

Andrea Smith,
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1st August 2018

Dear Andrea,

Bushfire Attack Level Assessment

Document date & version	01/08/2018 – version 1.0
Assessor	Julian Drummond
Assessors Contact	Phone: (03) 9484 1555 Email: juliand@practicalecology.com.au

SITE DETAILS

Municipality	Shire of Macedon Ranges
Address	65 Old Lancefield Road, Woodend
Applicant/Owner	Villawood Properties
Zoning	Neighbourhood Residential Zone (NRZ)
Overlays	Environmental Significance Overlay – Schedule 4 (ESO4)
Bushfire Prone Area	Yes
Proposed works	Subdivision of site into 12 residential lots
Description of building work	N/A
Date site visited	10/07/2018

AS3959 METHOD 1

Direction	North–West	North	East	South	West
Fire Danger Index	100	100	100	100	100
Vegetation type	Grassland	Low Threat	Grassland	Low Threat	Low Threat
Exclusions (from section 2.2.3.2 b, c, d, e or f)	N/A	e & f	N/A	e & f	e & f
Effective Slope (up/down)	Up	Up	Up	Down	Down
Slope (degrees)	0–5°	0–5°	0–5°	0–5°	0–5°
Distance to vegetation from site boundary (m)	20	0	22	0	0
BAL at site boundary	12.5	12.5	12.5	12.5	12.5

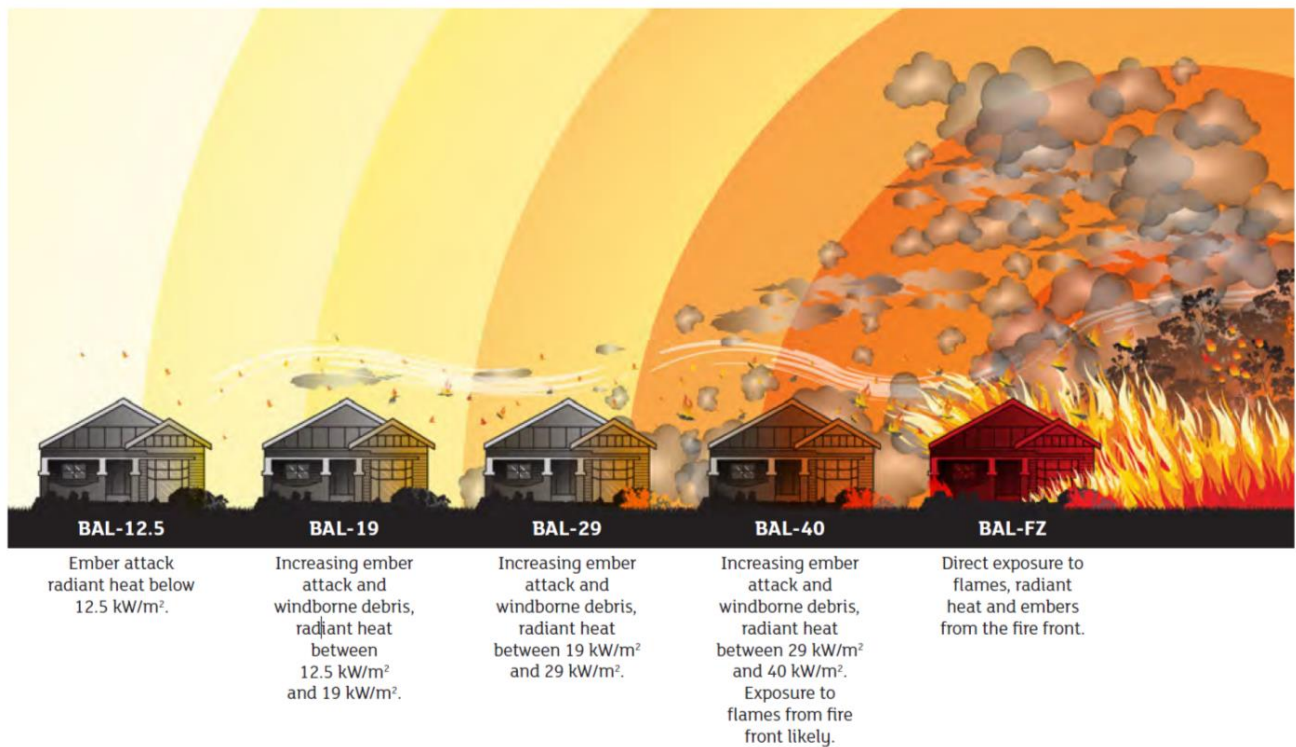
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The site and 100m assessment area is on flat terrain with a minor downhill slope of ~3° to the south-west. Vegetation within 100m of the site is Grassland vegetation as per AS3959-2009 on the paddock opposite Old Lancefield Road to the east (see Figure 3) and the paddock north-west of the site opposite Honeysuckle Lane (see Figure 2) (both are being used as pasture and can be considered Grassland in the long term). The site is not developed but is being slashed so it can be considered Low Threat (see Figure 1).

