detail).

PLANT STOCK

- Where possible indigenous plant species shown on the plant specification shall be propagated from sources of local provenance from the closest possible natural plant source of similar genetic make-up.
- Where possible, the plant nursery shall provide documentation of seed and cutting collection locations of all species.
- When specified plants are not available, substitute plants may only be used following approval from the Landscape Architect or Macedon Ranges Shire Council representative.
- Plants are to be purchased in the nominated pot size, unless approved by the Landscape Architect or the Macedon Ranges Shire Council to vary the pot size from that specified.
- Plants shall show healthy growth, be undamaged, free of disease, have a size in proportion to their pot size and species, not be pot bound and shall generally have roots penetrating to the edge of the pot.
- The contractor shall check the condition of plants before taking delivery. All plants accepted by the contractor shall be healthy, vigorous, well established and have normal habits and proportions of growth typical of their species. Plants shall be free from insects, eggs, larvae, disease, weeds and other defects. All plants shall be suitably hardened off in the nursery prior to delivery to the site.
- All stock shall be labelled with the correct botanical name and shall be checked by the contractor before acceptance on the site.

PLANTING SCOPE

Planting is to be undertaken to the various areas nominated in the Landscape Plans and in accordance with this specification. The scope of planting works is to include:

- Set & install advanced specimen trees / 300mm pots
- Organic mulching / mulch mat installation
- Culling of trees / shrubs (if applicable)
- Vermen control (if applicable)
- 24 month maintenance period.

PLANTING PROGRAM

The contractor shall prepare a planting program to plant all planting zones as indicated on the Landscape Drawings - Drawing Numbers 1803-L01 - L03 and this Specification. The planting program should incorporate the pre-planting ground preparation program.

Where possible, all planting and tube stock supply is to be programmed to be undertaken during optimum planting seasons to maximise the optimum plant establishment period prior to the commencement of the summer season.

The contractor shall submit programs for the following tasks at the commencement of the contract:

- a pre-planting ground preparation program
- a weed control program
- a planting program for each of the nominated zones
- a post planting maintenance program.

PLANTING SET-OUT

The Contractor shall set out the location and shape of planting beds and / or the location of individual plants in accordance with the Drawings by:

- referring to drawing dimensions
- use of a level to determine extent of planting in relation to water depth as specified (where required)
- by reference to existing features as shown on the drawings
- by complying with plant number and density requirements as shown in the plant schedules / drawings

Ongoing on-site liaison with the landscape architect will be required to ensure that the planting intent is achieved.

Allow for a flexible planting program to suit weed control timing, site features and seasonal conditions.

The Contractor shall arrange for landscape architect, or a nominated representative, to be on site for plant set-out and sign-off on the set-out prior to planting commencing.

CONCRETE PATH SURFACE (BY NOMINATED CIVIL CONTRACTOR)

Install concrete path with reserve in accordance with Engineers details / specifications.

TRIMMING AND FINISHED LEVELS (TOPSOILING BY CIVIL CONTRACTOR)

The Contractor shall adjust and / or landscape architect prior to the nominated levels and gradients, as specified, prior to topsoil placement. The specified depth of topsoil and / or mulch shall then be added and tapered so that the finished mulch and / or topsoil levels meets flush with the adjacent finished surface levels.

A representative sample of topsoiling and any associated ground trimming, not less than 100m² in area shall be made available for review by the consulting engineer and / or landscape architect prior to the commencement of the balance of the relevant work. The accepted topsoiling and any associated ground trimming shall be used as a reference standard for the remaining work to be completed under the Contract.

SUPPLY AND APPLICATION OF HERBICIDES AND INSECTICIDES

Only herbicides and insecticides registered for use in Victoria for the specific purpose may be used. All herbicides / insecticides shall be applied in accordance with manufacturers recommendations and at the rates recommended by the manufacturer for the control of the specific plant / insect.

FENCING

The Contractor shall supply and install fencing as detailed on the Drawings and in accordance with manufacturers recommendations. Fencing shall be located on private lot boundary with posts located on lot corners.