Other Low Threat areas include the existing residential development to the south and west, the dwelling, gardens and horse yards north of the site (despite some denser garden vegetation) and the road reserves along Old Lancefield Road and Honeysuckle Lane (see Figure 4, Figure 5 and Figure 6). There is a row of trees along Old Lancefield Road but it can be considered a wind break and is exempt under section 2.2.3.2f of AS3959-2009. The site is more than 19m from the classified vegetation so all lots can be built to BAL-12.5 with no setbacks or shielding required (see below).

Lot Number	Prescribed BAL standard	Shielding provision (section 3.5)	Setback required
1	12.5	N/A	None
2	12.5	N/A	None
3	12.5	N/A	None
4	12.5	N/A	None
5	12.5	N/A </td <td>None</td>	None
6	12.5	N/A	None
7	12.5	N/A	None
8	12.5	N/A	None
9	12.5	N/A	None
10	12.5	N/A	None
11	12.5	N/A	None
12	12.5	N/A	None



Source: CFA 2012 *Planning for Bushfire Victoria*

STATEMENT

I have taken all reasonable steps to ensure that the information provided in this assessment is in accordance with *AS3959-2009 Construction of buildings in bushfire-prone areas*, is accurate and reflects the conditions on and around the site on the date of this assessment.

This assessment cannot guarantee safety during a bushfire event. There are additional measures that should be considered to improve the bushfire performance of buildings and the safety of occupants such as:

- a Personal Bushfire Plan to detail how you will respond to an emergency event
- building design: e.g. minimise re-entrant corners, elevated floors, vulnerable elements
- access and egress for emergency services
- static water supply
- defensible space around building by managing vegetation and removing other fuel sources

Best regards,



Julian Drummond

Bushfire / Ecological Consultant

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Photographs



Figure 1. Slashed Low Threat areas onsite



Figure 2. Grassland vegetation north-west of the site



Figure 3. Grassland vegetation east of the site



Figure 4. Low Threat vegetation in gardens north of the site



Figure 5. Low Threat areas along Old Lancefield Road

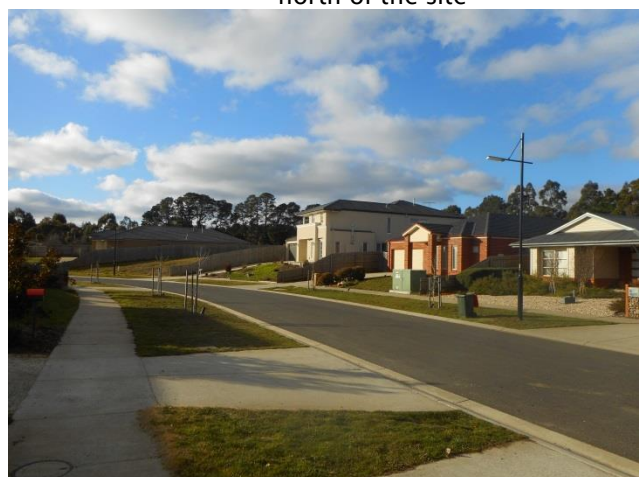





Figure 6. Low Threat areas within completed housing estate south-west of the site

Maps

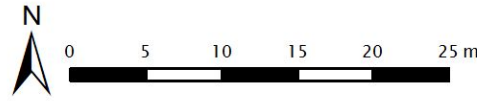
Map 1. Subject Site
65 Old Lancefield Rd, Woodend



Legend

-  Subject site
-  Proposed lots
-  Contours (10m)

Details
Date: 19/07/2018
Version: 1
Aerial photography from Nearmap (Jan 2018).
Base map data Copyright © The State of Victoria.