MAINTENANCE AFTER PRACTICAL COMPLETION

Scope of Maintenance

The Contractor shall maintain the whole of the landscape work performed under this Contract until the completion of the 24 month Maintenance Period. The Maintenance Period shall commence from the Date of Practical Completion for 24 months as specified in the planning permit conditions. Maintenance of the landscape work shall include:

- replanting / replacement of dead trees
- maintenance of timber tree stakes and ties for advanced trees
- weed control - including broad-leaved weed control in naturestrips
- watering
- mowing / slashing (by civil contractor)
- re-seeding of seeded exotic and native grass areas (by civil contractor)
- pest and disease control
- re-mulching to maintain specified mulch depths
- ix pruning
- maintaining the site in a neat and tidy condition
- removal of tree guards and stakes (if applicable)

Replacement Materials

All replacement materials used shall be in accordance with the requirements of this specification, the drawings and plant schedules.

Replanting / Resowing

All plants (including any replacement plants) are required to clearly indicate healthy growth at the completion of the maintenance period by demonstrating growth through consecutive growing seasons.

Plants which die or do not show satisfactory growth within the maintenance period shall be replaced and re-sown / replanted by the Contractor at the Contractor's expense. The Contractor shall program and allow for the supply and propagation of plants whether by seed or cutting as required for any replanting during the current or next available planting season.

Weed Control

All planting and grassed areas shall be maintained in a 100% noxious weed free state and in a minimum 95% weed free state.

Watering

All plants shall be watered as necessary to ensure continued healthy and vigorous growth throughout the maintenance period.

Mowing / Slashing (by civil contractor)

Grassed areas shall be mown when the height of the grass exceeds 100mm. Areas which have been cut shall have a minimum grass height of 50mm.

Re-seeding of Exotic Seeded Grass Areas (by civil contractor)

Areas with less than 95% grass cover after three months growth shall be re-sewn by the Contractor at the Contractor's expense. The Contractor shall ensure that a minimum of 95% cover is maintained throughout the duration of the maintenance period.

Pest and Disease Control

All plants are to be maintained free of insect infestation and plant disease.

Re-mulching

Areas mulched with chipped wood mulch shall be maintained at a minimum consolidated depth of 75mm and maximum depth of 100mm for the entire maintenance period.

Pruning

The Contractor shall prune trees and shrubs to remove damaged limbs / branches etc. Tree branches likely to form a dominant 'U' or 'V' shaped crotch leading to double leaders shall be removed.

Maintaining the Site in a Neat and Tidy Condition

The Contractor shall keep the landscape component of the site in a neat, tidy and safe condition.

Removal of Tree Guards and Stakes

Tree guards and timber stakes shall be removed when the plant reaches 1000mm in height (tubes only).

Repairs to Erosion Treated and Affected Areas (by civil contractor)

The Contractor shall maintain all areas subjected to erosion protection treatments and shall repair all damage or erosion which arise during the maintenance period. Such areas shall be re-prepared and re-protected as specified. Additional materials required by the Contractor to maintain, repair or complete the erosion control work shall be supplied by the Contractor at the Contractor's expense.

LEVELS / DRAINAGE / SET-OUT

No detailed level information has been shown on this plan. Ground levels within all landscape / road areas should drain towards drains, pits, kerbs, the wetland / detention basin etc. in accordance with all regulations. All dimensions and set-out details are to be verified on site prior to construction commencing. Any discrepancies are to be immediately reported to the Landscape Architect for further instruction.

GENERAL NOTES

- The following notes relate to the landscape development works within subdivision of Honeysuckle Lane and Old Lancefield Road, Woodend and all associated plans and construction details (Dwg. No's. 1803-L01-L04) and site plans / notes and specifications prepared by the Landscape Architects and Engineers.
- The Contractor shall ensure that the extent of physical disturbance is contained to the defined works area only. Modifications to vegetation, slopes, hydrology etc. should only be made where directed by the drawings, specifications or site communications.
- The Contractor shall be responsible for the repair of damage to existing signs, roads, tracks or other structures and vegetation, caused by their own works, and shall carry out remedial works as required at the conclusion of the landscape works or as directed.
- Where separate works contracts meet, the Contractor should allow for an interface with the adjoining works to create a seamless transition between works / stages.
- All works shall be carried out by suitably experienced tradespersons using approved materials and methods. The landscape areas of the site shall be maintained in a clean, tidy and safe condition during the entire works contract and at the completion of works.
- All waste generated from the site during the course of the contract (including general rubbish, excess soil, rock etc.) is the responsibility of the contractor and is to be removed from the site and deposited in approved locations.
- Works shall not be carried out during periods of dangerous climatic conditions, including periods of total fire, intense heat, flooding, or during other periods as directed by Macedon Ranges Shire Council or client.
- The Contractor shall allow to maintain the site in a safe condition throughout the period of the contract. Suitable safety barriers and / or signs should be erected where required during the course of the contract to ensure visitors to the site are protected from works / machinery with public access prohibited from all works areas. Adequate public safety signage / standards are to be maintained throughout the site at all times.

NOTE: All landscape planting shown on the endorsed landscape plans must be maintained at all times, and replaced with the same species as shown on the landscaping plan as agreed by the Council if necessary, and to the satisfaction of the Council.

MACEDON RANGES PLANNING SCHEME

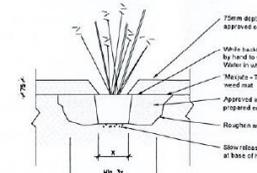
PERMIT No. PLN/2017/1462

This plan satisfies condition

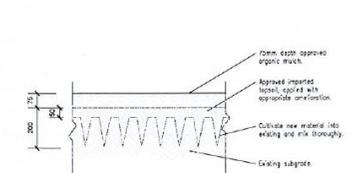


TREE PLANTING DETAIL WITH 52L GREENWELL WATER SAVER (NOT TO SCALE)

Note: It is the responsibility of the contractor to confirm the location of all underground services prior to commencement of any excavation or staking works.



SHRUB PLANTING AND MULCHING Scale 1:10



GARDEN BED PREPARATION Scale 1:50

Prepared for: Woodend Projects

Date: 15 June 2018

Scale: Refer to scale

Drawn: DH / HM / YL

Drawing No: 1803_L03_Rev C

Planning Permit: PLN/2017/462

LANDSCAPE SPECIFICATION AND DETAILS

Honeysuckle Lane Subdivision
65 Old Lancefield Road, Woodend

THOMSON HAY
LANDSCAPE ARCHITECTS

130 Howards Rd, Wattle Flat VIC 3352
T 03 5334 5321 W www.thomsonhay.com



CUSTOM HOME ENERGY ADVICE PACKAGE

New Energy Thinking is pleased to offer customers of Villawood Properties a tailored package of advisory services to help deliver a high-performance new home. This service covers advice through the process of design and build, focussed on getting a home that achieves:

- excellent thermal comfort;
- very low on-going energy bills; and
- low environmental impact.

This package, to a value of \$1,200 per customer, includes:

- Initial on-site consultation (two hours) to discuss the best way to achieve a high-performance home;
- Personal guided tour of an existing high-performance home (possibly arranged in a group);
- Up to four follow-up consultations (1h each) via phone and/or email during the process.

Additional support, and further on-site visits, available by arrangement at an hourly rate (\$100/h).

Exact services provided can be tailored to meet customer needs. Examples of things provided would be:

- assist in establishing energy-performance goals for new build;
- review of plans;
- advice on avoiding common mistakes;
- advice on choosing appliances and heating/cooling etc;
- thermal imaging check of final home.

Note that New Energy Thinking are neither building designer nor building inspector/surveyor. Our extensive experience with high-performance homes and practical energy efficiency makes us ideally placed to help those building a home get an optimal result.