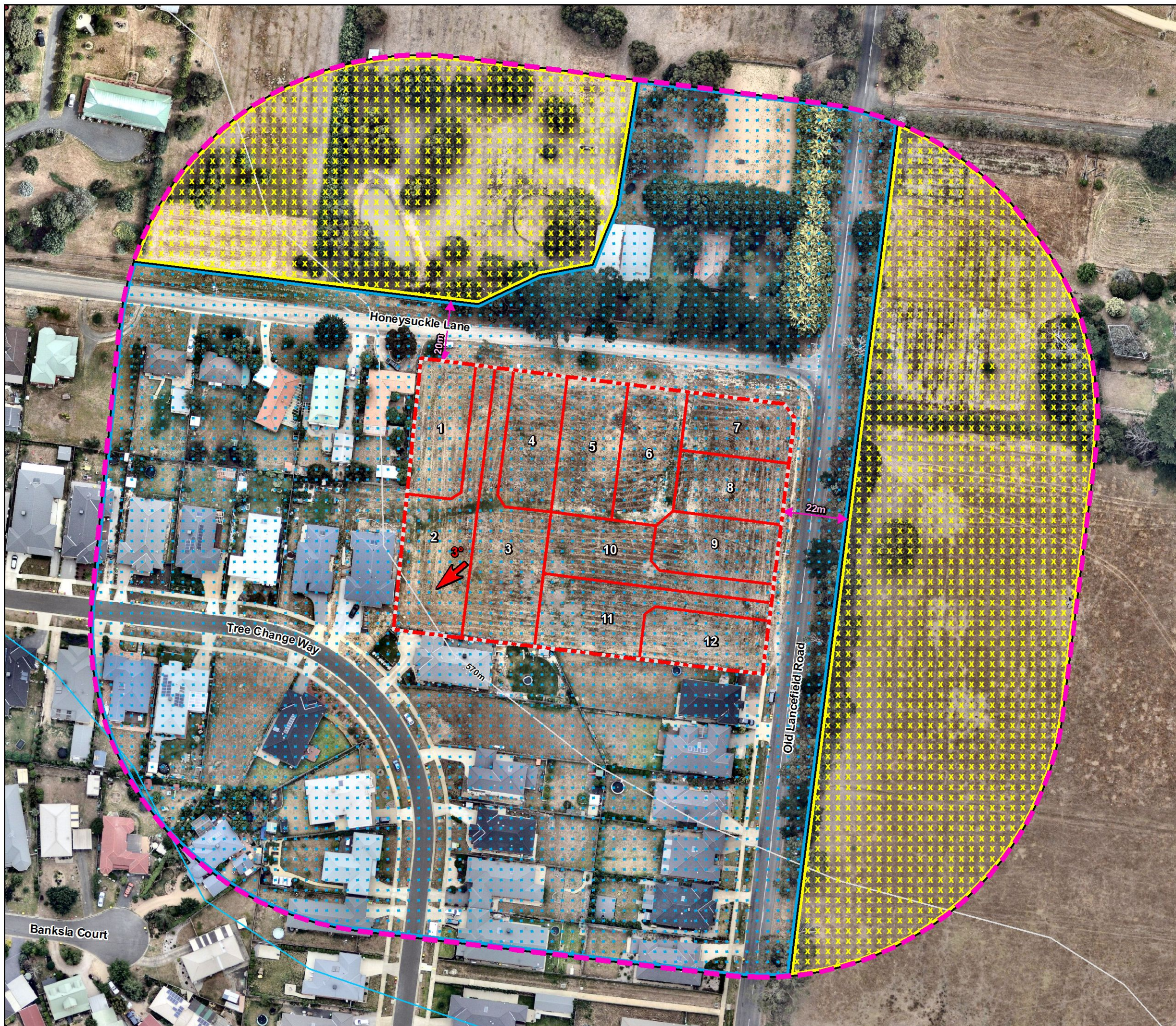

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Map 2. BAL Assessment
65 Old Lancefield Rd, Woodend



Legend

- Subject site
- Assessment area (100m)
- Proposed lots
- Contours (10m)
- Constructed watercourse
- Slope measurements

Vegetation type

- Grassland
- Low Threat

Details
Date: 12/07/2018
Version: 1
Aerial photography from Nearmap (Jan 2018).
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Site Plans

DRAWING KEY

- Subject Site
- Development Area
- Existing Vegetation
- Driveway Crossover
- 3m wide Sewer & Drainage Easement
- 2.5m wide Sewer Easement
- 2m wide Drainage Easement

